

**AGENDA**  
**BOARD OF SUPERVISORS**  
**SONOMA COUNTY**  
**575 ADMINISTRATION DRIVE, ROOM 102A**  
**SANTA ROSA, CA 95403**

**TUESDAY**

**APRIL 8, 2014**

**8:30 A.M.**

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(The regular afternoon session commences at 2:00 p.m.)

Susan Gorin	First District	Veronica A. Ferguson	County Administrator
David Rabbitt	Second District	Bruce Goldstein	County Counsel
Shirlee Zane	Third District		
Mike McGuire	Fourth District		
Efren Carrillo	Fifth District		

This is a simultaneous meeting of the Board of Supervisors of Sonoma County, the Board of Directors of the Sonoma County Water Agency, the Board of Commissioners of the Community Development Commission, the Board of Directors of the Sonoma County Agricultural Preservation and Open Space District, the Board of Directors of the Northern Sonoma County Air Pollution Control District, the Sonoma County Public Finance Authority, and as the governing board of all special districts having business on the agenda to be heard this date. Each of the foregoing entities is a separate and distinct legal entity.

The Board welcomes you to attend its meetings which are regularly scheduled each Tuesday at 8:30 a.m. Your interest is encouraged and appreciated.

**AGENDAS AND MATERIALS:** Agendas and most supporting materials are available on the Board's website at <http://www.sonoma-county.org/board/>. Due to legal, copyright, privacy or policy considerations, not all materials are posted online. Materials that are not posted are available for public inspection between 8:00 a.m. and 5:00 p.m., Monday through Friday, at 575 Administration Drive, Room 100A, Santa Rosa, CA.

**SUPPLEMENTAL MATERIALS:** Materials related to an item on this agenda submitted to the Board after distribution of the agenda packet are available for public inspection in the Board of Supervisors office at 575 Administration Drive, Room 100A, Santa Rosa, CA, during normal business hours.

**DISABLED ACCOMMODATION:** If you have a disability which requires an accommodation, an alternative format, or requires another person to assist you while attending this meeting, please contact the Clerk of the Board at (707) 565-2241, as soon as possible to ensure arrangements for accommodation.

**Public Transit Access to the County Administration Center:**

Sonoma County Transit: Rt. 20, 30, 44, 48, 60, 62

Santa Rosa CityBus: Rt. 14

Golden Gate Transit: Rt. 80

For transit information call (707) 576-RIDE or 1-800-345-RIDE or visit or <http://www.sctransit.com/>

**APPROVAL OF THE CONSENT CALENDAR**

The Consent Calendar includes routine financial and administrative actions that are usually approved by a single majority vote. There will be no discussion on these items prior to voting on the motion unless Board Members or the public request specific items be discussed and/or removed from the Consent Calendar.

**PUBLIC COMMENT**

Any member of the audience desiring to address the Board on a matter on the agenda: Please walk to the podium and after receiving recognition from the Chair, please state your name and make your comments. In order that all interested parties have an opportunity to speak, please be brief and limit your comments to the subject under discussion. Each person is usually granted 3 minutes to speak; time limitations are at the discretion of the Chair. While members of the public are welcome to address the Board, under the Brown Act, Board members may not deliberate or take action on items not on the agenda, and generally may only listen.

**8:30 A.M. CALL TO ORDER**

**PLEDGE OF ALLEGIANCE**

**I. APPROVAL OF THE AGENDA**

(Items may be added or withdrawn from the agenda consistent with State law)

**II. BOARD MEMBER ANNOUNCEMENTS**

**III. CONSENT CALENDAR**

(Items 1 through 30)

**PRESENTATIONS/GOLD RESOLUTIONS**

(Items 1 through 7)

**PRESENTATIONS AT BOARD MEETING**

1. Adopt a Gold Resolution congratulating Honorable Gary Nadler, Judge of the Superior Court of Sonoma County, on being appointed to the California Judicial Council. (Second District)
2. Adopt a Gold Resolution recognizing April 2014 as California's Distracted Driving Awareness Month. (Third District)
3. Adopt Gold Resolution recognizing April 2014 as "Sexual Assault Awareness Month." (Third District)
4. Adopt a Gold Resolution declaring the Month of April 2014 as Child Abuse Prevention Month in Sonoma County. (Human Services)
5. **10:00 A.M.** – Adopt a Gold Resolution proclaiming April 6, 2014, through April 12, 2014, as National Crime Victims' Rights Week in Sonoma County. (District Attorney/ Sheriff's Office/Health Services/Human Services/Probation)

**PRESENTATIONS AT DIFFERENT DATE**

6. Adopt a Gold Resolution congratulating David Donaldson for achieving rank of Eagle Scout. (First District)
7. Adopt a Gold Resolution congratulating Cheryl Diehm on her retirement after 25 years of public service. (First District)

**SONOMA COUNTY WATER AGENCY**

(Directors: Gorin, Rabbitt, Zane, McGuire, Carrillo)

8. Authorize the General Manager: 1) to execute an agreement with Secure-24, LLC, to provide remote application hosting services (\$218,208; term is October 16, 2013, to October 31, 2015); and 2) renew the agreement for an additional one-year period, provided renewal does not increase the total cost to the Water Agency by more than \$109,104 and does not substantially change the scope of work.

CONSENT CALENDAR (Continued)

9. Authorize the Chair to execute an agreement with the City of Cotati for the Water Agency to provide reimbursement funding of groundwater well improvements (\$157,235; agreement terminates December 31, 2014).
10. Authorize the Chair to execute an agreement with Petaluma Joint Union High School District to provide plant propagation services (\$74,380; agreement terminates June 30, 2016).

**AUDITOR-CONTROLLER-TREASURER-TAX COLLECTOR**

11. Review and accept the audit report of the Sonoma County Treasury-Treasurer Investment Pool for the quarter ended December 31, 2013.

**AUDITOR-CONTROLLER-TREASURER-TAX COLLECTOR**

**AND**

**AGRICULTURAL PRESERVATION AND OPEN SPACE DISTRICT**

**COMMUNITY DEVELOPMENT COMMISSION**

**SONOMA COUNTY WATER AGENCY**

**OCCIDENTAL COUNTY SANITATION DISTRICT**

**RUSSIAN RIVER COUNTY SANITATION DISTRICT**

**SOUTH PARK COUNTY SANITATION DISTRICT**

(Directors/Commissioners: Gorin, Rabbitt, Zane, McGuire, Carrillo)

**AND**

**SONOMA VALLEY COUNTY SANITATION DISTRICT**

(Directors: Gorin, Rabbitt, Rouse)

12. Sonoma County Annual Audit Reports for Fiscal Year 2012-2013 – (A) Accept the Sonoma County Comprehensive Annual Financial Report (CAFR) for fiscal year 2012-2013, including separate reports for Sonoma County Fair and Exposition, Inc., Water Agency, Sonoma Valley County Sanitation District, Russian River County Sanitation District, South Park County Sanitation District, Occidental County Sanitation District, Community Development Commission, Library, Transportation Project Fund, Transportation Trust Fund and Sonoma County Agricultural Preservation and Open Space District. (B) Accept the 2012-2013 Single Audit Reports for Sonoma County, Sonoma County Water Agency and the Sonoma County Sanitation Districts and Community Development Commission.

**BOARD OF SUPERVISORS**

13. Consider support for The California Education and Resource Reinvestment Act, SB 1017 (Evans).

**COUNTY ADMINISTRATOR**

14. Authorize the Chair to execute a Personal Services Agreement with Wendy Macy as Director of Human Resources, from April 5, 2014 through April 5, 2017.

CONSENT CALENDAR (Continued)

**GENERAL SERVICES / HUMAN SERVICES**

15. Authorize the General Services Director to execute a lease amendment with Parkway Properties 14, LLC, for Human Service Department / Medi-Cal Eligibility and Hearings staff, for approximately 7,281 sq. ft., in the building located at 520 Mendocino Avenue, Santa Rosa, for \$11,987 per month, or \$143,848 per year, for a term of six years, plus three, 3-year options, concurrent with the existing lease.
16. Authorize the General Services Director, to execute a lease amendment with SR Office Properties LLC, for Human Services Department / Employment & Training Division for premises located at 2227 Capricorn Way, Santa Rosa; for \$6,230 per month, to expire June 30, 2023.

**GENERAL SERVICES / TRANSPORTATION AND PUBLIC WORKS**

17. Authorize the General Services to execute a License Agreement with James McConnell d/b/a Andorno's Pizza for use of a portion of County property commonly known as the Guerneville Plaza, lease payments to start at \$300/month; for a term of 5 years, with 5 years of possible extensions. (Fifth District)

**HEALTH SERVICES**

18. First 5 Sonoma County Triple P Agreements –
  - (A) Authorize the Director of Health Services to execute the fourth amendment to an agreement with Triple P America to expand Triple P - Positive Parenting Program trainings to providers of services for families of teens, increasing the agreement by \$159,528, resulting in a new not to exceed amount of \$2,001,452, with a term ending June 30, 2015.
  - (B) Authorize the Director of Health Services to execute the first amended and restated Memorandum of Understanding with the Sonoma County Office of Education to deliver Triple P - Positive Parenting Program training and parenting materials to the Sonoma County Office of Education, increasing the agreement revenue amount by \$5,639, resulting in a new not to exceed revenue amount of \$57,346, with a term ending June 30, 2014.

**PERMIT AND RESOURCE MANAGEMENT**

19. Authorize the Chair to execute an agreement with the Graton Community Services District for Permit and Resource Management Department to provide Sanitation Development Review Services for the period April 6, 2014 through April 5, 2024. (Fifth District)

**PROBATION**

20. Authorize the Chief Probation Officer to execute an agreement with BI Incorporated for Juvenile Probation electronic monitoring equipment and services and any amendments or extensions which do not significantly change the contract content for the period of April 15, 2014 through April 15, 2017.

CONSENT CALENDAR (Continued)

21. Authorize the Chief Probation Officer, on behalf of the County, to execute a professional services agreement with Inter-Faith Shelter Network, for the initial term April 1, 2014 through June 30, 2015 in the amount of \$121,760, to provide dedicated transitional housing beds and services for homeless AB 109 offenders. Authorize the Chief Probation Officer to execute up to three one-year contract renewal options in an amount not-to-exceed \$98,280 annually, up to maximum contract value of \$409,459 over 51 months.

**REGIONAL PARKS**

22. Adopt a Resolution consenting to recordation of irrevocable offer of dedication of a public trail easement over the Hamel Family Wines Property (First District)
23. Approve and authorize the Chair to execute the license agreements with The Sea Ranch Association for continued public access to the trails and facilities operated and maintained by the County within The Sea Ranch. (4/5 vote required) (Fifth District)

**TRANSPORTATION AND PUBLIC WORKS**

24. Authorize and approve Chair to sign an amendment to the agreement with Green Valley Consulting Engineers for construction management engineering services for the 2010 Pavement Preservation Program (M10001) in the amount of \$30,000, for a total agreement not to exceed amount of \$267,030, with a term ending December 31, 2014. (First, Second, Fourth and Fifth Districts)

**MISCELLANEOUS**

25. Approve Minutes of the Meeting of March 11, 2014 for the following: Agricultural Preservation and Open Space District, Community Development Commission, Sonoma County Water Agency, and Board of Supervisors.

**APPOINTMENTS/REAPPOINTMENTS**

(Items 26 through 30)

26. Appoint Ellen Bauer and Kathryn Pack to the Upstream Portfolio Review Committee for a two year term ending April 8, 2016. (Human Services)
27. Appoint J. Kevin Jones, Jr. to the Commission on Human Rights for a term of two years expiring April 8, 2016. (Second District)
28. Appoint Jennifer Adams to the Library Commission for a term of four years beginning April 8, 2014 and ending April 8, 2018. (Third District)
29. Appoint Richard Retecki to the Regional Parks Foundation for a term beginning April 8, 2014 and ending February 28, 2018. (Third District)
30. Appoint Dee Swanhuysen to the Agricultural Preservation and Open Space District Advisory Committee for a term of two years beginning April 8, 2014 and ending April 8, 2016. (Third District)

**IV. REGULAR CALENDAR**

(Items 31 through 36)

**SHERIFF'S OFFICE**

31. Pursuant to Government Code § 7522.56 approve the appointment of Ms. Nancy Vaughn as a Supervising Dispatcher Retiree Extra Help, Ms. Dolores Robinson as a Chef Retiree Extra Help, and Mr. Bob Zie as a Detention Assistant Retiree Extra Help, in order to fill a critically needed positions within 180 days of their retirement, with an appointment date as early as April 15, 2014.

**COMMUNITY DEVELOPMENT COMMISSION**

(Commissioners: Gorin, Rabbitt, Zane, McGuire, Carrillo)

32. **10:00 A.M.** – Conduct a public hearing and Adopt a Resolution of the Sonoma County Community Development Commission, in its capacity as the governing body of the Sonoma County Housing Authority, approving the Sonoma County Public Housing Agency Annual Plan for the period of July 1, 2014 – June 30, 2015, and an amended Housing Choice Voucher Administrative Plan, and authorizing submission to the U.S. Department of Housing and Urban Development.

**NOTE:**

**10:00 A.M.** – Presentation of Gold Resolution proclaiming April 6, 2014, through April 12, 2014, as National Crime Victims' Rights Week in Sonoma County. (Consent Item #5)

**COUNTY ADMINISTRATOR**

33. Receive the Charter for the Board's Annexation Ad-hoc Committee on South West Santa Rosa Annexation.

**COMMUNITY DEVELOPMENT COMMISSION**

(Commissioners: Gorin, Rabbitt, Zane, McGuire, Carrillo)

**AND**

**SUCCESSOR AGENCY FOR THE SONOMA COUNTY COMMUNITY  
REDEVELOPMENT AGENCY**

34. Roseland Village Shopping Center Demolition and Remediation Project –
- (A) Adopt a Resolution approving the plans and specifications for demolition and remediation of the former bowling alley at the Roseland Village Shopping Center, authorizing the Executive Director to publish, advertise, and otherwise invite bids for the work, to be received by 2:00 p.m. on May 5th, 2014, and authorizing the Executive Director to file a Notice of Determination and a Notice of Exemption.
- (B) Adopt a Resolution authorizing the Executive Director to apply for grant funding from the Sonoma County Agricultural Preservation and Open Space Matching Grant Program for the development of a dedicated public place to be created at the Roseland Village Shopping Center. (Fifth District)

REGULAR CALENDAR (Continued)

**REGIONAL PARKS**

35. Adopt a Resolution authorizing the Director of Regional Parks to apply for the Agricultural Preservation and Open Space District's Matching Grant Program for Moorland Park project. (Third and Fifth Districts)

**BOARD OF SUPERVISORS**

36. Approve Board sponsorship in the amount of \$5,000 for the Cinco de Mayo Santa Rosa Festival. (Fifth District)

**V. CLOSED SESSION CALENDAR**

(Items 37 through 41)

37. The Board of Supervisors will consider the following in closed session: Conference with Legal Counsel – Existing Litigation – Name of Case: Verizon California v. California State Board of Equalization; County of Alpine; County of Calaveras; County of Sonoma, et al. (Superior Court of the State of California, County of Sacramento, Case Numbers 34-2013-00138191 & 34-2014-00157245.) (Govt. Code Section 54956.9(d)(1)).
38. The Board of Supervisors will consider the following in closed session: Conference with Legal Counsel – Existing Litigation – Name of Case: Sprint Telephony PCS, L.P., et al v. California State Board of Equalization; County of Alameda; County of Amador; County of Sonoma, et al. (Superior Court of the State of California, County of San Francisco, Case Number CGC-11-511298; Court of Appeal, First Appellate District, Division 1, Case Number A140540.) (Govt. Code Section 54956.9(d)(1)).
39. The Board of Directors of the Sonoma County Water Agency will consider the following in closed session: Conference with Legal Counsel – Existing Litigation – Name of Case: Lacey L. Burton v. County of Sonoma, et al SCV 253399 (Govt. Code Section 54956.9(d)(1)).
40. The Board of Supervisors, the Board of Directors of the Sonoma County Water Agency, the Board of Commissioners of the Community Development Commission, and the Board of Directors of the Agricultural Preservation and Open Space District will consider the following in closed session: Conference with Labor Negotiator, Agency Negotiators: Wendy Macy/Carol Allen. Employee organization: All. Unrepresented employees: All, including retired employees (Govt. Code Section 54957.6 (b)).
41. The County of Sonoma Board of Supervisors will meet in closed session for the following: Public Employee Appointment: Health Officer (Govt. Code Section 54957(b)(1)).



**VI. REGULAR AFTERNOON CALENDAR**

(Items 42 through 46)

**2:00 P.M. - RECONVENE FROM CLOSED SESSION**

- 42. Report on Closed Session for matters on the agenda for April 8, 2014 and the special closed session held on March 21, 2014.
- 43. **PUBLIC COMMENT ON MATTERS NOT LISTED ON THE AGENDA** (Comments are restricted to matters within the Board’s jurisdiction. The Board will hear public comments at this time for up to thirty minutes. Please be brief and limit your comments to three minutes. Any additional public comments will be heard at the conclusion of the meeting. While members of the public are welcome to address the Board, under the Brown Act, Board members may not deliberate or take action on items not on the agenda, and generally may only listen.)
- 44. Permit and Resource Management Department: Review and possible action on the following:
  - a) Acts and Determinations of Planning Commission/Board of Zoning Adjustments
  - b) Acts and Determinations of Project Review and Advisory Committee
  - c) Acts and Determinations of Design Review Committee
  - d) Acts and Determinations of Landmarks Commission
  - e) Administrative Determinations of the Director of Permit and Resource Management

**PERMIT AND RESOURCE MANAGEMENT**

- 45. **2:10 P.M. – PLP08-0021 – (FIFTH DISTRICT)**
  - a) APPLICANT: Ratna Ling Retreat Center, c/o Jack Petranker
  - b) APPELLANT: Ward Anderson
  - c) LOCATION: 35755 and 36000 Hauser Bridge Road, Cazadero
  - d) ASSESSOR’S PARCEL NO.: 109-230-024 and -018
  - e) ENVIRONMENTAL DOCUMENT: Subsequent Mitigated Negative Declaration  
REQUEST: Conduct a public hearing and consider adopting a Resolution denying appeal of a Board of Zoning Adjustments decision to approve a Use Permit revising the master plan for the Ratna Ling Retreat Center.

46. **ADJOURNMENTS**

**NOTE: The next regular meeting will be held on April 15, 2014.**  
**Upcoming Hearings** (All dates tentative until each agenda is finalized)

- 1. April 15<sup>th</sup> (AM) – Resolution of Necessity, Highway 101 Interchange and Improvement Project at the Marin Sonoma Narrows
- 2. April 15<sup>th</sup> (PM) – ORD14-0006; Extend land use permits allowing Vacation Rentals in the LIA Zone
- 3. April 22<sup>nd</sup> (AM) – TEFRA Hearing for Sonoma Academy
- 4. April 22<sup>nd</sup> (PM) – UPE07-0008; Cornell Winery Use Permit Application, 100, 245, 420, 500 and 560 Spring Mountain Summit Trail in eastern Sonoma County
- 5. April 22<sup>nd</sup> (PM) – UPE13-0065; Request for Use Permit – Republic Service of Sonoma County, 500 Meacham Road, Cotati
- 6. April 22<sup>nd</sup> (PM) – Consolidated Fee Hearings
- 7. May 6<sup>th</sup> (PM) – ZCE13-0014; Zone Change, 505 Dusty Lane, Sebastopol
- 8. May 13<sup>th</sup> (AM) – NSCAPCD Fiscal Year 2014-15 budget Hearing
- 9. May 13<sup>th</sup> (PM) – GPA13-0013; General Plan Amendment
- 10. May 13<sup>th</sup> (PM) – ZCE13-0019; Zone Change, 701 Leveroni Road, Sonoma



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 1**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Board of Supervisors

**Staff Name and Phone Number:**

David Rabbitt, Chair

**Supervisorial District(s):**

All

**Title:** Gold Resolution Recognizing Honorable Gary Nadler on Appointment to the California Judicial Council

**Recommended Actions:**

Resolution Of The Board Of Supervisors Of The County Of Sonoma, State Of California, Congratulating Honorable Gary Nadler, Judge Of The Superior Court Of Sonoma County, On Being Appointed To The California Judicial Council

**Executive Summary:**

The Judicial Council is the policymaking body of the California courts, the largest court system in the nation. Under the leadership of the Chief Justice and in accordance with the California Constitution, the Council is responsible for ensuring the consistent, independent, impartial, and accessible administration of justice. The Administrative Office of the Courts (AOC) implements the Council's policies. Sonoma County Presiding Judge, Gary Nadler has been appointed to the California Judicial Council. The attached Resolution expresses the County's congratulations to Judge Nadler on the prestigious appointment.

**Prior Board Actions:**

**Strategic Plan Alignment**      Goal 4: Civic Services and Engagement

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

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**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

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**Attachments:**

Resolution

**Related Items "On File" with the Clerk of the Board:**

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County of Sonoma  
State of California

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Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

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4/5 Vote Required

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**Resolution Of The Board Of Supervisors Of The County Of Sonoma, State Of California,  
Congratulating Honorable Gary Nadler, Judge Of The Superior Court Of Sonoma County, On  
Being Appointed To The California Judicial Council**

**WHEREAS**, Judge Gary Nadler is currently assigned to the civil division of the Superior Court of Sonoma County and is active in the California Judges Association, where he currently serves on its Government Relations Committee; and

**WHEREAS**, Judge Nadler has served as the Superior Court of Sonoma County's presiding judge from 2009 to 2011; and

**WHEREAS**, since Judge Nadler's appointment to the bench in 2002, he has been a key member of several Judicial Council committees and task forces. This includes a current membership in the Trial Court Facility Modification Advisory Committee, and active involvement in the Court Technology Advisory Committee and its Technology Planning Task Force; and

**WHEREAS**, Judge Nadler previously served on Trial Court Presiding Judges Advisory Committee, the Trial Court Budget Working Group, and the Advisory Committee on Financial Accountability and Efficiency for the Judicial Branch; and

**WHEREAS**, Judge Nadler is a judicial education leader, serving on the Civil Law Education Committee for the Center for Judiciary Education and Research since 2005. His leadership includes teaching extensively in continuing education for California judges and is a faculty member for the Bernard E. Witkin Judicial College, the annual two-week program for new judges. He is also an author of the *California Discovery Handbook*, and various action guides relating to civil discovery for the Continuing Education of the Bar; and

**WHEREAS**, Judge Nadler is also a long-standing adjunct professor at the University of San Francisco School of Law, from which he received his law degree; and

Resolution #

Date:

Page 2

**WHEREAS**, Judge Nadler has been recognized for his community service in connection with Sonoma County’s drug court and in service to the homeless, receiving the Marijke Byck Spirit of Community award from the Task Force for the Homeless in 2009; and

**WHEREAS**, according to the State Constitution, the Chief Justice chairs the Judicial Council and appoints its judicial members, and Chief Justice Tani G. Cantil-Sakauye has called Judge Nadler “an excellent fit” and selected him to be a one of ten trial court judges statewide to serve on this small prestigious Council; and

**WHEREAS**, the Judicial Council is the policymaking body of the California courts, the largest court system in the nation. Under the leadership of the Chief Justice, and in accordance with the California Constitution, the Council is responsible for ensuring the consistent, independent, impartial, and accessible administration of justice, and members include one other Supreme Court justice, three justices from the courts of appeal, and one appointment of a member of the state Senate and Assembly. The council currently has 11 advisory members.

**Now, Therefore, Be It Resolved** that the Board of Supervisors of Sonoma County hereby congratulates Judge Gary Nadler for the honor of being appointed to the California Judicial Council, effective March 1, 2014.

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

Ayes:

Noes:

Absent:

Abstain:

**So Ordered.**



County of Sonoma  
Agenda Item  
Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 2**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Board of Supervisors

**Staff Name and Phone Number:**

Supervisor Shirlee Zane  
(707) 565-2241

**Supervisorial District(s):**

Third District

**Title:** Gold Resolution

**Recommended Actions:**

Gold Resolution recognizing April 2014 As California's Distracted Driving Awareness Month

**Executive Summary:**

**Prior Board Actions:**

**Strategic Plan Alignment** Goal 1: Safe, Healthy, and Caring Community

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

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**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

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**Attachments:**

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**Related Items “On File” with the Clerk of the Board:**

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# County of Sonoma

## State of California

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Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

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4/5 Vote Required

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### Resolution Of The Board Of Supervisors Of The County Of Sonoma, State Of California, Recognizing April 2014 As Distracted Driving Awareness Month.

**Whereas**, distracted driving is a dangerous epidemic on America's roadways and defined as any activity that could divert a person's attention away from the primary task of driving; and

**Whereas**, 31% of Americans ages 18 to 64 have texted while driving in the past month, according to new research from the Centers for Disease Control and Prevention; and

**Whereas**, the National Safety Council has noted that using a cell phone while driving makes it four times as likely that a driver will crash even if they are using a hands-free device; and

**Whereas**, 44% of adults report that they have been passengers in a vehicle where the driver was using a cell phone in a way that put themselves or others in danger; and

**Whereas**, driving while using a cell phone reduces the amount of brain activity associated with driving by 37%; and

**Whereas**, both handheld or hands-free cell phone conversations while driving are risky because the distraction to the brain remains; and

**Whereas**, drivers talking on cell phones can miss seeing up to 50% of their driving environments, including pedestrians and red lights; and

**Whereas**, the close knit community of Sonoma County has recently lost two wonderful people, Sue and Sharon Hufford, due to distracted driving; and

**Whereas**, the Sonoma County Safe Streets Coalition and its law enforcement partners are committed to reducing the number of traffic deaths and injuries throughout the county by educating motorists and raising awareness of dangerous driving behaviors.



Resolution #

Date:

Page 2

**Now, Therefore, Be It Resolved** that the Sonoma County Board of Supervisors does hereby recognize April 2014 as Distracted Driving Awareness Month.

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

Ayes:

Noes:

Absent:

Abstain:

**So Ordered.**



County of Sonoma  
Agenda Item  
Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 3**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Board of Supervisors

**Staff Name and Phone Number:**

Supervisor Shirlee Zane  
(707) 565-2241

**Supervisorial District(s):**

Third District

**Title:** Gold Resolution

**Recommended Actions:**

Gold Resolution Recognizing April 2014 as "Sexual Assault Awareness Month."

**Executive Summary:**

**Prior Board Actions:**

**Strategic Plan Alignment** Goal 4: Civic Services and Engagement

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
<b>Related Items “On File” with the Clerk of the Board:</b>			



County of Sonoma  
State of California

Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

4/5 Vote Required

**Resolution Of The Board Of Supervisors Of The County Of Sonoma, State Of California,  
Recognizing April 2014 As Sexual Assault Awareness Month**

**Whereas**, Sexual Assault Awareness Month is intended to draw attention to the fact that sexual violence remains an intolerable violent crime and that rape, sexual assault, and sexual harassment has a profound and lasting impact on our community; and

**Whereas**, national statistics indicate that as many as one in three women and one in seven men will be raped at some point in their lives; and

**Whereas**, child sexual abuse prevention must be a priority as the national findings show one in seven boys and one in three girls will experience a sexual assault before the age 18; and

**Whereas**, young people experience heightened rates of sexual violence, and youth ages 12-17 were 2.5 times as likely to be victims of rape or sexual assault; and

**Whereas**, we must work together to educate our community about sexual violence prevention, supporting survivors, and speaking out against harmful attitudes and actions; and

**Whereas**, with leadership, dedication, and encouragement, there is evidence that we can be successful in preventing sexual violence in Sonoma County through increased education, awareness, and community involvement; and

**Whereas**, the Board of Supervisors of Sonoma County strongly supports the efforts of national, state, and local partners, and of every citizen, to actively engage in public and private efforts to prevent sexual violence. It's time for all of us to start conversations, take appropriate action and support one another to create a safer environment for all; and

**Whereas**, the Sonoma County Board of Supervisors join advocates and communities across the country in playing an active role to prevent sexual violence.

**Now, Therefore, Be It Resolved** along with the United States Government and State of California, that the Sonoma County Board of Supervisors designates the month of April 2014, to be Sexual Assault Awareness Month in Sonoma County.

Resolution #

Date:

Page 2

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

Ayes:

Noes:

Absent:

Abstain:

**So Ordered.**



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number:**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Human Services Department

**Staff Name and Phone Number:**

Nick Honey 565-4343

**Supervisorial District(s):**

All

**Title:** Child Abuse Prevention Month

### **Recommended Actions:**

Adopt a Resolution declaring the Month of April 2014 as Child Abuse Prevention Month in Sonoma County.

Display the Children's Memorial Flag the weeks of April 14<sup>th</sup>, April 21<sup>st</sup> and April 28<sup>th</sup> and the Minimizing Occurrence of Violence in Everyday Society – (MOVES) flag on Friday – April 28th

### **Executive Summary:**

Since 1983, April has nationally been recognized as Child Abuse Prevention Month.

In 2013, Sonoma County had 1,880 reports of child abuse that were serious enough to require a face-to-face investigation to determine if allegations of abuse were substantiated. 195 children were removed from unsafe and abusive homes. Child abuse has serious impacts on both individuals and the community. Abused and neglected children may become adults with struggles of drug abuse, depression, homelessness, alcoholism and incarceration. Early intervention and prevention are the most effective ways to stop child abuse. Engaging families/parents in services is essential in ending abuse.

The County Departments of Human Services, District Attorney and Sheriff's Office have joined together in recognizing and supporting education, prevention and treatment efforts for all forms of child abuse. The Sonoma County Blue Ribbon Campaign, sponsored by California Parenting Institute, Prevent Child Abuse Council and Minimizing Occurrence of Violence in Everyday Society – (MOVES) focuses on educating the community on the issues and problems of child abuse. California Parenting Institute is offering a number of free parenting classes. On April 24 from 8:30 am to 11:00 am there will be training hosted by Prevent Child Abuse Sonoma County. Richard Guerry will be the trainer. The topic of the training is "How to Prevent Cyber Bullying, Sexting, Social Media Abuse, and Other Cyber issues. There will be a luncheon at 11:00 am. The training and luncheon will be held at Mary Agatha Furth Bldg., 8400 Old Redwood Highway, Windsor, CA.

<b>Prior Board Actions:</b>			
In the past years, the Sonoma County Board of Supervisors has expressed their support of efforts to prevent child abuse and neglect by proclaiming April to be Child Abuse prevention Month in Sonoma County.			
<b>Strategic Plan Alignment</b> Goal 1: Safe, Healthy, and Caring Community			
Creates awareness of child abuse to increase prevention efforts and abuse reporting resulting in increased health and safety for Sonoma County children.			
<b>Fiscal Summary - FY 13-14</b>			
<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$ 0</b>	<b>Total Sources</b>	<b>\$ 0</b>
<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
None			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
None			
<b>Attachments:</b>			
Resolution			
<b>Related Items "On File" with the Clerk of the Board:</b>			
None			



# County of Sonoma

## State of California

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Date: April 8, 2014

Resolution Number: \_\_\_\_\_

4/5 Vote Required

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**RESOLUTION OF THE BOARD OF SUPERVISORS OF THE COUNTY OF SONOMA, STATE OF CALIFORNIA,  
DECLARING APRIL 2014 AS CHILD ABUSE PREVENTION MONTH IN SONOMA COUNTY**

**Whereas**, in 2013, Sonoma County had 1,880 reports of child abuse that were serious enough to require face-to-face investigation to determine if allegations of abuse were substantiated and 195 children were removed from unsafe and abusive homes; and

**Whereas**, child abuse has serious impacts on both individuals and the community; and

**Whereas**, early intervention and prevention are the most effective ways to stop child abuse - engaging families and parents in services is essential in ending abuse; and

**Whereas**, the Sonoma County Blue Ribbon Campaign, sponsored by California Parenting Institute, the Prevent Child Abuse Council and Minimizing Occurrence of Violence in – (MOVES) focus on educating the community on the issues and problems of child abuse. They offer a number of free parenting classes; and

**Whereas**, Sonoma County Human Services, District Attorney and Sheriff's Office have joined together in recognizing and supporting education, prevention and treatment efforts for all forms of child abuse; and

**Whereas**, working together we can all make a difference for all of the children in our county.

**Now, Therefore, Be It Resolved** that the Sonoma County Board of Supervisors hereby proclaim the Month of April 2014 as Child Abuse Prevention Month in Sonoma County.

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

Ayes:

Noes:

Absent:

Abstain:

**So Ordered.**





## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 5**  
(This Section for use by Clerk of the Board Only.)

**To:** Sonoma County Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** No Vote Required

**Department or Agency Name(s):** District Attorney's Office, Sheriff's Office,  
Health Services, Human Services, Probation Department

**Staff Name and Phone Number:**

Gloria Eurotas – 565-2822

**Supervisorial District(s):**

All

**Title:** National Crime Victims' Rights Week

### **Recommended Actions:**

Resolution proclaiming April 6, 2013, through April 12, 2014, as National Crime Victims' Rights Week in Sonoma County

### **Executive Summary:**

On behalf of the many public and private agencies working together to improve crime victims' services, and to prevent and respond to crime in our community, five departments – the District Attorney's Office, the Sheriff's Office, the Human Services Department, the Department of Health Services, and the Probation Department – have come together to seek a proclamation declaring April 6 through April 12, 2014, as National Crime Victims' Rights Week in Sonoma County. These departments are supported in this resolution and the various events during the week by our community partners in crime victims' services.

The week of April 6 through April 12, 2014, has been designated as National Crime Victims' Rights Week. For the past thirty years, communities across America have joined together annually to recognize the needs and rights of crime victims and survivors. In an effort to provide recognition to crime victims, Sonoma County is joining other counties and states throughout the nation in showing a commitment to raising awareness on the devastating impacts of crime and holding events honoring courageous survivors of crime and those who help them heal.

National Crime Victims' Rights Week Event on April 8, 2014:

10:00 a.m. Gold Resolution, Sonoma County Board of Supervisors

10:30 a.m. Reception to follow in Board of Supervisors' lobby.

In addition to these activities, numerous outreach activities will also take place throughout the county to raise awareness of victims and services available to victims of crime.

The following sections identify key services provided to victims within county agencies.

### **Sonoma County District Attorney's Office**

Historically, victims of crime have been under-served in a system geared to prosecute and protect the rights of the criminal. During the mid-seventies, the State of California began realizing that the trauma and financial loss experienced by victims should be acknowledged and began developing programs to address the problem. The California Legislature mandated that counties establish programs to assist crime victims who suffer the ill effects and trauma of crime. Section 13835.2 of the California Penal Code mandates the scope of services that must be offered. The Sonoma County Victim Services Division was established in 1978 to serve victims of crime. On November 4, 2008, the People of the State of California approved Proposition 9, the Victims' Bill of Rights Act of 2008: Marsy's Law. This measure amended the California Constitution to provide additional rights to victims.

The District Attorney's Office Victim Services Division offers comprehensive services to victims and witnesses of all types of violent crimes. Mandated services provided by the Victim Services Division include crisis intervention, emergency assistance, direct follow-up counseling, court escort and court support. Some optional services provided include creditor intervention, child care assistance, restitution information, and assistance with funeral and burial expenses through the State of California Victim Compensation Program.

In compliance with Marsy's Law, the District Attorney's Victim Services Division ensures victims receive all appropriate notifications related to court proceedings. We list victims' rights under Marsy's Law on our website. In order to better serve victims, the District Attorney implemented a web-based server, linked to the District Attorney's website, where victims are able to access online up to date court information and receive electronic notification of upcoming court dates.

The Victim Services Division served 2,974 new clients in FY 12/13 and has already assisted 1,577 new clients in the first half of FY 13/14. The Victim Compensation and Government Claims Board processed over 900 applications and paid more than \$690,000 directly to victims of crime in Sonoma County during FY 12/13. The Court issued 360 restitution orders to be paid by defendants on behalf of victims in the amount of \$4.46 million in FY 12/13. The District Attorney's Office Victim Services Division participates in numerous outreach events throughout the year to educate and inform our community about the services offered and available to victims and witnesses of crime.

The District Attorney's office is the lead agency for the Family Justice Center Sonoma County, a multi-agency collaborative effort that opened in August of 2011. The Family Justice Center (FJC) concept is a multi-disciplinary, physically co-located model with a coordinated, single point-of-access offering comprehensive wrap-around services for victims of domestic violence, sexual assault, elder abuse and child abuse. The Family Justice Centers seek to improve the services being offered to victims, and to reduce the number of locations a victim must visit as well as the number of visits they must make to tell their story and receive the help they need.

### **Sonoma County Sheriff's Office**

The Sonoma County Sheriff's Office receives approximately 25,500 "911" calls for service each year. Thousands of these calls are victim contacts. The Sheriff's Office provides victim services such as emergency first aid, criminal investigation, assistance with criminal justice process, and referrals to victim assistance resources. The Sheriff's Office works collaboratively with other government agencies to prevent and protect individuals from violence in an ongoing commitment to keep our community safe. The Sheriff's Office continues to be a strong supporter and partner of the Family Justice Center and is assisting in the revision and update of important information in the Victim Resource Pamphlet.

**Sonoma County Department of Health Services**

The Department of Health Service’s Sexual Assault Response Team (SART) was created in 1995. SART provides specialized, coordinated services to the people of Sonoma County in a caring, supportive, collaborative and professional manner. SART is a multidisciplinary team of trained professionals. The department provides trained forensic examiners 24 hours a day, 365 days a year. Department staff work closely with the Human Services Department, the District Attorney’s Office, local law enforcement, and community partners, such as Sutter Hospital, the YWCA of Sonoma County and Verity (formerly United Against Sexual Assault), to provide services to victims and families.

**Sonoma County Human Services Department (HSD)**

The Human Services Department protects vulnerable children and adults through multiple programs and initiatives that promote maximum independence and well-being for individuals and families. In 2013, the Human Services Department examined an average of 445 reports of child abuse and neglect each month. During this same period the department received an average of 363 reports of abuse of an elder or dependent adult per month. Child, elderly and dependent adult victims of abuse suffer physical abuse, sexual abuse and/or emotional abuse. Elderly and dependent adults may also be victims of financial exploitation. For children, HSD staff coordinates and provides a comprehensive spectrum of services to ensure children are living in safe, stable and nurturing homes. Services, such as case management, counseling, parent education, behavioral interventions, transportation and assistance with basic needs are provided to children and their families to foster a sense of personal empowerment and hope. For elderly and dependent adults, HSD staff offers an array of resources to assist clients in maintaining their health and safety at home for as long as possible.

**Sonoma County Probation Department**

The Probation Department provides a number of services that aid victims. The Department’s investigations units prepare pre-sentence reports for the Superior Court that includes a description of the impact of crimes, including victim impact statements. These statements allow victims the opportunity to participate in and influence the court’s sentencing process. Probation officers provide ongoing contact with crime victims to enhance their safety, explain the criminal and juvenile justice processes, and provide referrals to available victim services. Probation officers supervise offenders in the community, collect restitution owed to victims, and work to ensure offenders understand the impact their behavior has had on their crime victims. These supervision efforts reduce the likelihood of further community and/or individual victimization. Further, in appropriate juvenile cases, officers participate in a restorative justice process that allows the victim a voice in the development of the offender’s supervision plan, and officers monitor completion of these plans.

**Prior Board Actions:**

Resolutions approved proclaiming National Crime Victims’ Rights Week for each of the past ten years.

**Strategic Plan Alignment**      Goal 1: Safe, Healthy, and Caring Community

Sonoma County residents face many challenges, such as changing demographics, human trafficking, immigration, and the use of technology both to commit and solve crimes. Many crimes are not reported, thus, victims frequently do not receive the help they desperately need. This Board Action will raise awareness of crime victims’ rights and the weeks’ events within the County that are designed to educate the public and reach all victims of crime.

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

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**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

None

**Attachments:**

Att 1: Resolution

**Related Items "On File" with the Clerk of the Board:**

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# County of Sonoma

## State of California

Date: April 8, 2014

Item Number: \_\_\_\_\_  
Resolution Number: \_\_\_\_\_

4/5 Vote Required

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**RESOLUTION OF THE BOARD OF SUPERVISORS OF THE COUNTY OF SONOMA,  
STATE OF CALIFORNIA, PROCLAIMING APRIL 6, 2014, THROUGH APRIL 12, 2014,  
AS NATIONAL CRIME VICTIMS' RIGHTS WEEK IN SONOMA COUNTY.**

**Whereas**, more than 31 million Americans are directly harmed by crime each year, and each crime affects many more family members, friends, neighbors, and co-workers; and

**Whereas**, approximately fifty percent of violent crimes are never reported, and only a fraction of victims receive the help they need; and

**Whereas**, the emotional, physical, psychological, and financial impact of crime falls on people of all ages and abilities, and of all economic, racial and social backgrounds; and

**Whereas**, the nation has heeded a call to action beginning with the President's Task Force on Victims of Crime in 1982 for a more equitable and supportive response to victims and has promoted victims' rights initiatives, effective and compassionate victim services, and just compensation and financial support; and

**Whereas**, today, thousands of victim assistance programs provide help and support to child victims of violence and sexual abuse; stalking victims; surviving family members of homicide victims; victims of drunk-driving crashes; and victims of domestic, dating, and sexual violence and other crimes; and

**Whereas**, now is the time for "New Challenges/New Solutions" through a comprehensive strategy for reaching and serving every victim of crime, especially traditionally underserved victims such as those with disabilities and victims from diverse cultures; and

**Whereas**, National Crime Victims' Rights Week, April 6, 2014, through April 12, 2014, provides an opportunity to explore the challenges and find the necessary solutions to assist every victim of crime in the United States—to help ensure their access to the help they deserve and the rights they are promised; and

**Now, Therefore, Be It Resolved**, that the Sonoma County Board of Supervisors does hereby proclaim April 6, 2014, through April 12, 2014, as National Crime Victims' Rights Week in the County of Sonoma; and Reaffirm the commitment of the County of Sonoma to respect and enforce victims' rights and address their needs during Crime Victims' Rights Week and throughout the year; **and** Express our appreciation for those victims and crime survivors who

Resolution #

Date:

Page 2

have turned personal tragedy into a motivating force to improve our response to victims of crime and build a more just community.

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

Ayes:

Noes:

Absent:

Abstain:

**SO ORDERED**



County of Sonoma  
Agenda Item  
Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 6**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Board of Supervisors

**Staff Name and Phone Number:**

Supervisor Susan Gorin, 565-2241

**Supervisorial District(s):**

First

**Title:** Gold Resolution

**Recommended Actions:**

Adopt a Gold Resolution congratulating David Donaldson for achieving rank of Eagle Scout

**Executive Summary:**

**Prior Board Actions:**

**Strategic Plan Alignment** Not Applicable

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
Resolution			
<b>Related Items “On File” with the Clerk of the Board:</b>			





# County of Sonoma

## State of California

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Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

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4/5 Vote Required

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### **Resolution Of The Board Of Supervisors Of The County Of Sonoma, State Of California, Honoring David James Alberigi Donaldson for Achieving the Rank of Eagle Scout**

**Whereas**, the Boy Scouts of America have a long and impressive history of preparing young men to assume responsibility in their communities; and

**Whereas**, David Donaldson began scouting in 3rd grade as a Cub Scout and then bridged to Boy Scouts during 5th grade. He achieved Eagle Rank during his sophomore year of high school at Maria Carrillo on September 25, 2013 as a member of Troop 58; and

**Whereas**, within scouting he has held the following leadership positions: Patrol Leader, Troop Instructor, Assistant Senior Patrol leader; and

**Whereas**, David has currently earned 33 merit badges including: Fire Safety, Pottery, Fish & Wildlife Management, First Aid, Wood Carving, Mammal Study, Radio, Scholarship, Swimming, Citizenship in the Community, Carpentry, Archery, Citizenship in Nation, Golf, Reading, Emergency preparedness, Wilderness Survival, Environmental Science, Basketry, Climbing, Leatherwork, Camping, Citizenship in the World, Personal Fitness, Family Life, Fingerprinting, Geology, Indian Lore, Photography, Rifle Shooting, Communications, Personal Management; and

**Whereas**, David's other interests include playing golf on his high school team, biking, archery, reading and speech and debate; and

**Whereas**, David's Eagle project was completed in two parts at First Presbyterian Church in Santa Rosa. The first part entailed clearing a landscaped area, pouring a large cement pad, and then installing a much needed bike rack. Part two involved refreshing the landscaping around the corner gazebo area with fresh bark and some decorative boulders.

**Now, Therefore, Be It Resolved** that the Sonoma County Board of Supervisors commends David upon his outstanding achievement of joining the rank of Eagle Scout.

**Be It Further Resolved** that the Sonoma County Board of Supervisors appreciates the

Resolution #

Date:

Page 2

effort which went into achieving the rank of Eagle Scout, and anticipates that David J.A. Donaldson will have the heart and spirit of an Eagle throughout his adult life.

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

Ayes:

Noes:

Absent:

Abstain:

**So Ordered.**



County of Sonoma  
Agenda Item  
Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 7**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Board of Supervisors

**Staff Name and Phone Number:**

565-2241

**Supervisorial District(s):**

All (1-5)

**Title:** Gold Resolution

**Recommended Actions:**

Adopt a Gold Resolution congratulating Cheryl Diehm on her retirement after 25 years of public service.

**Executive Summary:**

**Prior Board Actions:**

**Strategic Plan Alignment** Not Applicable

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
Resolution			
<b>Related Items “On File” with the Clerk of the Board:</b>			



# County of Sonoma

## State of California

Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

4/5 Vote Required

### **Resolution Of The Board Of Supervisors Of The County Of Sonoma, State Of California, Congratulating Cheryl Diehm on her Retirement after 25 years of Public Service**

**WHEREAS**, Cheryl Diehm has dedicated her life to public service for the past 25 years and will retire with the knowledge that her passion, intellect, humor, and grace has made a measurable and important impact on the world, and

**WHEREAS**, Cheryl was born in 1948 in Ontario, Idaho and grew up alongside a brother on a 30 acre farm outside of the town of Payette. During her childhood in rural America, she developed a passion for baseball and the Dodgers, an understanding of the virtues of hard work learned at her family's roadside produce stand, and a love of reading that inspired her to study journalism at Idaho State University, and

**WHEREAS**, during college, Cheryl joined service organizations and in 1968, she met Robert F. Kennedy, who was then, and remains to this day, her political inspiration, and

**WHEREAS**, in the early 1970s, Cheryl made a decision that would change her life when she "realized [she] could not be an objective observer of the movements of the day, but [instead] had to be an active participant" and

**WHEREAS**, after working with various organizations, including founding a feminist newspaper, Cheryl made the decision to move to Sonoma from Southern California. The choice would take her away from Dodgers' home games and deliver her into a community flanked by verdant hills and rabid Giants fans. She arrived in 1982 in a U-Haul and pulled up to a small farm in southern Sonoma Valley to live with a family she had not yet met, but who would come to cherish her forever. In the kitchen of her new home, Cheryl would help resurrect the Sonoma Valley Democrat Club, and

**WHEREAS**, in 1988, Cheryl worked with the late Fred Lucas to develop and manage a precinct operation that delivered 100% of Sonoma Valley precincts for the Democrats in the Presidential election. She was honored that year as Statewide Volunteer of the Year by the California Democratic Party, and

**WHEREAS**, in 1989, Cheryl met Mike Thompson, who was challenging the Senate Majority Leader, and volunteered on his campaign through his successful election in 1990. Senator Elect Thompson wisely offered Cheryl a job in his district legislative office and there she spent the next 24 years of her career; eight years in the State Senate and for the past 16 years while he has served in Congress, and

**WHEREAS**, over the course of her career, Cheryl has garnered a tremendous amount of respect and admiration from staffers and elected officials who recognize her talent for the daily work in a district office as well as her impressive understanding of the political process, and

**WHEREAS**, separate from her career success, Cheryl is also beloved by many people who deeply appreciate her razor wit, earthy charm, broad smile, and love of reclining chairs, and

Resolution #

Date:

Page 2

**WHEREAS**, Robert F. Kennedy once stated, "Few will have the greatness to bend history itself; but each of us can work to change a small portion of events, and in the total; of all those acts will be written the history of this generation." It is fair to assert that Kennedy could have been describing the life and heart of Cheryl, and

**WHEREAS**, the little girl who grew up on a farm in Idaho playing baseball with her brother, who went away to college and shook the hand of political legacy, and upended her life to come to Sonoma County where she helped steer the career of a brash politician with a small truck and big ideas, is, after 25 years of public service, leaving the life of elected action and retiring to a life of elective action. As a community, we are thankful for her service and for making this valley, this county, this country, and all of our lives better.

**Now, Therefore, Be It Resolved that the Board of Supervisors of Sonoma County hereby Congratulates Cheryl Diehm upon her retirement after 25 years of Public Service.**

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

Ayes:

Noes:

Absent:

Abstain:

**So Ordered.**



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 8**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Directors, Sonoma County Water Agency

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Sonoma County Water Agency

**Staff Name and Phone Number:**

Eric Wilhelm / 524-1172

**Supervisorial District(s):**

All Districts

**Title:** Remote Application Hosting Services

### **Recommended Actions:**

Authorize the General Manager: 1) to execute an agreement with Secure-24, LLC, to provide remote application hosting services (\$218,208; term is October 16, 2013, to October 31, 2015); and 2) renew the agreement for an additional one-year period, provided renewal does not increase the total cost to the Water Agency by more than \$109,104, and does not substantially change the scope of work.

### **Executive Summary:**

This item requests: 1) authorizing the General Manager to execute an agreement with Secure-24, LLC (\$218,208; from October 16, 2013, to October 31, 2015) for remote SAP Financials hosting services; and 2) authority for the Water Agency's General Manager to renew the agreement for a one-year period, pursuant to Paragraph 11.2 of the agreement, provided renewal does not increase the total cost to the Water Agency by more than \$109,104 and does not substantially change the scope of work.

### HISTORY OF ITEM/BACKGROUND

On July 13, 2010, the Board approved the Sonoma County Water Agency's (Water Agency) purchase of SAP America Inc. software as the nucleus of the Water Agency's plan to replace its aging, outdated cost accounting system. The selected SAP software is an integrated enterprise resource planning application that uses modules (i.e., individual programs) that can be purchased, installed, and run separately to extract data from a common database. These modules allow for more flexible cost allocation, and simplified timecard and payroll reconciliation. The SAP modules were customized for the Water Agency's specific uses.

On September 7, 2010, the Water Agency entered into an agreement (\$25,000) with Secure-24, Inc. (Secure-24), an SAP-certified partner, to implement a hosting environment for uploading the SAP software to enable testing of the SAP software for development and quality assurance purposes.

On October 26, 2010, the Water Agency entered into an agreement with Secure-24, to set up and maintain secure remote web hosting services for Water Agency's SAP software (period of October 15, 2010, to October 15, 2013, for an amount not to exceed \$131,000 for first year of the contract, and \$120,000 per year thereafter, for a total

of \$371,000 over the three-year contract).

#### SELECTION PROCESS

Secure-24 was part of a package of vendors selected by Water Agency staff (along with SAP and HPC America) to facilitate the replacement of the Water Agency's outdated cost accounting system. Beginning in 2009, Water Agency staff contacted over 30 firms to assess their capabilities and interest in identifying and developing a replacement system.

HPC America Inc. analyzed the Water Agency's requirements and presented a proposal. SAP representatives reviewed the cost and availability of SAP-certified partners to find the best-suited, lowest-cost companies to provide remote application hosting and software implementation services as well as develop, load, test, and execute applications specific to the Water Agency's particular requirements. SAP representatives determined that while the Water Agency could host the application, the application hosting could be more efficiently provided at a lower cost by Secure-24, a SAP-certified company. The Water Agency's SAP implementation has been developed into a complex application and is not easily transferable. Water Agency staff recommends continuing hosting services with Secure-24 while the Water Agency updates its SAP applications to share data with the County's PeopleSoft platform currently in development. ISD has reviewed this item and concurs in using an outside provider for these services at this time.

#### SERVICES TO BE PERFORMED

Under the proposed Agreement, Secure-24 will continue to provide managed remote application hosting services and information security for Water Agency's SAP software.

The cost of services will not exceed \$109,104 in fiscal year 2013/2014, and \$109,104 in fiscal year 2014/2015; the term is October 16, 2013, to October 31, 2015. The total agreement amount is \$218,208.

#### REQUEST FOR GENERAL MANAGER AUTHORITY TO RENEW

Paragraph 11.2 of the agreement with Secure-24 includes a provision to renew the agreement for a one-year period. The renewal would be at the same rates as the current agreement and would not increase the total cost to the Water Agency by more than \$109,104. The scope of work would not substantially change.

#### REQUEST FOR GENERAL MANAGER AUTHORITY TO TERMINATE

The standard template used for professional services agreements includes the following language, "Authority to Terminate: Water Agency's right to terminate may be exercised by Water Agency's General Manager." Since the subject agreement was prepared by Secure-24 using its form, this language is not included. Therefore, staff requests that the General Manager be authorized to terminate the Agreement, if appropriate, in keeping with standard protocol.

#### **Prior Board Actions:**

10/26/2010: Approved agreement with Secure-24, Inc, to set up and maintain secure remote web hosting services for Water Agency's SAP software. (\$371,000; term end October 15, 2013).

07/13/2010: Approved agreement with SAP America, Inc. for the purchase of cost accounting software to Replace Water Agency's cost accounting system (\$243,785; no term end date specified).



<b>Strategic Plan Alignment</b>		Goal 3: Invest in the Future	
Secure-24's hosting services support Goal 3 by providing a secure and reliable infrastructure to efficiently conduct the Water Agency's financial platform.			
Water Agency Organizational Goals and Strategies, Goal 1: Increase Organizational Efficiency, Effectiveness, and Resilience to Natural Disasters.			
<b>Fiscal Summary - FY 13-14</b>			
<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$ 109,104	Water Agency Gen Fund	\$ 109,104
Add Appropriations Req'd.	\$ -0-	State/Federal	\$ -0-
	\$	Fees/Other	\$ -0-
	\$	Use of Fund Balance	\$ -0-
	\$	Contingencies	\$ -0-
	\$		\$
<b>Total Expenditure</b>	<b>\$ 109,104</b>	<b>Total Sources</b>	<b>\$ 109,104</b>
<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
FY 2013/2014 appropriation of \$109,104 is from the General Fund. FY 2014/2015 appropriation of \$109,104 will be budgeted in that fiscal year.			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
None.			
<b>Attachments:</b>			
None.			
<b>Related Items "On File" with the Clerk of the Board:</b>			
Agreement (1 Copy).			



## County of Sonoma Agenda Item Summary Report

**Agenda Item Number: 9**

(This Section for use by Clerk of the Board Only.)

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**To:** Board of Directors, Sonoma County Water Agency

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Sonoma County Water Agency

**Staff Name and Phone Number:**

Carrie Pollard / 547-1968

**Supervisorial District(s):**

Second District

**Title:** City of Cotati's Local Supply Program

### **Recommended Actions:**

Authorize Chair to execute an agreement with the City of Cotati for the Water Agency to provide reimbursement funding of groundwater well improvements (\$157,235; agreement terminates December 31, 2014).

### **Executive Summary:**

This item requests approval for the Chair to execute an agreement with the City of Cotati (\$157,235; through December 31, 2014) for a portion of the construction of groundwater well improvements, per allowance in the Restructured Agreement and approval by the Water Advisory Committee.

### HISTORY OF ITEM/BACKGROUND

The Sonoma County Water Agency (Water Agency) and the City of Cotati (City) share the goal of promoting cost-effective water conservation measures, recycled water projects that offset potable water use, and standby local peak month production capacity projects that reduce peak demand on the Water Agency's water transmission system.

Pursuant to Section 2.6 (Recycled Water and Local Supply Projects) of the Restructured Agreement for Water Supply (Restructured Agreement), the Water Agency may fund the capital cost of local supply projects that have been approved by the Water Advisory Committee. Pursuant to Section 4.15 (Operation and Maintenance Charge-Recycled Local Water Supply) of the Restructured Agreement, the Water Agency shall calculate and collect, as part of the Operations and Maintenance Surcharge, a recycled water and local supply sub-charge. These funds shall be distributed to water contractors for developing recycled water projects that offset potable water use, and for developing standby local peak-month production capacity that reduces demands on the Water Agency's water transmission system.

The City has designed and constructed groundwater well improvements on 3 wells in the City's distribution system. These improvements will result in local supply of 200-500 gallons per minute production capacity for each

of the wells. On December 3, 2012, the Technical Advisory Committee approved funding for a portion of the construction of City's Project under Local Supply/ Recycled Water/ Tier 2 Water Conservation Program in the amount of \$157,235. Funding is available from appropriations in the category of "Recycled Water and Local Supply" as approved on April 1, 2013, by the Water Advisory Committee as part of the Fiscal Year 2013/2014 budget approval process.

The long-term management of water resources is critical in the Water Agency service area. The Water Agency is a party to the Memorandum of Understanding Regarding Urban Water Conservation in California (Memorandum). This Memorandum identifies water conservation Best Management Practices that achieve long-term reductions in per capita water demand to improve supply reliability, reduce the impact of short-term water shortage conditions, and provide a more accurate basis for future water management planning efforts. As signatory to the Memorandum, the Water Agency must comply with Best Management Practices #10 (Wholesale Agency Assistance Program). Implementation of Best Management Practices #10 consists of (at least) financial support, technical support, and program management of water conservation for the Water Agency's water retailers.

**Prior Board Actions:**

- 4/23/2013: Approved agreement between Water Agency and City of Rohnert Park for reimbursement funding. Cost \$649,629; term end June 30, 2014.
- 4/15/2008: Approved agreement between Water Agency and City of Santa Rosa for reimbursement funding. Cost \$1,100,000; no term end date.

**Strategic Plan Alignment**                      Goal 2: Economic and Environmental Stewardship

This project supports County Goal 3 by sustainably managing water for the future. The project will increase water reliability for City by diversifying their water supply portfolio and reduce demand on outside sources.

Water Agency Water Supply Goals and Strategies, Goal 1: Work with Water Contractors to retain and improve the reliability of the water supply production and distribution systems.

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$ 157,235	Water Agency Gen Fund	\$ -0-
Add Appropriations Req'd.	\$ -0-	State/Federal	\$ -0-
	\$	Fees/Other	\$ 157,235
	\$	Use of Fund Balance	\$ -0-
	\$	Contingencies	\$ -0-
	\$		\$
<b>Total Expenditure</b>	<b>\$ -0-</b>	<b>Total Sources</b>	<b>\$ -0-</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

Fiscal year 2013/2014 appropriation of \$157,235 is from the Recycled Water and Local Supply fund. No additional appropriation is required.

<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
None.			
<b>Attachments:</b>			
None.			
<b>Related Items "On File" with the Clerk of the Board:</b>			
Agreement (4 Copies).			



County of  
Sonoma  
Agenda Item  
Summary Report

**Agenda Item Number: 10**

(This Section for use by Clerk of the Board Only.)

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**To:** Board of Directors, Sonoma County Water Agency

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Sonoma County Water Agency

**Staff Name and Phone Number:**

Keenan Foster / 547-1971

**Supervisory District(s):**

All Districts

**Title:** Native Plant Propagation at Casa Grande High School

**Recommended Actions:**

Authorize the Chair to execute an agreement with Petaluma Joint Union High School District to provide plant propagation services (\$74,380; agreement terminates June 30, 2016).

**Executive Summary:**

This item requests approval for the Chair to execute an agreement with Petaluma Joint Union High School District for native plant propagation services for \$74,380, with agreement terminating June 30, 2016.

HISTORY OF ITEM/BACKGROUND

The Sonoma County Water Agency (Water Agency) and Petaluma Joint Union High School District (School District) have had a working relationship since 2005 in which the School District has provided plant propagation services for the Water Agency's Stream Maintenance Program (Program). The School District and the Water Agency recently completed a three year propagation agreement.

The Water Agency and School District wish to continue this arrangement by entering into a new agreement for plant propagation services for a total amount not-to-exceed \$74,380 for three years. The Agreement will continue to provide opportunities for Casa Grande High School students (Students) to enhance their understanding of native plant propagation, the use of native plants for wildlife habitat restoration, and the use of native and low water plants in urban landscapes. Students participate in the growing and cultivation of native plants sourced from local watersheds, including native grasses and trees such as willows and alders. It will also expand the Students' knowledge of hydrology and water quality, and enrich the School District's program by having Water Agency staff to speak in the classroom about environmental and conservation issues, and lead instructive creek walks along Water Agency easements.

SERVICES TO BE PERFORMED

The School District will supply native, contract grown plants for Program mitigation needs.

The Water Agency was unable to reimburse the School District for \$2,380 worth of additional plants that were used during the term of the previous agreement because of contracting limitations. That amount is proposed to be reimbursed under this agreement.

The cost of services will not exceed \$26,380 in fiscal year 2013/14; \$24,000 in fiscal year 2014/15; and \$24,000 in fiscal year 2015/16 with the term end date of June 30, 2016. The total agreement amount is \$74,380.

**Prior Board Actions:**

06/22/2010: Agreement between Water Agency and Petaluma Joint Union High School District for plant propagation services (\$26,620 for 3 years).

**Strategic Plan Alignment**      Goal 2: Economic and Environmental Stewardship

This item supports Goal 2 by enhancing and protecting watersheds and open space systems.

Water Agency Flood Control Goals and Strategies, Goal 1: Maintain, operate, and modify flood protection facilities to meet current and future public needs.

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$ 26,380.00	Water Agency Gen Fund	\$ -0-
Add Appropriations Req'd.	\$ -0-	State/Federal	\$ -0-
	\$	Zone 1A Laguna-Mark West	\$ 18,202.20
		Zone 2A Petaluma	\$ 7,914.00
		Zone 3A Valley of the Moon	\$ 263.80
		Fees/Other	\$
	\$	Use of Fund Balance	\$ -0-
	\$	Contingencies	\$ -0-
	\$		\$ -0-
<b>Total Expenditure</b>	<b>\$ 26,380.00</b>	<b>Total Sources</b>	<b>\$ 26,380.00</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

FY 2013/2014 appropriation of \$26,380 is from the Zone 1A Laguna-Mark West (Account 673202), Zone 2A Petaluma (Account 673301), and Zone 3A Valley of the Moon (Account 673400) funds. FY 2014/2015 appropriation of \$24,000 will be budgeted in that fiscal year for the same funds. FY 2015/2016 appropriation of \$24,000 will be budgeted in that fiscal year for the same funds.

**Staffing Impacts**

Position Title (Payroll Classification)	Monthly Salary Range (A – I Step)	Additions (Number)	Deletions (Number)

<b>Narrative Explanation of Staffing Impacts (If Required):</b>
None.
<b>Attachments:</b>
None.
<b>Related Items "On File" with the Clerk of the Board:</b>
Agreement (4 Copies).

DT: \\FILESERVER\DATA\CL\AGENDA\AGREES\04-08-2014 WA NATIVE PLANT PROPAGATION  
- CASA GRANDE\_SUMM.DOCM

CF/40-2-21 PETALUMA JOINT UNION HIGH SCHOOL DISTRICT (COOP AGREE FOR  
ENVIRONMENTAL EDUCATION AND NATIVE PLANT PROPAGATION AT CASA GRANDE  
HIGH SCHOOL NATIVE PLANT NURSERY) TW 12/13-176 (ID 4721)



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 11**  
(This Section for use by Clerk of the Board Only.)

**To:** The Board of Supervisors of Sonoma County

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Auditor-Controller-Treasurer-Tax Collector

**Staff Name and Phone Number:**

Scott Jann - (707) 565-8305  
Terina Tracy - (707) 565-3234

**Supervisorial District(s):**

All

**Title:** ACTTC Treasurer Investment Pool Audit Report

### **Recommended Actions:**

Review and accept the audit report of the Sonoma County Treasury Treasurer Investment Pool for the quarter ended December 31, 2013.

### **Executive Summary:**

California Government Code Section 26920 requires quarterly cash counts, and verification that the records of the County Treasurer and Auditor are reconciled pursuant to Section 26905.

We performed certain audit procedures and a review for the quarter ending December 31, 2013. These procedures included but are not limited to verification the fiscal records of the County Treasurer and the Auditor are reconciled, a quarterly physical cash count of the cash in the Treasury, and confirmation of account balances per the Treasury Investment Reports for December 31, 2013.

As stated in the Internal Audit Charter, the Internal Audit Division is organized and managed to optimize auditor independence, including not being directly involved in the day-to-day operation of the system of internal controls and having the ability to report directly to the Board with review findings. As such, we believe that the Internal Audit Division maintained independence during this review.

There were no significant findings as a result of our procedures.

### **Prior Board Actions:**

The Board reviewed and accepted the Agreed Upon Procedures and Review Reports for the quarter ending September 30, 2013 on March 11, 2014.

**Strategic Plan Alignment**      Goal 2: Economic and Environmental Stewardship



**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

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**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

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**Attachments:**

ATTACHMENT "A" 2<sup>nd</sup> Quarter Treasurer Investment Pool Compliance Audit Report

**Related Items "On File" with the Clerk of the Board:**

NONE

# Internal Audit

S o n o m a C o u n t y

ATTACHMENT A-1

## Compliance Audit: County of Sonoma Treasury Treasurer Investment Pool

For the Quarter Ended  
December 31, 2013

The County of Sonoma Treasury's cash in the vault agrees with amounts in the Treasury records, Treasury cash and investments for the quarter ended December 31, 2013 agree with ending bank statement balances, and the records of the County Treasurer and Auditor have been reconciled. Internal controls over the preparation and review of the quarterly bank reconciliations and the quarterly report of the Treasurer's Statement of Assets are adequately designed and implemented. We have reviewed the Treasurer's statement of assets and the amounts reported are supported by the Treasurer's records and bank and investment statements.

Audit No: 3580  
Report Date February 10, 2014



**Audit Manager:** Kanchan K. Charan, CPA  
**Audit Supervisor:** Damian Gonshorowski, CPA  
**Auditor:** Scott Jann

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# Table of Contents

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County of Sonoma Treasury  
Treasurer Investment Pool  
Audit No. 3580

For the Quarter Ended  
December 31, 2013

<b>Internal Auditor's Report</b>	<b><u>Page</u></b>
<b>Introduction and Background.....</b>	<b>1</b>
<b>Objectives and Scope .....</b>	<b>2</b>
<b>Procedures and Results.....</b>	<b>3 - 4</b>
<b>Supplemental Statement:</b>	
<b>Statement of Assets .....</b>	<b>5</b>

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## Introduction and Background

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### Introduction

We have completed a compliance audit of the County of Sonoma Treasury for the period October 1, 2013 to December 31, 2013. We conducted our audit in accordance with the *International Standards for the professional Practice of Internal Auditing (Standards)*, and in accordance with certain sections of the California Government Code. These standards require that we identify, analyze, evaluate, and document sufficient information and evidence to achieve our audit objectives. We believe that the evidence obtained provides a reasonable basis for the results, observations, and recommendations contained in our report.

The purpose of our engagement is to determine that the Treasury has complied with California Government Code section 26905 which requires the auditor to reconcile the cash and investment accounts as stated on the auditor's books with the cash and investment accounts as stated on the Treasurer's books, section 26920(a) requiring that at least once in each quarter, the county auditor shall perform, or cause to be performed, a review of the treasurer's statement of assets in the county treasury and issue a report thereof, and section 26922 requiring that the auditor shall file a copy of the quarterly report prepared pursuant to Section 26920(a) in the office of the Clerk of the Board of Supervisors.

We would like to thank management and staff for their time, information, and cooperation throughout the engagement.

### Background

The County of Sonoma Treasury is responsible for the safekeeping and investment of funds for the County, School Districts and Special Districts. The Treasury oversees all banking operations for the County and its Departments and is the paying agent for all debt and Special Assessments. All public financing is coordinated through the Treasury, as well as tax and revenue anticipation notes for the County and School Districts and General Obligation bonds for the School Districts. The Treasury also manages an investment portfolio of over \$1.5 billion and allocates over \$12 million in interest earnings annually.

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## Objectives and Scope

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### Objectives

The primary objectives of this audit were to determine if:

1. Cash in the Treasury vault agrees with amounts in the Treasury records;
2. Treasury cash and investments exist and agree with bank and other safekeeping agents' statements;
3. Internal controls over the preparation and review of quarterly bank reconciliations are adequately designed and implemented;
4. The records of the County Treasurer and Auditor have been reconciled, per Government Code §26905;
5. Internal controls over the quarterly report of the Treasurer's Statement of Assets are adequately designed and implemented to ensure amounts and types of assets are accurately reported, the report is properly reviewed, signed, and on file with the Clerk of the Board pursuant to Government Code §26922

### Scope

The audit was for the period October 1, 2013 to December 31, 2013. The scope of our work included the following:

- A preliminary survey to update our knowledge of the operating environment; identify changes in laws and regulations, systems, personnel and organization structure
- A risk analysis to identify significant risks of non compliance with policies, procedures or laws, loss or misuse of assets and inefficiencies in processes
- A review and evaluation of internal controls designed to ensure compliance with the above requirements and to adequately reduce the risk identified
- Tests of compliance to gain assurance that the internal control system is functioning as intended and is achieving its design objectives
- Follow up to determine the status of previous audit report findings and recommendations

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## Procedures and Results

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### Procedures

We have performed the procedures enumerated below:

1. Count cash in the Treasury vault and verify amounts to Treasury records
2. Verify existence and valuation of Treasury cash and investments held in banks and other safekeeping agents through the agents' statements
3. Review bank reconciliations for mathematical accuracy, reasonableness, and authorization
4. Review the deferred compensation reconciliations for completeness and verify balances to Nationwide confirmations
5. Verify a quarterly report of Treasury assets is properly reviewed, signed, and on file with the Clerk of the Board pursuant to Government Code §26922
6. Verify that records of the County Treasurer and Auditor have been reconciled, per Government Code §26905
7. We will present a written report listing the procedures applied and our related findings
8. We will express our opinion as to whether we are aware of any material modifications that should be made to the Treasurer's Statement of Assets in order for it to be presented in conformity with Government Code §26920.

### Results

**Objective #1: Cash in the Treasury vault agrees with amounts in the Treasury records**

The results of our cash count on January 2, 2014 support that cash on hand in the Treasury as of December 31 agrees with Treasury records (Teller Cash Sheets).

**Objective #2: Treasury cash and investments exist and agree with banks' and other safekeeping agents' statements**

The results of our tests verified the existence and valuation of Treasury cash and investments agree with banks' and other safekeeping agents' statements

**Objective #3: Internal controls over the preparation and review of quarterly bank reconciliations are adequately designed and implemented**

Internal controls over the preparation and review of quarterly bank reconciliations are found to be adequately designed and implemented.

**Objective #4: The records of the County Treasurer and Auditor have been reconciled, per Government Code §26905**

The reconciliation of the records of the County Treasurer and Auditor has been successfully performed.

**Objective #5: Internal controls over the quarterly report of the Treasurer's Statement of Assets are adequately designed and implemented to ensure amounts and types of assets are accurately reported, the report is properly reviewed, signed, and on file with the Clerk of the Board pursuant to Government Code §26922**

Internal controls over the quarterly report of the Treasurer's Statement of Assets are found to be adequately designed and implemented. We have reviewed the Treasurer's statement of assets the amounts reported are supported by the Treasurer's records and bank and investment statements, and the report is properly reviewed, signed, and on file with the Clerk of the Board pursuant to Government Code §26922

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## Supplemental Statement

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**Sonoma County Treasury  
Statement of Assets  
December 31, 2013**

	<b>Investment Pool</b>
Cash in Vault	\$ 101,317
Cash in Banks	31,222,311
Investments	
Securities	1,400,149,091
Local Agency	49,894,607
Mutual Funds	90,917,558
Checks and County Warrants	8,493,248
Deferred Compensation	308,278,888
 Total Assets	 <u><u>\$ 1,889,057,019</u></u>

**Note 1: Financial Statement Presentation**

This special-purpose statement of net assets was prepared for the purpose of presenting the net assets of the Treasury pursuant to the California Code Section 26920 and is not intended to be a presentation in conformity with generally accepted accounting principles. The amounts presented are unadjusted book value, except for Deferred Compensation which is unadjusted bank balance. Accordingly, note disclosures required by Governmental Accounting Standards Board Statement No. 40 deposit and Investment Risk Disclosures, an amendment to GASB Statement No. 2, are not presented, since such disclosures are not required by the California Government Code Section 26920.





## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 12**  
(This Section for use by Clerk of the Board Only.)

**To:** Sonoma County Board of Supervisors, Board of Directors of the Sonoma County Water Agency, Board of Commissioners of the Community Development Commission, Board of Directors of the Sonoma County Agricultural Preservation and Open Space District

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Auditor-Controller-Treasurer-Tax Collector

**Staff Name and Phone Number:**

Erick Roeser 565-3289

**Supervisory District(s):**

All

**Title:** Sonoma County Annual Audit Reports for Fiscal Year 2012-2013

### **Recommended Actions:**

1. Accept the Sonoma County Comprehensive Annual Financial Report (CAFR) for fiscal year 2012-2013, including separate reports for Sonoma County Fair and Exposition, Inc., Water Agency, Sonoma Valley County Sanitation District, Russian River County Sanitation District, South Park County Sanitation District, Occidental County Sanitation District, Community Development Commission, Library, Transportation Project Fund, Transportation Trust Fund and Sonoma County Agricultural Preservation and Open Space District.
2. Accept the 2012-2013 Single Audit Reports for Sonoma County, Sonoma County Water Agency and the Sonoma County Sanitation Districts and Community Development Commission.

### **Executive Summary:**

#### **Comprehensive Annual Financial Report:**

This report contains the County of Sonoma Comprehensive Annual Financial Report (CAFR) for fiscal year end 2013 (see Attachment A), and separate audit reports of the Fair and Exposition, Water Agency, Sonoma Valley County Sanitation District, Russian River County Sanitation District, South Park County Sanitation District, Occidental County Sanitation District, Community Development Commission, Library, Transportation Project Fund, Transportation Trust Fund and Sonoma County Agricultural Preservation and Open Space District. These separate audits were performed by various CPA's with whom the agencies contracted and are included for your acceptance. Some of these audits are also taken separately to other boards and commissions (e.g. the Fair Board and the Library Commission). The financial information from these independent audits is included in the CAFR in accordance with Governmental Accounting Standards Board Pronouncement #14 and all were deemed to be "fairly" presented.

The CAFR is prepared by the Auditor-Controller-Treasurer-Tax Collector (ACTTC) and is audited by Vavrinek, Trine, Day & Co., LLP (VTD). It contains the audited financial statements as well as segment information on all of the County's Enterprise, Special Revenue, Debt Service, Capital Projects and fiduciary net assets. The CAFR also contains statistical information for the past ten years.

In the opinion of VTD, the financial information contained in the CAFR “presents fairly, in all material respects, the respective financial position of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information.” The CAFR was submitted to the Government Finance Officers Association’s annual “Certificate of Achievement for Excellence in Financial Reporting” awards program. The County has received the award for excellence in financial reporting continuously since 1992.

Two issues regarding the OPEB (other post employment benefit) liability for retiree healthcare described in Note 13 of the CAFR came to our attention after the CAFR was released. The first is related to the treatment of County payments for Medicare Part B and the second is the treatment of the implicit subsidy in the calculation of the County’s OPEB liability.

Note 13 illustrates the amount of the County’s annual OPEB cost, contribution and percentage of Annual OPEB cost contributed to the cost-sharing defined benefit plan. The County reimburses retirees \$96.40 per month (approximately \$2.2M for FY12/13) for their Medicare part B premiums. This payment should have been included as part of the County’s annual contribution. As a result, the contribution and the percentage of Annual OPEB cost contributed were understated in the CAFR. Because the amount is immaterial when considering the financial statements as a whole, we have elected not to reissue the CAFR; however, we will include the Medicare Part B premium payments in our calculation of the County’s annual contribution going forward.

Note 13 also illustrates the County as being responsible for the portion of the OPEB liability that results from including retirees in the same insurance risk pool as active employees. This portion of the OPEB liability is known as the implicit subsidy. Although Note 13 presents the County’s OPEB liability in accordance with Generally Accepted Accounting Principles, it does not represent the effect of the County’s \$500 per month maximum healthcare contribution. It is important to note that the active employee group is the primary contributor to the implicit subsidy and the County does not intend to ultimately fund this portion of the OPEB liability. As of June 30, 2013, the implicit subsidy made up approximately \$61 million of the County’s \$312 million OPEB liability. Going forward the County will include information on the portion of the contributions associated with the implicit subsidy in the notes to the CAFR.

#### **Single Audit Report:**

The Single Audit Report is a schedule of expenditures of federal awards received by the County for various programs as outlined in the report. The report is prepared by the ACTTC and audited by VTD. The Single Audit Report contains information on the review of internal controls and specific compliance requirements related to grants based upon Office of Management and Budget (OMB) Circular A-133 guidelines. The Single Audit can be viewed as having two objectives. One objective being a compliance audit of federal grant programs, and another to evaluate and report internal control observations that were noted as part of the financial audits. The 2012-2013 Single Audit received an “Unmodified Opinion” from VTD.

#### **Findings & Recommendations (County CAFR and Single Audit):**

In regards to internal control over compliance, VTD did not identify any deficiencies that they considered to be material weaknesses. However, VTD did identify certain deficiencies in internal control over compliance that they consider to be significant deficiencies. A significant deficiency is a deficiency or combination of deficiencies in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance. In all cases management submitted responses that were satisfactory to the ACTTC. Details of significant deficiencies in internal control over compliance are as follows:

1. **Finding 2013-001 - Special Test and Provision – ADP System for SNAP.** VTD noted that of the 40 case files selected for test-work, one required an application form could not be located.

2. **Finding 2013-002 - Special Test and Provision – EBT Card Security.** VTD noted that EBT cards were stored in a locked safe inside Human Services Department; however, the key to the safe was not stored in a secured location with restricted access. They also noted that the County did not maintain procedures to inventory/track EBT cards on hand.
3. **Finding 2013-003 - Special Test and Provision – Quality Control Unit.** VTD noted that the County has not established a Quality Control Unit independent of program operations for the SNAP program. Case file reviews are done within the program division.

**Findings & Recommendations (Sonoma County Library):**

Beels Soper LLP audited the Sonoma County Library's financial Statements. During their audit they did not identify any deficiencies in internal control that were considered material weaknesses. However, they did identify several deficiencies in internal controls that were considered significant deficiencies:

1. **Finding 2013-01 Availability of Financial Reporting Information.** Based upon the observation made during our audit, we feel the library has a lack of control and direction regarding the accounting system and overall fiscal management. In general, an accounting and information system should be designed to provide management with accurate and timely financial information to enable well-informed decisions to be made by all levels of management. The present system fails to meet these expectations. We strongly suggest that the Library seriously consider creating an accounting and information system that will facilitate the production of more useful financial information, provide for more accountability of assets and provide financial information at a departmental level to increase overall accountability throughout the Library, not just at top level management.
2. **Finding 2013-02 Accounting policies and Procedures.** During the course of our audit we noted the Library lacks written accounting policies and procedures manual.
3. **2013-03 Cut-off Procedures for Recordation of Transactions.** During the course of our audit we noted that proper cut-off procedures were neither followed nor properly supervised for the recordation of year-end liabilities resulting in an overstatement of the year-end liabilities.
4. **2013-04 Gift Acceptance Policy.** During the course of our audit we noted that the Library lacks documented gift acceptance procedures for public gifts to the Library. This lack of policy also results in an inability for gifts to be traced to their ultimate use.
5. **2013-05 Supervision of Accounting Personnel.** During the course of our audit we noted that there was a lack of supervision over the accounting staff during the fiscal year due to a resignation within Library management. This lack of supervision resulted in accounting errors identified during the audit. We strongly suggest that the Library fill this position with a permanent employee who possesses the qualifications and skill set to provide the necessary oversight.
6. **2013-06 Capital Improvement Fund.** During the course of our audit, we noted that the Library lacks a detailed methodology for the establishment of its restricted capital improvement fund. We suggest that the Library implement a more thoughtful approach to establishing such balance.
7. **2013-07 Physical Inventory of Fixed Assets.** During the course of our audit, we noted that the library has not performed a physical inventory of its fixed asset ledger and that there are variances between the fixed asset ledger and the general ledger.

**Status of Additional Findings from Prior Years (Single Audit):**

As part of their audit, VTD followed up on the status of matters that were identified in the prior year that warranted communication to the Board of Supervisors. The following summarizes the status of recommendations from prior audits:

1. **Finding 2012-A - Preparation of the Schedule of Expenditures of Federal Awards (SEFA)**—The previous auditor, Macias, Gini and O’Connell LLP (MGO), noted inaccuracies in the amount of federal expenditures reported on the SEFA for two programs. The ACTTC agreed with the finding and this observation has been resolved.
  
2. **Finding 2012-1 - Subrecipient Monitoring – Award Notification (FY 2011 & 2012) ARRA Recovery Act – Edward Byrne Memorial Justice Assistance Grant(JAG) Program/Grant to Units of Local Government**—MGO noted that Subrecipients were not provided with the CFDA number of the JAG grant awarded for FY 2012. This condition is an existing condition reported in the prior year single audit report. Due to the timing of the prior year single audit report, the County did not have time to correct in FY 2012. Subsequently, the County has established the appropriate internal controls to ensure the CFDA number is awarded to grantees. The ACTTC agreed with the finding and this observation has been resolved.
  
3. **Finding 2012-2 - Subrecipient Monitoring – Award Notification (FY 2011 & 2012) ARRA Recovery Act – Edward Byrne Memorial Justice Assistance Grant(JAG) Program/Grant to Units of Local Government**—MGO noted that the County did not request a copy of the subrecipient’s single audit report and/or verify that such report was completed. MGO subsequently reviewed the Federal Audit Clearinghouse (FAC) and noticed that the subrecipient did not reported the amount that the County passed to them related to this grant, thus these funds were not subject to the A-133 audit. The ACTTC agreed with the finding and this observation has been resolved.

**Prior Board Actions:**

3/19/2013 – Board accepted the Sonoma County Annual Audit Reports for Fiscal Year 2011-2012

**Strategic Plan Alignment**      Goal 2: Economic and Environmental Stewardship

Regular audit services help preserve the County's economic resources by reducing risk, improving controls, and ensuring fiscal transparency and public accountability.

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

--

**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

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**Attachments:**

- Attachment A: Report to the Board of Supervisors
- Attachment B: Sonoma County 2012-2013 Single Audit Report
- Attachment C: Sonoma County Library Independent Auditors Report and Schedule of Findings and Responses

**Related Items "On File" with the Clerk of the Board:**

- CAFR
- Separate report of Fair and Exposition
- Separate report of Water Agency
- Separate report of Sonoma Valley County Sanitation District
- Separate report of Russian River County Sanitation District
- Separate report of South Park County Sanitation District
- Separate report of Occidental County Sanitation District
- Separate report of Community Development Commission (includes Single Audit Report)
- Separate report of Library
- Separate report of Transportation Project Fund (includes Single Audit Report)
- Separate report of Transportation Trust Fund
- Separate report of Sonoma County Agricultural and Open Space District
- Sonoma County Agricultural and Open Space District Management Letter & Memo of Internal Controls
- Sonoma County Open Space District Fiscal Oversight Commission 2013-2014 Annual Report
- Sonoma County Open Space Special Tax Account - Measure F Government Code Section 50075.3 Reporting
- Single Audit for Sonoma County Water Agency
- Single Audit for Sonoma Valley County Sanitation District
- Single Audit for Russian River County Sanitation District



To the Honorable Board of Supervisors  
County of Sonoma, California

We have audited the financial statements of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information of the County of Sonoma, California (County) for the year ended June 30, 2013 and have issued our report thereon dated December 20, 2013.

We are currently performing the compliance audit of the County's federal award programs (the single audit) and plan to issue our reports thereon prior to March 31, 2014.

Professional standards require that we provide you with information about our responsibilities under generally accepted auditing standards, *Government Auditing Standards* and OMB Circular A-133, as well as certain information related to the planned scope and timing of our audit. Professional standards also require that we communicate to you the following information related to our audit.

#### Significant Audit Findings

##### *Qualitative Aspects of Accounting Practices*

Management is responsible for the selection and use of appropriate accounting policies. The significant accounting policies used by the County are described in Note 1 to the financial statements. As described in Note 1 to the financial statements, the County adopted Governmental Accounting Standards Board (GASB) Statement No. 61 – *The Financial Reporting Entity: Omnibus – an amendment of GASB Statements No. 14 and No. 34*, GASB Statement No. 62 – *Codification of Accounting and Financial Reporting Guidance Contained in Pre-November 30, 1989 FASB and AICPA Pronouncements*, and GASB Statement No. 63 – *Financial Reporting of Deferred Outflows of Resources, Deferred Inflows of Resources, and Net Position*, during the fiscal year. Accordingly, the cumulative effect of the accounting change as of the beginning of the year is described in Note 19.

We noted no transactions entered into by the governmental unit during the year for which there is a lack of authoritative guidance or consensus. All significant transactions have been recognized in the financial statements in the proper period.

Accounting estimates are an integral part of the financial statements prepared by management and are based on management's knowledge and experience about past and current events and assumptions about future events. Certain accounting estimates are particularly sensitive because of their significance to the financial statements and because of the possibility that future events affecting them may differ significantly from those expected. The most sensitive estimates affecting the County's financial statements were:

Management's estimates used in: risk management claims liabilities, fair value of investments, depreciation expense and the valuation of capital assets, pension and other postemployment benefit liabilities, and landfill postclosure care costs and disclosures. We evaluated the key factors and assumptions used to develop these estimates in determining that they appeared reasonable in relation to the financial statements taken as a whole.

## ATTACHMENT A-2

Certain financial statement disclosures are particularly sensitive because of their significance to financial statement users. The most sensitive disclosure affecting the financial statements was the restatement of beginning net position as discussed in Note 19 to the financial statements.

The financial statement disclosures are neutral, consistent, and clear.

### *Difficulties Encountered in Performing the Audit*

We encountered no significant difficulties in dealing with management in performing and completing our audit.

### *Uncorrected Misstatements*

Professional standards require us to accumulate all known and likely misstatements identified during the audit, other than those that are clearly trivial, and communicate them to the appropriate level of management. The attached Schedule A summarizes uncorrected misstatements of the financial statements. Management has determined that their effects are immaterial, both individually and in the aggregate, to the financial statements taken as a whole.

### *Disagreements with Management*

For purposes of this letter, a disagreement with management is a financial accounting, reporting, or auditing matter, whether or not resolved to our satisfaction, that could be significant to the financial statements or the auditor's report. We are pleased to report that no such disagreements arose during the course of our audit.

### *Management Representations*

We have requested certain representations from management that are included in the management representation letters dated December 20, 2013.

### *Management Consultations with Other Independent Accountants*

In some cases, management may decide to consult with other accountants about auditing and accounting matters, similar to obtaining a "second opinion" in certain situations. If a consultation involves application of an accounting principle to the governmental unit's financial statements or a determination of the type of auditor's opinion that may be expressed on those statements, our professional standards require the consulting accountant to check with us to determine that the consultant has all the relevant facts. To our knowledge, there were no such consultations with other accountants.

### *Other Audit Findings or Issues*

We generally discuss a variety of matters, including the application of accounting principles and auditing standards, with management each year prior to retention as the governmental unit's auditors. However, these discussions occurred in the normal course of our professional relationship and our responses were not a condition of our retention.

### Other Matters

With respect to supplementary information, we made certain inquiries of management and evaluated the form, content, and methods of preparing the information to determine that the information complies with accounting principles generally accepted in the United States of America, the method of preparing it has not changed from the prior period, and the information is appropriate and complete in relation to our audit of the financial statements. We compared and reconciled the supplementary information to the underlying accounting records used to prepare the financial statements or to the financial statements themselves.

ATTACHMENT A-3

This information is intended solely for the use of Board of Supervisors and management of the County and is not intended to be, and should not be, used by anyone other than these specified parties.

*Vavinich. Train, Dry Co, LLP*

Rancho Cucamonga, California

December 20, 2013



SCHEDULE A

COUNTY OF SONOMA  
 Uncorrected Misstatements  
 June 30, 2013

Number	Reporting Unit	Account/Description	Income Statement		Balance Sheet	
			DR.	CR.	DR.	CR.

<1> *General Fund*

Due From Other Governments		\$ 2,034,557
Taxes	\$ 2,034,557	

*(To record additional FY13 sales tax revenues collected and received subsequent to year-end, this represents 0.53% of the total General Fund revenues at fiscal year-end)*

<2> *Governmental Activities, Business-Type Activities, Fiduciary and Aggregate Remaining Funds*

Investment Pool Gain/Loss	\$ 4,135,534	
Cash & Investments		\$ 4,135,534

*(To record unrealized loss on County Treasury Investment Pool at fiscal year end. The total adjustment including externally audited component units is \$11,898,552, representing 0.7% of the total County pool)*

**COUNTY OF SONOMA, CALIFORNIA**

**Single Audit Report**

**For the Fiscal Year Ended June 30, 2013**

## COUNTY OF SONOMA, CALIFORNIA

**Single Audit Reports  
For the Fiscal Year Ended June 30, 2013**

**TABLE OF CONTENTS**

Independent Auditors' Report on Internal Control Over Financial Reporting and on Compliance and Other Matters Based on an Audit of Financial Statements Performed in Accordance with <i>Government Auditing Standards</i> .....	1
Independent Auditors' Report on Compliance for Each Major Federal Program; Report on Internal Control over Compliance; and Report on the Schedule of Expenditures of Federal Awards Required by OMB Circular A-133 .....	3
Schedule of Expenditures of Federal Awards .....	6
Notes to the Schedule of Expenditures of Federal Awards .....	10
Schedules of Findings and Questioned Costs	
I. Summary of Auditors' Results .....	15
II. Financial Statement Findings .....	16
III. Federal Award Findings and Questioned Costs .....	17
Summary Schedule of Prior Audit Findings.....	21



**INDEPENDENT AUDITORS' REPORT ON INTERNAL CONTROL OVER FINANCIAL REPORTING AND ON COMPLIANCE AND OTHER MATTERS BASED ON AN AUDIT OF FINANCIAL STATEMENTS PERFORMED IN ACCORDANCE WITH GOVERNMENT AUDITING STANDARDS**

Board of Supervisors  
County of Sonoma, California

We have audited, in accordance with the auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States, the financial statements of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information of County of Sonoma, California (County), as of and for the year ended June 30, 2013, and the related notes to the financial statements, which collectively comprise the County's basic financial statements, and have issued our report thereon dated December 20, 2013. Our report included an emphasis of matter paragraph regarding the County's adoption of Governmental Accounting Standards Board (GASB) Statement No. 61, *The Financial Reporting Entity: Omnibus – an amendment of GASB Statement No. 14 and No. 34*, GASB 62, *Codification of Accounting and Financial Reporting Guidance Contained in Pre-November 30, 1989 FASB and AICPA Pronouncements*, and GASB 63, *Financial Reporting of Deferred Outflows of Resources, Deferred Inflows of Resources, and Net Position*. Our report also included a reference to other auditors who audited the financial statements of the Sonoma County Agricultural Preservation and Open Space District (nonmajor governmental fund), Transit Fund (major enterprise fund), Sonoma County Fair and Exposition (Nonmajor enterprise fund), Community Development Commission (discretely presented component unit), Sonoma County Library (discretely presented component unit), Sonoma County Water Agency (discretely presented component unit), Sonoma Valley County Sanitation District (discretely presented component unit), Russian River County Sanitation District (discretely presented component unit), South Park County Sanitation District (discretely presented component unit), and the Occidental County Sanitation District (discretely presented component unit), as described in our report on the County of Sonoma's financial statements. This report does not include the results of the other auditors' testing of internal control over financial reporting or compliance and other matters that are reported on separately by those auditors. The financial statements of the Sonoma County Agriculture Preservation and Open Space District were not audited in accordance with *Government Auditing Standards*.

**Internal Control Over Financial Reporting**

In planning and performing our audit of the financial statements, we considered the County's internal control over financial reporting (internal control) to determine the audit procedures that are appropriate in the circumstances for the purpose of expressing our opinions on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the County's internal control. Accordingly, we do not express an opinion on the effectiveness of the County's internal control.

A *deficiency in internal control* exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A *material weakness* is a deficiency, or a combination of deficiencies, in internal control, such that there is a reasonable possibility that a material misstatement of the entity's financial statements will not be prevented, or detected and corrected on a timely basis. A *significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. However, material weaknesses may exist that have not been identified.

### **Compliance and Other Matters**

As part of obtaining reasonable assurance about whether the County's financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements, noncompliance with which could have a direct and material effect on the determination of financial statement amounts. However, providing an opinion on compliance with those provisions was not an objective of our audit, and accordingly, we do not express such an opinion. The results of our tests disclosed no instances of noncompliance or other matters that are required to be reported under *Government Auditing Standards*.

### **Purpose of this Report**

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the entity's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the entity's internal control and compliance. Accordingly, this communication is not suitable for any other purpose.



Rancho Cucamonga, California  
December 20, 2013



**INDEPENDENT AUDITORS' REPORT ON COMPLIANCE FOR EACH MAJOR FEDERAL PROGRAM; REPORT ON INTERNAL CONTROL OVER COMPLIANCE; AND REPORT ON THE SCHEDULE OF EXPENDITURES OF FEDERAL AWARDS REQUIRED BY OMB CIRCULAR A-133**

Board of Supervisors  
 County of Sonoma, California

**Report on Compliance for Each Major Federal Program**

We have audited the County of Sonoma, California's (County) compliance with the types of compliance requirements described in the *OMB Circular A-133 Compliance Supplement* that could have a direct and material effect on each of the County's major federal programs for the year ended June 30, 2013. The County's major federal programs are identified in the summary of auditor's results section of the accompanying schedule of findings and questioned costs.

The County's basic financial statements include the operations of the following entities, which are not included in the schedule of expenditures of federal awards for the fiscal year ended June 30, 2013:

Entity	Federal Expenditures
Sonoma County Community Development Commission	\$ 31,643,639
Russian River County Sanitation District	3,884,450
Sonoma County Water Agency	3,587,117
County of Sonoma Transportation Project Fund (Transit)	2,427,901
Sonoma Valley County Sanitation District	729,187
Sonoma County Fair and Exposition	131,638
Sonoma County Library	20,856

Our audit, described below, did not include the operations of these entities because they engaged other auditors to perform an audit in accordance with OMB Circular A-133.

**Management's Responsibility**

Management is responsible for compliance with the requirements of laws, regulations, contracts, and grants applicable to its federal programs.

***Auditors' Responsibility***

Our responsibility is to express an opinion on compliance for each of the County's major federal programs based on our audit of the types of compliance requirements referred to above. We conducted our audit of compliance in accordance with auditing standards generally accepted in the United States of America; the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States and *OMB Circular A-133, Audits of States, Local Governments, and Non-Profit Organizations*. Those standards and *OMB Circular A-133* require that we plan and perform the audit to obtain reasonable assurance about whether noncompliance with the types of compliance requirements referred to above that could have a direct and material effect on a major federal program occurred. An audit includes examining, on a test basis, evidence about the County's compliance with those requirements and performing such other procedures as we considered necessary in the circumstances.

We believe that our audit provides a reasonable basis for our opinion on compliance for each major federal program. However, our audit does not provide a legal determination of the County's compliance.

***Opinion on Each Major Federal Program***

In our opinion, the County complied, in all material respects, with the types of compliance requirements referred to above that could have a direct and material effect on each of its major federal programs for the year ended June 30, 2013.

***Other Matters***

The results of our auditing procedures disclosed instances of noncompliance, which are required to be reported in accordance with OMB Circular A-133 and which are described in the accompanying schedule of findings and questioned costs as items 2013-001 through 2013-003. Our opinion on each major federal program is not modified with respect to these matters.

The County's responses to the noncompliance findings identified in our audit are described in the accompanying schedule of findings and questioned costs. The County's responses were not subjected to the auditing procedures applied in the audit of compliance and, accordingly, we express no opinion on the responses.

**Report on Internal Control Over Compliance**

Management of the County is responsible for establishing and maintaining effective internal control over compliance with the types of compliance requirements referred to above. In planning and performing our audit of compliance, we considered the County's internal control over compliance with the types of requirements that could have a direct and material effect on each major federal program to determine the auditing procedures that are appropriate in the circumstances for the purpose of expressing an opinion on compliance for each major federal program and to test and report on internal control over compliance in accordance with OMB Circular A-133, but not for the purpose of expressing an opinion on the effectiveness of internal control over compliance. Accordingly, we do not express an opinion on the effectiveness of the County's internal control over compliance.

*A deficiency in internal control over compliance* exists when the design or operation of a control over compliance does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, noncompliance with a type of compliance requirement of a federal program on a timely basis. *A material weakness in internal control over compliance* is a deficiency, or combination of deficiencies, in internal control over compliance, such that there is a reasonable possibility that material noncompliance with a type of compliance requirement of a federal program will not be prevented, or detected and corrected, on a timely basis. *A significant deficiency in internal control over compliance* is a deficiency, or a combination of deficiencies, in internal control over compliance with a type of compliance requirement of a federal program that is less severe than a material weakness in internal control over compliance, yet important enough to merit attention by those charged with governance.

Our consideration of internal control over compliance was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control over compliance that might be material weaknesses or significant deficiencies and therefore, material weaknesses or significant deficiencies may exist that were not identified. We did not identify any deficiencies in internal control over compliance that we consider to be material weaknesses. However, we identified certain deficiencies in internal control over compliance, as described in the accompanying schedule of findings and questioned costs as items 2013-001 through 2013-003 that we consider to be significant deficiencies.

The County's responses to the internal control over compliance findings identified in our audit are described in the accompanying schedule of findings and questioned costs. The County's responses were not subjected to the auditing procedures applied in the audit of compliance and, accordingly, we express no opinion on the responses.

The purpose of this report on internal control over compliance is solely to describe the scope of our testing of internal control over compliance and the results of that testing based on the requirements of OMB Circular A-133. Accordingly, this report is not suitable for any other purpose.

### **Report on Schedule of Expenditures of Federal Awards Required by OMB Circular A-133**

We have audited the financial statements of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information of the County as of and for the year ended June 30, 2013, and the related notes to the financial statements, which collectively comprise the County's basic financial statements. We issued our report thereon dated December 20, 2013, which contained unmodified opinions on those financial statements. Our report included an emphasis of matter paragraph regarding the County's adoption of Governmental Accounting Standards Board (GASB) Statement No. 61, *The Financial Reporting Entity: Omnibus – an amendment of GASB Statement No. 14 and No. 34*, GASB 62, *Codification of Accounting and Financial Reporting Guidance Contained in Pre-November 30, 1989 FASB and AICPA Pronouncements*, and GASB 63, *Financial Reporting of Deferred Outflows of Resources, Deferred Inflows of Resources, and Net Position*. Our report also includes a reference to other auditors who audited the financial statements of the Sonoma County Agricultural Preservation and Open Space District (nonmajor governmental fund), Transit Fund (major enterprise fund), Sonoma County Fair and Exposition (Nonmajor enterprise fund), Community Development Commission (discretely presented component unit), Sonoma County Library (discretely presented component unit), Sonoma County Water Agency (discretely presented component unit), Sonoma Valley County Sanitation District (discretely presented component unit), Russian River County Sanitation District (discretely presented component unit), South Park County Sanitation District (discretely presented component unit), and the Occidental County Sanitation District (discretely presented component unit), as described in our report on the County of Sonoma's financial statements. Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the basic financial statements. The accompanying schedule of expenditures of federal awards is presented for purposes of additional analysis as required by OMB Circular A-133 and is not a required part of the basic financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the basic financial statements. The information has been subjected to the auditing procedures applied in the audit of the financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the schedule of expenditures of federal awards is fairly stated in all material respects in relation to the basic financial statements as a whole.

*Varrinck, Train, Day & Co., LLP*

Rancho Cucamonga, California  
March 14, 2014



**COUNTY OF SONOMA**  
**Schedule of Expenditures of Federal Awards**  
**For the Fiscal Year Ended June 30, 2013**

Federal Grantor/Pass-through Grantor/Program or Cluster Title	Federal CFDA No.	Federal Agency / Pass-Through Entity Identifying Number	State Expenditures	Federal Expenditures
<b>U.S. Department of Agriculture</b>				
<u>Direct Federal Programs</u>				
Rural Business Enterprise Grant (RBEG):				
Healthy Food Outlet Program	10.769	RBEG Grant		\$ 142
Cooperative Forestry Assistance				
Forest Health Protection Program	10.664	11-DG-11052021-122		29,293
Subtotal Direct Federal Programs				<u>29,435</u>
<u>Passed through the State Department of Food and Agriculture</u>				
Plant and Animal Disease, Pest Control, and Animal Care:				
Exotic Pest Detection Program	10.025	11-8520-1399-CA	\$ 145,490	
Pierce's Disease Control Program	10.025	12-8506-0484-CA		284,098
European Grapevine Moth	10.025	11-8520-1317-CA & 12-8506-1317-CA		821,834
Forest Health Protection - Sudden Oak Death and Strategic Response	10.025	11-8523-0572-CA		18,905
Light Brown Apple Moth (LBAM) Regulatory	10.025	11-8520-1164-CA & 12-8520-1164-CA	81,582	
Subtotal Plant and Animal Disease, Pest Control, and Animal Care				1,351,909
Meat, Poultry, and Egg Product Inspection				
Egg Quality Control Program	10.477	12-25-A-3269		13,996
Subtotal Passed through the State Department of Food and Agriculture				<u>1,365,905</u>
<u>Passed through the State Department of Forestry and Fire Protection</u>				
Cooperative Forestry Assistance				
Volunteer Fire Assistance Program	10.664	7FG12025		13,303
<u>Passed through the State Department of Social Services</u>				
State Administrative Matching Grant for the Supplemental Nutrition Assistance Program (SNAP)	10.561	11609		7,171,216
<u>Passed through the State Department of Public Health</u>				
Special Supplemental Nutrition Program for Women, Infants and Children (WIC)	10.557	11-10457		2,150,188
State Administrative Matching Grant for the Supplemental Nutrition Assistance Program (SNAP)	10.561	11-10767 & 12-10193		303,599
Subtotal Passed through the State Department of Public Health				<u>2,453,787</u>
<u>Passed through the State Department of Education, Nutritional Services Division</u>				
Child Nutrition Cluster:				
School Breakfast Program	10.553	02836-SN-49-R	61,625	
National School Lunch Program	10.555	02836-SN-49-R	97,286	
Special Milk Program for Children	10.556	02837-SN-49-R	4,252	
Summer Food Service Program for Children	10.559	CN110423	25,680	
Subtotal Child Nutrition Cluster Passed through the State Department of Education, Nutrition Services Division				188,843
<b>Total U.S. Department of Agriculture</b>				<b><u>11,222,489</u></b>
<b>U.S. Department of Defense</b>				
<u>Direct Federal Program</u>				
Navigation Projects	12.107	W912P7-12-P-0031	61,279	
Navigation Projects	12.107	W912P7-13-P-0022	38,538	
Subtotal Direct Federal Programs				99,817
<b>Total U.S. Department of Defense</b>				<b><u>99,817</u></b>
<b>U.S. Department of Housing and Urban Development</b>				
<u>Passed through Sonoma County Community Development Commission</u>				
Community Development Block Grant	14.218	2010-2011 CDBG	68,940	
Community Development Block Grant	14.218	2011-2012 CDBG	71,975	
Subtotal CDBG - Entitlement Grant Cluster Passed through the Sonoma County Community Development Commission				140,915
<b>Total U.S. Department of Housing and Urban Development</b>				<b><u>140,915</u></b>
<b>U.S. Department of Justice</b>				
<u>Direct Federal Programs</u>				
Equitable Sharing Program	16.922	not available		72,955
Enhanced Training and Services to end Violence Against and Abuse of Women Later in Life	16.528	2012-EW-AX-K009	53,250	
Drug Court Discretionary Grant Program	16.585	2009-DC-BX-0101		50,627
Grants to Encourage Arrest Policies and Enforcement of Protection Orders Program:	16.590	2009-WE-AX-0005		230,243
Public Safety Partnership and Community Policing Grants	16.710	2009-CK-WX-0565		39,060
State Criminal Alien Assistance Program	16.606	2012-AP-BX-026		461,476
Edward Byrne Memorial Justice Assistance Grant Program	16.738	2012-DJ-BX-0620	28,500	
Edward Byrne Memorial Justice Assistance Grant Program	16.738	2011-DJ-BX-3353	16,781	
Subtotal JAG Program Cluster				45,281
Subtotal Direct Federal Programs				<u>952,892</u>

See accompanying notes to the schedule of expenditure of federal awards.

**COUNTY OF SONOMA**  
**Schedule of Expenditures of Federal Awards**  
**For the Fiscal Year Ended June 30, 2013**  
**(Continued)**

Federal Grantor/Pass-through Grantor/Program or Cluster Title	Federal CFDA No.	Federal Agency / Pass-Through Entity Identifying Number	State Expenditures	Federal Expenditures
<b>U.S. Department of Justice (Continued)</b>				
<u>Passed through the California Emergency Management Agency</u>				
Victim/Witness Assistance Program	16.575	VW12310490		\$ 111,052
ARRA - Recovery Act - Edward Byrne Memorial Justice Assistance Grant (JAG) Program / Grants To Units of Local Government	16.804	ARRA-ZO-09-01-0490	\$ 3,110	
ARRA - Recovery Act - Edward Byrne Memorial Justice Assistance Grant (JAG) Program / Grants To Units of Local Government	16.804	ARRA-ZP-09-01-0490	124,758	
Subtotal JAG Program Cluster				127,868
Subtotal Passed through the California Emergency Management Agency				238,920
<u>Passed through the Board of State &amp; Community Corrections</u>				
Juvenile Accountability Block Grants (JABG)	16.523	BSCC 153-12		50,637
Edward Byrne Memorial Justice Assistance Grant Program Anti-Drug Abuse Program	16.738	BSCC 608-12		157,006
Subtotal Passed through the Board of State & Community Corrections				207,643
<b>Total U.S. Department of Justice</b>				<b>1,399,455</b>
<b>U.S. Department of Labor</b>				
<u>Passed through the State Employment Development Department</u>				
Workforce Investment Act (WIA) Cluster:				
WIA Adult Program	17.258	K282510 11/12, K386333 12/13	1,161,935	
WIA Youth Activities	17.259	K178696 10/11, K282510 11/12	1,252,716	
WIA Dislocated Workers Formula Grants	17.278	K282510 11/12, K386333 12/13	1,474,913	
WIA Dislocated Workers Formula Grants - Rapid Response	17.278	K282510 11/12, K386333 12/13	276,303	
Subtotal WIA Cluster passed through the State Employment Development Department				4,165,867
<b>Total U.S. Department of Labor</b>				<b>4,165,867</b>
<b>U.S. Department of Transportation</b>				
<u>Direct Federal Program</u>				
Airport Improvement Program	20.106	3-06-0241-40		2,411
Airport Improvement Program	20.106	3-06-0241-33		12,529
Airport Improvement Program	20.106	3-06-0241-42		77,421
Subtotal Direct Federal Programs - Airport Improvement Program				92,361
<u>Passed through the State Department of Transportation</u>				
Highway Planning and Construction	20.205	BHLO-5920(075)	80,949	
Highway Planning and Construction	20.205	BHLO-5920(106)	28,922	
Highway Planning and Construction	20.205	BHLO-5920(118)	21,735	
Highway Planning and Construction	20.205	BHLO-5920(130)	12,980	
Highway Planning and Construction	20.205	BRLO-5920(125)	93,630	
Highway Planning and Construction	20.205	BRLO-5920(126)	17,370	
Highway Planning and Construction	20.205	BRLO-5920(127)	39,630	
Highway Planning and Construction	20.205	BRLO-5920(129)	28,036	
Highway Planning and Construction	20.205	BRLO-5920(131)	58,274	
Highway Planning and Construction	20.205	BRLO-5920(138)	29,445	
Highway Planning and Construction	20.205	BRLO-5920(139)	5,324	
Highway Planning and Construction	20.205	BRLS-5920(045)	920,849	
Highway Planning and Construction	20.205	BRLS-5920(092)	244,234	
Highway Planning and Construction	20.205	CML-5920(112)	(1)	
Highway Planning and Construction	20.205	ER 4442(086)	445,627	
Highway Planning and Construction	20.205	SRTSL-5920(133)	88,784	
Highway Planning and Construction	20.205	STPL-5920(123)	38,968	
Highway Planning and Construction	20.205	STPL-5920(134)	489,736	
Highway Planning and Construction	20.205	STPLZ-5920(030)	(18,075)	
Highway Planning and Construction	20.205	STPLZ-5920(056)	18,372	
Highway Planning and Construction	20.205	STPLZ-5920(059)	55,423	
Highway Planning and Construction	20.205	STPLZ-5920(111)	44,791	
Highway Planning and Construction	20.205	STPLZ-5920(135)	168,016	
Highway Planning and Construction	20.205	STPLZ-5920(137)	3,298	
ARRA - Highway Planning and Construction	20.205	ARRA-ESPL-5920(116)	(79,175)	
ARRA - Highway Planning and Construction	20.205	ARRA-ESPL-5920(121)	26,706	
Subtotal - Highway Planning and Construction passed through the State Department of Transportation				2,863,848
<u>Passed through the Sonoma County Transportation and Public Works</u>				
Highway Planning and Construction	20.205	CML-5920(124)	50,739	
Highway Planning and Construction	20.205	RPSTPLE-5920(107)	469,840	
Highway Planning and Construction	20.205	CML-5920(132)	295,516	
Highway Planning and Construction	20.205	SRTSLNI-5920(114)	59,988	
Subtotal - Highway Planning and Construction passed through the Sonoma County Transportation and Public Works				876,083
<u>Passed through the State of California Office of Traffic Safety</u>				
State and Community Highway Safety	20.600	AL1043		27,945
<b>Total U.S. Department of Transportation</b>				<b>3,860,237</b>

See accompanying notes to the schedule of expenditure of federal awards.

**COUNTY OF SONOMA**  
**Schedule of Expenditures of Federal Awards**  
**For the Fiscal Year Ended June 30, 2013**  
**(Continued)**

Federal Grantor/Pass-through Grantor/Program or Cluster Title	Federal CFDA No.	Federal Agency / Pass-Through Entity Identifying Number	State Expenditures	Federal Expenditures
<b>U.S. Environmental Protection Agency</b>				
<u>Passed through the State of California Water Resource Control Board</u>				
Beach Monitoring and Notification Program Implementation Grant	66.472	11-10789 & 12-050-250		\$ 25,148
<b>Total U.S. Environmental Protection Agency</b>				<b>25,148</b>
<b>U.S. Department of Energy</b>				
<u>Direct Federal Programs</u>				
ARRA - Energy Efficiency and Conservation Block Grant Program (EECBG)	81.128	ARRA-DE-SC0003184		35,784
<b>Total U.S. Department of Energy</b>				<b>35,784</b>
<b>U.S. Department of Education</b>				
<u>Passed through State Department of Rehabilitation</u>				
Rehabilitation Services - Vocational Rehabilitation Grants to States	84.126A	28562		99,006
<b>Total U.S. Department of Education</b>				<b>99,006</b>
<b>U.S. Election Assistance Commission</b>				
<u>Passed through the California Secretary of State</u>				
Help America Vote Act Requirements Payments - Section 301	90.401	11G30126		26,716
<b>Total U.S. Election Assistance Commission</b>				<b>26,716</b>
<b>U.S. Department of Health and Human Services</b>				
<u>Direct Federal Programs</u>				
Special Programs for the Aging - Title IV and Title II Discretionary Projects - Chronic Disease Self Management Education	93.048	90CS0039/01		10,554
Drug-Free Communities Support Program Grants	93.276	5H79SP014746-10		104,479
PPHF 2012: Community Transformation Grants - Small Communities	93.737	1H75DP004611-01		441,030
Subtotal Direct Federal Programs				556,063
<u>Passed through the State Department of Aging</u>				
Special Programs for the Aging - Title VII, Chapter 3 - Programs for Prevention of Elder Abuse, Neglect, and Exploitation	93.041	AP-1213-27		7,614
Special Programs for the Aging - Title VII, Chapter 2 - Long Term Care Ombudsman Services for Older Individuals	93.042	AP-1213-27		35,303
Special Programs for the Aging - Title III, Part D - Disease Prevention and Health Promotion Services	93.043	AP-1213-27		29,369
National Family Caregiver Support - Title III, Part E	93.052	AP-1213-27		227,607
Aging Cluster:				
Special Programs for the Aging - Title III, Part B - Grants for Supportive Services and Senior Centers	93.044	AP-1213-27		\$ 776,653
Special Programs for the Aging - Title III, Part C - Nutrition Services	93.045	AP-1213-27	\$ 73,556	638,325
Nutrition Services Incentive Program	93.053	AP-1213-27		215,265
Subtotal Aging Cluster				1,630,243
Medical Assistance Program (Medicaid) - Title XIX	93.778	MS-1213-11		669,155
Centers for Medicare and Medicaid Services (CMS) Research, Demonstrations and Evaluations	93.779	HI-1213-27	311,796	178,604
Subtotal Passed through State Department of Aging				2,777,895
<u>Passed through the State Department of Mental Health</u>				
Projects for Assistance in Transition from Homelessness (PATH)	93.150	68-0317191		66,220
Block Grants for Community Mental Health Services	93.958	68-0317191		256,474
Subtotal passed through the State Department of Mental Health				322,694
<u>Passed through the State Department of Public Health</u>				
Centers for Disease Control and Prevention: Public Health Emergency Preparedness	93.069	EPO 11-49, EPO 12-49		654,164
Project Grants and Cooperative Agreements for Tuberculosis Control Programs	93.116	TBCB-01-49		25,488
Immunization Cooperative Agreement	93.268	11-10570		178,624
National Bioterrorism Hospital Preparedness Program	93.889	EPO 11-49 & EPO 12-49		309,724
Preventive Health Services - Sexually Transmitted Diseases Control Grants Chlamydia Screening Project	93.977	11-10066		22,151
Medical Assistance Program - Adolescent Family Life - Title XIX	93.778	2012-49		181,785
Medical Assistance Program - Maternal Child and Adolescent Health Grant - Title XIX	93.778	2012-49		246,528
Subtotal Medical Assistance Program				428,313
Maternal and Child Health Services Block Grants to the States - Maternal Child and Adolescent Health Grant - Title XIX	93.994	2012-49		142,348
Maternal and Child Health Services Block Grants to the States - Adolescent Family Life - Title V	93.994	2012-49		134,321
Subtotal Maternal and Child Health Services Block Grants				276,669
Subtotal Passed through the State Department of Public Health				1,895,133

See accompanying notes to the schedule of expenditure of federal awards.

**COUNTY OF SONOMA**  
**Schedule of Expenditures of Federal Awards**  
**For the Fiscal Year Ended June 30, 2013**  
**(Continued)**

Federal Grantor/Pass-through Grantor/Program or Cluster Title	Federal CFDA No.	Federal Agency / Pass-Through Entity Identifying Number	State Expenditures	Federal Expenditures
<b>U.S. Department of Health and Human Services (Continued)</b>				
<u>Passed through the State Department of Health Care Services</u>				
Children's Health Insurance Program	93.767	68-0317191		\$ 319,129
Medical Assistance Program - Administration	93.778	08-85136 A01	\$ 1,938,268	
Medical Assistance Program - Children	93.778	68-0317191	21,922	
Medical Assistance Program - Children	93.778	68-0317191	428,085	
Medical Assistance Program - Children	93.778	68-0317191	1,040,034	
Subtotal Medical Assistance Program				3,428,309
Subtotal passed through the State Department of Health Care Services				3,747,438
<u>Passed through the State Department of Education</u>				
Child Care Mandatory and Matching Funds of the Child Care and Development Fund	93.596	CAPP-2074		128,408
<u>Passed through the State Department of Alcohol and Drug Programs</u>				
Block Grants for Prevention and Treatment of Substance Abuse	93.959	10-NNA49		2,396,851
<u>Passed through the State Department of Social Services</u>				
Promoting Safe and Stable Families	93.556	22333		284,018
Refugee and Entrant Assistance - State Administered Programs	93.566	Not Available		30,078
Temporary Assistance for Needy Families - Program Administration	93.558	11001	19,007,348	
Temporary Assistance for Needy Families - FGU	93.558	11001	5,928,480	
Subtotal TANF Cluster				24,935,828
Child Support Enforcement	93.563	1204CA4004		8,009,893
Stephanie Tubbs Jones Child Welfare Services Program - State Grants - Title IV-B	93.645	12313		263,776
Foster Care Assistance - Title IV-E	93.658	12307	4,881,109	
Foster Care Assistance - Title IV-E - Administration	93.658	0601CA1401	933,130	
Foster Care Assistance - Title IV-E - Administration	93.658	12307	3,345,639	
Subtotal Foster Care Assistance - Title IV-E				9,159,878
Social Services Block Grant	93.667	12307		1,198,301
Adoption Assistance	93.659	12402	2,311,909	
Adoption Assistance - Administration	93.659	12402	1,030,309	
Subtotal Adoption Assistance				3,342,218
Chafee Foster Care Independent Program	93.674	12332		116,954
Medical Assistance Program	93.778	05-45175		13,706,421
Subtotal Passed through the State Department of Social Services				61,047,365
<u>Passed through the National Association of County and City Health Officials</u>				
Centers for Disease Control and Prevention - Investigations and Technical Assistance	93.283	5U38HM000449-05		2,500
<b>Total U.S. Department of Health and Human Services</b>				<b>72,874,347</b>
<b>U.S. Department of Homeland Security</b>				
<u>Direct Federal Programs</u>				
Staffing for Adequate Fire & Emergency Response	97.044	EMW-2011-FF-00566		18,113
<u>Passed through the California Emergency Management Agency</u>				
Disaster Grants - Public Assistance (Presidentially Declared Disasters)	97.036	DR - 1628 - DTPW Roads	517,011	
Disaster Grants - Public Assistance (Presidentially Declared Disasters)	97.036	DR - 1646 - DTPW Roads	75,082	
Disaster Grants - Public Assistance (Presidentially Declared Disasters)	97.036	DR - 1628 - SPK38, DR - 1628 - SPARK 18, DR - 1628 - SCRP01C	568,353	
Subtotal Disaster Grants - Public Assistance (Presidentially Declared Disasters)				1,160,446
Emergency Management Performance Grants	97.042	2012-0027		283,127
Homeland Security Grant Program (HSGP)	97.067	2010-0085	533,762	
Homeland Security Grant Program (HSGP)	97.067	2011-SS-0077	281,000	
Homeland Security Grant Program (HSGP)	97.067	2012-SS-00123	9,602	
Subtotal Homeland Security Grant Program (HSGP)				824,364
Buffer Zone Protection Program (BZPP)	97.078	2010-BF-TO-0020		12,235
Subtotal Passed through the California Emergency Management Agency				2,280,172
<u>Passed through the Marine Exchange of the San Francisco Bay Region</u>				
Port Security Grant Program	97.056	2008-GB-T8-K063		143,883
<u>Passed through the Bay Area Urban Area Security Initiative</u>				
2010 Urban Area Security Initiative	97.067	2010-0085	194,000	
2011 Urban Area Security Initiative	97.067	2011-SS-0077	465,445	
Subtotal Urban Area Security Initiative (UASI)				659,445
<b>Total U. S. Department of Homeland Security</b>				<b>3,101,613</b>
<b>TOTAL EXPENDITURES OF FEDERAL AWARDS</b>			<b>\$ 385,352</b>	<b>\$ 97,051,394</b>

See accompanying notes to the schedule of expenditure of federal awards.

**COUNTY OF SONOMA, CALIFORNIA**  
**Notes to the Schedule of Expenditures of Federal Awards**  
**For the Fiscal Year Ended June 30, 2013**

**NOTE 1 – GENERAL**

The accompanying schedule of expenditures of federal awards (SEFA) for the fiscal year ended June 30, 2013, presents the activity of all federal award programs of the County of Sonoma, California (County) with the exception of the federal award programs of the Sonoma County Community Development Commission, the Russian River County Sanitation District, the Sonoma County Water Agency, the County of Sonoma Transportation Project Fund (Transit), the Sonoma Valley County Sanitation District, the Sonoma County Fair and Exposition, and the Sonoma County Library, which were subject to separate audits by other independent auditors.

The expenditures incurred under federal award programs audited by other auditors are as follows:

Sonoma County Community Development Commission	\$ 31,643,639
Russian River County Sanitation District	3,884,450
Sonoma County Water Agency	3,587,117
County of Sonoma Transportation Project Fund (Transit)	2,427,901
Sonoma Valley County Sanitation District	729,187
Sonoma County Fair and Exposition	131,638
Sonoma County Library	20,856

The County reporting entity is defined in Note 1 to the County’s basic financial statements. All federal awards received directly from federal agencies, as well as federal awards passed through other government agencies, are included on the SEFA. The SEFA also includes certain expenditures of State awards required by the State Department of Aging.

**NOTE 2 – BASIS OF ACCOUNTING**

The accompanying SEFA is presented using the modified accrual basis of accounting for grants accounted for in the governmental fund types and the accrual basis of accounting for grants accounted for in the proprietary fund types, as described in Note 1 to the County’s basic financial statements.

**NOTE 3 – CATALOG OF FEDERAL DOMESTIC ASSISTANCE (CFDA) NUMBERS**

The CFDA numbers included in the accompanying SEFA were determined based on the program name, review of grant contract information and the Office of Management and Budget’s Catalog of Federal Domestic Assistance.

**NOTE 4 – PASS-THROUGH ENTITY IDENTIFYING NUMBERS**

The County has included in the SEFA the identifying numbers for pass-through grants when such information has been provided by the pass-through entities. For grants that the County was not provided with such information by the pass-through entities, the County has indicated the pass-through identifying numbers as “not available”.

**COUNTY OF SONOMA**  
**Notes to Schedule of Expenditures of Federal Awards**  
**For the Fiscal Year Ended June 30, 2013**

**NOTE 5 – AMOUNT PROVIDED TO SUBRECIPIENTS**

Of the total federal expenditures presented in the SEFA, the following amounts were passed through to Subrecipients:

Program Title	CFDA Number	Amount Provided to Subrecipients
State Administrative Matching Grants for the Supplemental Nutrition Assistance Program	10.561	\$ 149,273
Drug Court Discretionary Grant Program	16.585	39,801
ARRA - Recovery Act - Edward Byrne Memorial Justice Assistance Grant (JAG) Program/Grants to Units of Local Government	16.804	3,110
Equitable Sharing Program	16.922	31,700
WIA Youth Activities	17.259	1,180,556
Highway Planning and Construction	20.205	261,592
State and Community Highway Safety	20.600	27,945
Special Programs for the Aging - Title VII, Chapter 2 - Long Term Care Ombudsman Services for Older Individuals	93.042	35,303
Special Programs for the Aging - Title III, Part D - Disease Prevention and Health Promotion Services	93.043	18,582
Special Programs for the Aging - Title III, Part B - Grants for Supportive Services and Senior Centers	93.044	468,640
Special Programs for the Aging - Title III, Part C - Nutrition Services	93.045	638,325
Special Programs for the Aging Title IV and Title II Discretionary Projects - Chronic Disease Self Management Education	93.048	8,134
National Family Caregiver Support, Title III, Part E	93.052	204,255
Nutrition Services Incentive Program	93.053	215,265
Centers for Disease Control and Prevention		
Public Health Emergency Preparedness	93.069	23,104
Temporary Assistance for Needy Families	93.558	282,738
PPHF 2012: Community Transformation Grants - Small Communities	93.737	104,607
Medical Assistance Program	93.778	87,842
Centers for Medicare and Medicaid Services (CMS) Research-Demonstrations and Evaluations	93.779	178,604
National Bioterrorism Hospital Preparedness Program	93.889	88,238
Block Grants for Community Mental Health Services	93.958	256,474
Block Grants for Prevention and Treatment of Substance Abuse	93.959	1,975,915
Emergency Management Performance Grants	97.042	59,474
Total		<u>\$ 6,339,477</u>

**COUNTY OF SONOMA**  
**Notes to Schedule of Expenditures of Federal Awards**  
**For the Fiscal Year Ended June 30, 2013**

**NOTE 6 – PROGRAM TOTALS**

The schedule of expenditures of federal awards does not summarize programs that cross agency funding sources. The following summarizes those programs that cross agency funding sources:

Program/Cluster Title	CFDA Number	Pass Through Grantor	Amount
Cooperative Forestry Assistance Forest Health Protection Program	10.664	Direct Federal Program	\$ 29,293
		State Department of Forestry and Fire Protection	13,303
		Program Total	<u>\$ 42,596</u>
State Administrative Matching Grant for the Supplemental Nutrition Assistance Program	10.561	State Department of Social Services	\$ 7,171,216
		State Department of Public Health	303,599
		Program Total	<u>\$ 7,474,815</u>
JAG Program Cluster	16.738 / 16.804	Direct Federal Program	\$ 45,281
		California Emergency Management Agency	127,868
		Board of State and Community Corrections	157,006
		Cluster Total	<u>\$ 330,155</u>
Highway Planning and Construction	20.205	State Department of Transportation	\$ 2,863,848
		Sonoma County Transportation and Public Works	876,083
		Program Total	<u>\$ 3,739,931</u>
Medical Assistance Program	93.778	State Department of Aging	669,155
		State Department of Public Health	\$ 428,313
		State Department of Health Care Services	3,428,309
		State Department of Social Services	13,706,421
		Program Total	<u>\$ 18,232,198</u>
Homeland Security Grant Program	97.067	California Emergency Management Agency	\$ 824,364
		Bay Area Urban Area Security Initiative	659,445
		Program Total	<u>\$ 1,483,809</u>

**COUNTY OF SONOMA**  
**Notes to Schedule of Expenditures of Federal Awards**  
**For the Fiscal Year Ended June 30, 2013**

**NOTE 7 – SCHEDULE OF STATE OF CALIFORNIA EMERGENCY MANAGEMENT AGENCY GRANT EXPENDITURES**

The following represents expenditures for U.S. Department of Justice grants passed through the State of California Emergency Management Agency (CalEMA), as well as CalEMA funded grant expenditures for the fiscal year ended June 30, 2013. This information is included in the County's single audit report at the request of CalEMA.

Expenditures Incurred  
For the Fiscal Year Ended June 30, 2013

California Multi-Jurisdiction Methamphetamine Enforcement Team - Grant No. MH08 03 0490

<u>Department/Category</u>	<u>Total</u>	<u>Federal</u>	<u>State</u>	<u>County</u>
<b>Sheriff:</b>				
Personal services	\$ 2,640	\$ -	\$ 2,640	\$ -
Operating expenses	-	-	-	-
<b>Total</b>	<u>\$ 2,640</u>	<u>\$ -</u>	<u>\$ 2,640</u>	<u>\$ -</u>

Victim Assistance/Victim Witness Program - Grant No. VW 12310490

<u>Department/Category</u>	<u>Total</u>	<u>Federal</u>	<u>State</u>	<u>County</u>
<b>District Attorney:</b>				
Personal services	\$ 255,439	\$ 111,052	\$ 144,387	\$ -
Operating expenses	-	-	-	-
<b>Total</b>	<u>\$ 255,439</u>	<u>\$ 111,052</u>	<u>\$ 144,387</u>	<u>\$ -</u>

Edward Byrne Memorial Justice Assistance Grant (JAG) - Grant No. ZP09010490

<u>Department/Category</u>	<u>Total</u>	<u>Federal</u>	<u>State</u>	<u>County</u>
<b>Probation:</b>				
Personal services	\$ 129,368	\$ 129,368	\$ -	\$ -
Operating expenses	(4,610)	(4,610)	-	-
<b>Subtotal Probation</b>	<u>\$ 124,758</u>	<u>\$ 124,758</u>	<u>\$ -</u>	<u>\$ -</u>

Edward Byrne Memorial Justice Assistance Grant (JAG) - Grant No. ZO09010490

<b>Health Services:</b>				
Personal services	\$ -	\$ -	\$ -	\$ -
Operating expenses	3,110	3,110	-	-
<b>Subtotal Health Services</b>	<u>\$ 3,110</u>	<u>\$ 3,110</u>	<u>\$ -</u>	<u>\$ -</u>
<b>Total</b>	<u>\$ 127,868</u>	<u>\$ 127,868</u>	<u>\$ -</u>	<u>\$ -</u>



**COUNTY OF SONOMA**  
**Notes to Schedule of Expenditures of Federal Awards**  
**For the Fiscal Year Ended June 30, 2013**

***NOTE 8 – ADDITIONAL INFORMATION FOR THE STATE OF CALIFORNIA DEPARTMENT OF AGING***

The following represents the State Department of Aging grant expenditures for the fiscal year ended June 30, 2013.

<u>Community Based Services Programs and Special Deposit</u>	
Contract AP-0910-27 - State Funded	
	<u>Amount</u>
Ombudsman Initiative (Special Deposit)	<u>\$ 50,389</u>

**COUNTY OF SONOMA**  
**Schedules of Findings and Questioned Costs**  
**For the Fiscal Year Ended June 30, 2013**

**I. Summary of Auditors' Results**

## FINANCIAL STATEMENTS

Type of auditors' report issued:	<u>Unmodified</u>
Internal control over financial reporting:	
Material weakness(es) identified?	<u>No</u>
Significant deficiency(ies) identified not considered to be material weaknesses?	<u>None Reported</u>
Noncompliance material to financial statements noted?	<u>No</u>

## FEDERAL AWARDS

Internal control over major programs:	
Material weakness(es) identified?	<u>No</u>
Significant deficiency(ies) identified not considered to be material weaknesses?	<u>Yes</u>
Type of auditors' report issued on compliance for major programs:	<u>Unmodified</u>
Any audit findings disclosed that are required to be reported in accordance with Circular A-133, Section .510(a)	<u>Yes</u>
Identification of major programs:	

<u>CFDA Number(s)</u>	<u>Name of Federal Program or Cluster</u>
<u>10.561</u>	<u>Supplemental Nutrition Assistance Program (SNAP) Cluster</u>
<u>16.738; 16.804</u>	<u>Edward Byrne Memorial Justice Assistant Grant (JAG) Program Cluster</u>
<u>93.558</u>	<u>(includes ARRA)</u>
<u>93.778</u>	<u>Temporary Assistance for Needy Families (TANF) Cluster</u>
	<u>Medical Assistance Program Cluster</u>

Dollar threshold used to distinguish between Type A and Type B programs:	<u>\$ 2,911,542</u>
Auditee qualified as low-risk auditee?	<u>No</u>

**COUNTY OF SONOMA**  
**Schedules of Findings and Questioned Costs**  
**For the Fiscal Year Ended June 30, 2013**

**II. Financial Statement Findings**

None reported.

**COUNTY OF SONOMA**  
**Schedules of Findings and Questioned Costs**  
**For the Fiscal Year Ended June 30, 2013**

### III. Federal Award Findings and Questioned Costs

The following findings represent significant deficiencies, and instances of noncompliance that are required to be reported by OMB Circular A-133.

#### **Finding 2013-001**

**Program:** SNAP Cluster

**CFDA No.:** 10.561

**Federal Grantor:** U.S. Department of Agriculture (USDA)

**Passed-through:** California Department of Social Services

**Award Year:** FY 2012-2013

**Compliance Requirement:** Special Test and Provision – ADP System for SNAP

#### **Criteria:**

The *March 2013 Office and Budget of Management (OMB) Circular A-133 Compliance Supplement* requires that the County (1) accurately and completely process and store all case file information for eligibility determination and benefit calculation; (2) automatically cut off households at the end of their certification period unless recertified; and, (3) provide data necessary to meet Federal issuance and reconciliation reporting requirements.

#### **Condition:**

*Significant Deficiency, Instance of Non-Compliance* – Of the 40 cases files selected for test-work, one required SAWS1 application form or DFA285-A1 application form could not be located.

#### **Questioned Costs:**

None noted.

#### **Context:**

The condition noted above was identified during test procedures related to the Special Tests and Provisions compliance requirement. The SAWS 1 form, substitutable with the DFA285-A1 form, is the application form for benefits.

#### **Effect:**

Case data may not be current in the case file and the system, which could increase the risk of eligibility errors, incorrect benefit calculations, or increased error rates for the County.

#### **Cause:**

The County's procedures did not ensure that all required forms were consistently maintained in the case files.

#### **Recommendation:**

We recommend that the County strengthen its established policies and internal control procedures to ensure all required SNAP forms are maintained in case files.

**COUNTY OF SONOMA**  
**Schedules of Findings and Questioned Costs**  
**For the Fiscal Year Ended June 30, 2013**

**III. Federal Award Findings and Questioned Costs****View of Responsible Official and Planned Corrective Action:**

Management agrees with the finding and will strengthen current policies and procedures to ensure all required forms are maintained in case files.

**Finding 2013-002**

**Program:** SNAP Cluster

**CFDA No.:** 10.561

**Federal Grantor:** U.S. Department of Agriculture (USDA)

**Passed-through:** California Department of Social Services

**Award Year:** FY 2012-2013

**Compliance Requirement:** Special Test and Provision – EBT Card Security

**Criteria:**

The *March 2013 Office and Budget of Management (OMB) OMB Circular A-133 Compliance Supplement* requires the County to maintain adequate security over, and documentation/records for, EBT cards (7 CFR section 274.12(h)(3)), to prevent their theft, embezzlement, loss, damage, destruction, unauthorized transfer, negotiation, or use (7 CFR sections 274.7(b) and 274.11(c)).

**Condition:**

*Significant Deficiency, Instance of Non-Compliance* – As a result of our procedures, we noted the following:

- The EBT Cards were stored in a locked safe inside the Human Service Department; however, the key to the safe was not stored in a secured location with restricted access.
- The County did not maintain procedures to inventory/track EBT cards on hand.

**Questioned Costs:**

None noted.

**Context:**

The condition noted above was identified during test procedures related to the Special Tests and Provisions compliance requirement.

**Effect:**

There is an increased risk of theft, embezzlement, loss, damage, destruction, unauthorized transfer, negotiation, or use of the EBT Cards.

**COUNTY OF SONOMA**  
**Schedules of Findings and Questioned Costs**  
**For the Fiscal Year Ended June 30, 2013**

**III. Federal Award Findings and Questioned Costs****Cause:**

The County did not maintain procedures to safeguard the key to the EBT Card safe; and the County did not maintain procedures to evaluate the inventory of EBT Cards on-hand.

**Recommendation:**

We recommend that the County strengthen its policies and procedures to increase security over the EBT Cards.

**View of Responsible Official and Planned Corrective Action:**

Management agrees with the finding and will strengthen current policies and procedures to ensure proper security over EBT cards.

**Finding 2013-003**

**Program:** SNAP Cluster

**CFDA No.:** 10.561

**Federal Grantor:** U.S. Department of Agriculture (USDA)

**Passed-through:** California Department of Social Services

**Award Year:** FY 2012-2013

**Compliance Requirement:** Special Test and Provision – Quality Control Unit

**Criteria:**

The *March 2013 Office and Budget of Management (OMB) Circular A-133 Compliance Supplement* states that the local government must establish a quality control unit that is independent of program operations (7 CFR section 275.2(b)).

**Condition:**

*Significant Deficiency, Instance of Non-Compliance* – We noted that the County has not established a Quality Control Unit independent of program operations for the SNAP program. Case file reviews are done within the program division.

**Questioned Costs:**

None noted.

**Context:**

The condition noted above was identified during test procedures related to the Special Test and Provisions compliance requirement.

**COUNTY OF SONOMA**  
**Schedules of Findings and Questioned Costs**  
**For the Fiscal Year Ended June 30, 2013**

**III. Federal Award Findings and Questioned Costs**

**Effect:**

As a result of the condition, there is an increased risk of noncompliance related to the quality control unit requirement.

**Cause:**

The County did not establish a quality control unit that is independent of SNAP program operations.

**Recommendation:**

We recommend that the County set up an independent SNAP quality control unit.

**View of Responsible Official and Planned Corrective Action:**

Management agrees with the finding and will establish a quality control unit independent of the SNAP program operations once staffing levels allow for position(s) to be assigned to this function.

**COUNTY OF SONOMA**  
**Summary Schedule of Prior Audit Findings**  
**For the Fiscal Year Ended June 30, 2013**

Summarized below is the current status of all audit findings reported in the prior year audit's schedule of audit findings and questioned costs.

**Financial Statement Findings**

Finding No.	Area	Status of Corrective Action
2012-A	Preparation of the Schedule of Expenditures of Federal Awards (SEFA)	Implemented

**Federal Awards Findings**

Finding No.	Program	CFDA No.	Compliance Requirements	Status of Corrective Action
2012-1	ARRA-Recovery Act - Edward Byrne Memorial Justice Assistance Grant (JAG) Program/Grants to Units of Local Government	16.804	Subrecipient Monitoring	Implemented
2012-2	ARRA-Recovery Act - Edward Byrne Memorial Justice Assistance Grant (JAG) Program/Grants to Units of Local Government	16.804	Subrecipient Monitoring	Implemented



**Independent Auditors' Report on Internal Control Over Financial Reporting  
and on Compliance and Other Matters Based on an Audit of Financial  
Statements Performed in Accordance with *Government Auditing Standards***

Library Commission  
Sonoma County Library  
Santa Rosa, California

We have audited, in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States, the financial statements of the governmental activities, each major fund and the aggregate remaining fund information of the Sonoma County Library (the "Library"), a component unit of the County of Sonoma, as of and for the year ended June 30, 2013, and the related notes to the financial statements, which collectively comprise the Library's basic financial statements and have issued our report thereon dated December 16, 2013.

**Internal Control Over Financial Reporting**

In planning and performing our audit of the financial statements, we considered the Library's internal control over financial reporting (internal control) to determine the audit procedures that are appropriate in the circumstances for the purpose of expressing our opinions on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the Library's internal control. Accordingly, we do not express an opinion on the effectiveness of the Library's internal control.

A *deficiency in internal control* exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A *material weakness* is a deficiency, or a combination of deficiencies, in internal control such that there is a reasonable possibility that a material misstatement of the entity's financial statements will not be prevented, or detected and corrected on a timely basis. A *significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies and therefore, material weaknesses or significant deficiencies may exist that were not identified. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. However, material weaknesses may exist that have not been identified. We did identify certain deficiencies in internal control, described in the accompanying schedule of findings and responses that we consider to be significant deficiencies.

**Independent Auditors' Report on Internal Control Over Financial Reporting  
and on Compliance and Other Matters Based on an Audit of Financial  
Statements Performed in Accordance with *Government Auditing Standards* (continued)**

**Compliance and Other Matters**

As part of obtaining reasonable assurance about whether the Library's financial statements are free of material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements, noncompliance with which could have a direct and material effect on the determination of financial statement amounts. However, providing an opinion on compliance with those provisions was not an objective of our audit, and accordingly, we do not express such an opinion. The results of our tests disclosed no instances of noncompliance or other matters that are required to be reported under *Government Auditing Standards*.

**The Library's Response to Findings**

The Library's response to the findings identified in our audit is described in the accompanying schedule of findings and responses. The Library's response was not subjected to the auditing procedures applied in the audit of the financial statements and, accordingly, we express no opinion on it.

**Purpose of this Report**

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the entity's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the entity's internal control and compliance. Accordingly, this communication is not suitable for any other purpose.

*BEELS SUPER LLP*

Petaluma, California  
December 16, 2013

## Findings and Responses

### 2013-01 Availability of Financial Reporting Information

*Finding:* Based upon the observations made during our audit, we feel the Library has a lack of control and direction regarding the accounting system and overall fiscal management. In general, an accounting and information system should be designed to provide management with accurate and timely financial information to enable well-informed decisions to be made by all levels of management. The present system fails to meet these expectations. We strongly suggest that Library seriously consider creating an accounting and information system that will facilitate the production of more useful financial information, provide for more accountability of assets and provide financial information at a departmental level to increase overall accountability throughout the Library, not just at top level of management.

*Response:* We acknowledge the need for an enhanced financial management system. Currently, the Library is dependent on the County of Sonoma (the "County") for financial system support. The County's financial management system is outdated and scheduled for replacement during 2014-15 fiscal year. The Library will be part of the conversion and therefore have the new system available for use and evaluation. Once the Library has sufficient time to evaluate the new County financial management system, a decision will be made to continue with the County or seek an alternative solution to meet its requirement for a financial management system.

### 2013-02 Accounting Policies and Procedures

*Finding:* During the course of our audit we noted the Library lacks a written accounting policies and procedures manual.

*Response:* We acknowledge there should be additional documentation of the accounting policies and procedures. This item will be assigned a priority for funding or staff assignment during the 2014-15 budget process.

### 2013-03 Cut-off Procedures for Recordation of Transactions

*Finding:* During the course of our audit we noted that proper cut-off procedures were neither followed nor properly supervised for the recordation of year-end liabilities resulting in an over-statement of the year-end liabilities.

*Response:* The lack of a full time chief financial officer undoubtedly contributed to this finding. It is expected this will not be an ongoing issue with the hiring of a full-time permanent chief financial officer.

**2013-04 Gift Acceptance Policy**

*Finding:* During the course of our audit we noted that the Library lacks documented gift acceptance procedures for public gifts to the Library. This lack of policy also results in an inability for gifts to be traced to their ultimate use.

*Response:* We acknowledge there is insufficient documentation of the accounting policies and procedures. This item will be assigned a priority for funding or staff assignment during the 2014-15 budget process.

**2013-05 Supervision of Accounting Personnel**

*Finding:* During the course of our audit we noted that there was a lack of supervision over the accounting staff during the fiscal year due to a resignation within Library management. This lack of supervision resulted in accounting errors identified during the audit. We strongly suggest that the Library fill this position with a permanent employee who possesses the qualifications and skill set to provide the necessary oversight.

*Response:* We acknowledge the need to have a permanent CFO. Recruitment for a CFO is in progress.

**2013-06 Capital Improvement Fund**

*Finding:* During the course of our audit, we noted that the Library lacks a detailed methodology for the establishment of its restricted capital improvement fund. We suggest that the Library implement a more thoughtful approach to establishing such balance.

*Response:* We acknowledge the need to include the establishment of the amount for the restricted capital improvement fund as part of the annual budget preparation and adoption process.

**2013-07 Physical Inventory of Fixed Assets**

*Finding:* During the course of our audit, we noted that the Library has not performed a physical inventory of its fixed asset ledger and that there are variances between the fixed asset ledger and the general ledger.

*Response:* We acknowledge there was no fixed asset inventory during 2012-13. It is a high priority that a fixed asset inventory and reconciliation of the Library fixed asset records be completed prior to June 30, 2014.



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 13**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):**

**Staff Name and Phone Number:**

Veronica Ferguson

**Supervisorial District(s):**

All

**Title:** The California Education and Resource Reinvestment Act, SB 1017 (Evans)

### **Recommended Actions:**

Consider support for The California Education and Resource Reinvestment Act, SB 1017 (Evans)

### **Executive Summary:**

While the County's 2014 Legislative Platform includes maximizing State and Federal resources for Health and Human Services and support for youth training programs, the Platform does not address resource extraction charges or other similar taxes to fund a broad array of local programs and services.

The California Education and Resource Reinvestment Act SB 1017 (Evans), would impose an extraction tax of 9.5 percent on the extraction of oil from the earth or water within California's jurisdiction. California is the only state of the top ten oil producing states in the nation that does not charge a severance tax on every barrel of oil taken from our state lands and sea bed. Oil producing states such as Alaska charge a 25 percent tax and the state of Texas charges 4.75 percent.

The estimated tax revenue from this generates approximately \$2 billion dollars a year to be distributed into a self-sustaining endowment to fund higher education, parks and health and human services. Specifically, 50 percent of the revenue raised will be equally split between CSU, UC and CA Community Colleges and; 25 percent of the revenue raised would go to the Department of Parks and; 25 percent of the revenue raised would go to Health and Human Services programs. It is not clear what fiscal benefit will come directly to Sonoma County based organizations or County programs. In consultation with the County's Clerk-Recorder-Assessor, there are no businesses in Sonoma County that would be impacted by the tax.

Several groups have endorsed SB 1017, including SEIU California, AFSCME, California Teachers

Association, California Faculty Association, Alliance of Californians for Community Empowerment (ACCE), Community College League of California, Courage Campaign, Parent Voices, California Immigrant Policy Center, Fair Share, California Partnership, California Nurses Association

The California Chamber of Commerce, Western States Petroleum Association, and California Independent Petroleum Association have opposed SB 1017.

Currently, the Senate Education Committee will consider SB 1017 at its April 23rd hearing. Should the Board support SB 1017, the County Administrator will amend the legislative platform accordingly and send a letter of support to the Committee Chair.

**Prior Board Actions:**

**Strategic Plan Alignment**      Goal 2: Economic and Environmental Stewardship

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

**Staffing Impacts**

Position Title (Payroll Classification)	Monthly Salary Range (A – I Step)	Additions (Number)	Deletions (Number)

<b>Narrative Explanation of Staffing Impacts (If Required):</b>
<b>Attachments:</b>
SB 1017 (Evans) as of February, 2014
<b>Related Items "On File" with the Clerk of the Board:</b>

**Introduced by Senator Evans**February 14, 2014

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An act to add Chapter 8 (commencing with Section 99500) to Part 65 of Division 14 of Title 3 of the Education Code, and to add Part 21 (commencing with Section 42001) to Division 2 of the Revenue and Taxation Code, relating to taxation, making an appropriation therefor, and declaring the urgency thereof, to take effect immediately.

## LEGISLATIVE COUNSEL'S DIGEST

SB 1017, as introduced, Evans. Taxation: Oil Severance Tax Law.

(1) Existing law establishes the University of California, under the administration of the Regents of the University of California, the California State University, under the administration of the Trustees of the California State University, and the California Community Colleges, under the administration of the Board of Governors of the California Community Colleges, as the 3 segments of public postsecondary education in this state.

This bill would establish the California Higher Education Endowment Corporation (CHEEC) in state government. The bill would establish an oversight board to govern the CHEEC and would require that board to appoint the chief executive officer of the CHEEC. The bill would require the CHEEC to annually allocate the moneys in the continuously appropriated California Higher Education Fund, which would be created by the bill, to the California Community Colleges, the California State University, and the University of California, the Department of Parks and Recreation, and to the California Health and Human Services Agency, in specified proportions and for expenditure as provided. The bill also would authorize the board to invest the moneys in the fund in accordance with prescribed procedures.



(2) Existing law imposes various taxes, including taxes on the privilege of engaging in certain activities. The Fee Collection Procedures Law, the violation of which is a crime, provides procedures for the collection of certain fees and surcharges.

This bill would impose an oil and gas severance tax upon any operator, as defined, for the privilege of severing oil or gas from the earth or water in this state for sale, transport, consumption, storage, profit, or use, as provided, at specified rates, calculated as provided. The tax would be administered by the State Board of Equalization and would be collected pursuant to the procedures set forth in the Fee Collection Procedures Law. The bill would require the board to deposit all tax revenues, penalties, and interest collected pursuant to these provisions into the California Higher Education Fund.

Because this bill would expand the scope of the Fee Collection Procedures Law, the violation of which is a crime, it would impose a state-mandated local program.

(3) This bill would include a change in state statute that would result in a taxpayer paying a higher tax within the meaning of Section 3 of Article XIII A of the California Constitution, and thus would require for passage the approval of  $\frac{2}{3}$  of the membership of each house of the Legislature.

(4) The California Constitution requires the state to reimburse local agencies and school districts for certain costs mandated by the state. Statutory provisions establish procedures for making that reimbursement.

This bill would provide that no reimbursement is required by this act for a specified reason.

(5) Funds appropriated by this bill and allocated to the California Community Colleges would be applied toward the minimum funding requirements for school districts and community college districts imposed by Section 8 of Article XVI of the California Constitution.

(6) This bill would declare that it is to take effect immediately as an urgency statute.

Vote:  $\frac{2}{3}$ . Appropriation: yes. Fiscal committee: yes.  
 State-mandated local program: yes.

*The people of the State of California do enact as follows:*

- 1 SECTION 1. The Legislature finds and declares:
- 2 (a) California is the nation’s fourth largest producer of oil, after
- 3 only North Dakota, Texas, and Alaska, and it is the only one of

1 36 oil producing states that does not have a severance tax. For  
2 example, Alaska employs a minimum severance tax of 25 percent  
3 that can range up to 50 percent depending on the net value of oil  
4 and natural gas, while Alabama, Kansas, Texas, North Dakota,  
5 Mississippi, Oregon, and Florida tax oil and gas at 8 percent, 8  
6 percent, 7.5 percent, 6.5 percent, 6 percent, 6 percent, and 5  
7 percent, respectively.

8 (b) California is currently tied with Mississippi for the highest  
9 unemployment rate in the nation, and is ranked 47 out of 50 in  
10 quality of education in the United States.

11 (c) A recent study prepared by the Public Policy Institute of  
12 California found that, by the year 2025, the state will experience  
13 an educated labor shortage of about one million college-educated  
14 workers. This would leave firms unable to fill vacancies, which  
15 would potentially raise the unemployment rate in California and  
16 lead firms to look outside the state for an adequately educated  
17 workforce.

18 (d) A study conducted in April 2012 by the Institute for the  
19 Study of Societal Issues at the University of California, Berkeley,  
20 sponsored by the California Chamber of Commerce, the California  
21 Civil Rights Coalition, and the Campaign for College Opportunity,  
22 found that for every dollar the state invests in higher education,  
23 the state receives a \$4.50 return on its investment. Moreover, a  
24 person with a bachelor's degree will earn, on average, \$1.34 million  
25 more in his or her lifetime than one without a college education.

26 (e) Since the budget cuts enacted in 2010, over 32,000 teachers  
27 and faculty have been laid off. This has resulted in cuts in classes  
28 being offered, an increase in the ratio of students to teachers, and  
29 a reduced quality of education in the state. Moreover, University  
30 of California student fees have almost doubled in the last five years  
31 alone, while California State University student tuition fees have  
32 risen 80 percent, and California Community College student tuition  
33 fees have risen 130 percent. As a result, over 750,000 students are  
34 no longer seeking to attain an advanced degree in California.

35 (f) This proposed severance tax is intended to provide at least  
36 \$1 billion of annual revenue that will, among other things, promote  
37 economic stimulus through the education of our citizens so that  
38 they can excel, innovate, and become eligible for high-paying  
39 professional careers.

1 SEC. 2. Chapter 8 (commencing with Section 99500) is added  
2 to Part 65 of Division 14 of Title 3 of the Education Code, to read:

3

4 CHAPTER 8. THE CALIFORNIA HIGHER EDUCATION  
5 ENDOWMENT CORPORATION

6

7 Article 1. General Provisions

8

9 99500. As used in this chapter, the following terms have the  
10 following meanings:

11 (a) "Board" means the oversight board described in subdivision  
12 (a) of Section 99505.

13 (b) "Corporation" means the California Higher Education  
14 Endowment Corporation established pursuant to Section 99502.

15 (c) "Director" means the chief executive officer of the  
16 corporation appointed pursuant to Section 99506.

17 (d) "Fund" means the California Higher Education Fund  
18 established pursuant to Section 42147 of the Revenue and Taxation  
19 Code.

20 99502. The California Higher Education Endowment  
21 Corporation is hereby established in state government for purposes  
22 of implementing this chapter.

23

24 Article 2. Oversight Board

25

26 99505. (a) (1) The corporation shall be governed by an  
27 oversight board, which shall be composed of the following voting  
28 members:

29 (A) Two members appointed by the Board of Trustees of the  
30 California State University.

31 (B) Two members appointed by the Regents of the University  
32 of California.

33 (C) Two members appointed by the Chancellor of the California  
34 Community Colleges.

35 (D) Two members appointed by the Senate Committee on Rules.

36 (E) Two members appointed by the Speaker of the Assembly.

37 (F) One member appointed by the Treasurer.

38 (G) One member appointed by the Superintendent of Public  
39 Instruction.

- 1 (H) (i) One member who is a student enrolled in the California  
2 Community Colleges at the time of the appointment. The member  
3 appointed pursuant to this subparagraph shall be enrolled in the  
4 California Community Colleges for the duration of his or her term.
- 5 (ii) The Board of Governors of the California Community  
6 Colleges shall appoint the student member from a list of three  
7 eligible persons furnished by the Student Senate.
- 8 (I) (i) One member who is a student enrolled in the California  
9 State University at the time of the appointment. The member  
10 appointed pursuant to this subparagraph shall be enrolled in the  
11 California State University for the duration of his or her term.
- 12 (ii) The Trustees of the California State University shall appoint  
13 the student member from a list of three eligible persons furnished  
14 by the California State Student Association.
- 15 (J) (i) One member who is a student enrolled in the University  
16 of California at the time of the appointment. The member appointed  
17 pursuant to this subparagraph shall be enrolled in the University  
18 of California for the duration of his or her term.
- 19 (ii) The Regents of the University of California shall appoint  
20 the student member from a list of three eligible persons furnished  
21 by the University of California Student Association.
- 22 (2) (A) At least one member appointed pursuant to paragraph  
23 (1) shall be a nonmanagement employee of the California State  
24 University.
- 25 (B) At least one member appointed pursuant to paragraph (1)  
26 shall be a nonmanagement employee of the University of  
27 California.
- 28 (b) The oversight board shall also include the following ex  
29 officio, nonvoting members:
- 30 (1) The Chancellor of the California State University.  
31 (2) The President of the University of California.  
32 (3) The Chancellor of the California Community Colleges.
- 33 (c) The Legislature requests that the Regents of the University  
34 of California and the President of the University of California  
35 comply with the membership requirements in subparagraph (B)  
36 of paragraph (1) of subdivision (a) and paragraph (2) of subdivision  
37 (b).
- 38 (d) Except as specified in subparagraphs (H), (I), and (J) of  
39 paragraph (1) of subdivision (a), each of the members identified

1 in subdivisions (a) and (b) shall be appointed to serve a term of  
2 four years.

3 (e) The members of the board shall annually select a member  
4 to serve as the chairperson of the board.

5 99506. (a) The board shall appoint a director, who shall be  
6 the chief executive officer of the corporation. This position is  
7 designated as a confidential position and is exempt from civil  
8 service under subdivision (e) of Section 4 of Article VII of the  
9 California Constitution.

10 (b) The director shall serve at the pleasure of the board.

11 (c) The board may delegate to the director any power, duty,  
12 purpose, function, or jurisdiction that the board may lawfully  
13 delegate, including the authority to enter into and sign contracts  
14 on behalf of the corporation.

15 (d) The director may delegate to his or her designee any power,  
16 duty, purpose, or jurisdiction that may be lawfully delegated.

17 99508. (a) The board shall select an auditing firm to conduct  
18 periodic audits as provided in subdivision (b) to determine if the  
19 funding allocated pursuant to Section 99510 is being appropriately  
20 used to fund direct classroom instruction in compliance with this  
21 chapter. The auditing firm shall submit a report of the results of  
22 the audit to the board.

23 (b) The three segments of public postsecondary education  
24 receiving funding from the California Higher Education Fund, the  
25 University of California, the California State University, and the  
26 California Community Colleges, shall be audited at least once  
27 every six years, with the audits occurring alternately between the  
28 three public postsecondary education segments every two years.  
29 An audit of a public postsecondary education segment may occur  
30 independently of the six-year cycle if the board determines that a  
31 more immediate audit is necessary.

32 (c) The independent audits shall be funded with investment  
33 returns from the fund.

34 (d) The board shall select a different auditing firm to perform  
35 the audits at least every six years to ensure the audits are conducted  
36 in a fair and equitable manner.

37 (e) If the board determines through the audits performed  
38 pursuant to this section that any campus or related administrative  
39 office of any segment that receives funding from this chapter is  
40 found to have improperly used or otherwise improperly

1 administered moneys allocated under this chapter, the board shall  
2 take the following disciplinary actions:

3 (1) Upon a first finding, the board shall place the recipient  
4 campus or related administrative office on probation status and  
5 require the recipient campus or related administrative office to  
6 submit a remediation plan as a condition of receiving funding  
7 under this chapter.

8 (2) Upon finding that a recipient campus or related  
9 administrative office has subsequently mishandled funds allocated  
10 under this chapter within five years of a finding pursuant to  
11 paragraph (1), the board shall bar the recipient campus or related  
12 administrative office from receiving funds made available under  
13 this chapter during the following fiscal year.

14 (3) Upon finding that a recipient campus or related  
15 administrative office has subsequently mishandled funds allocated  
16 under this chapter within five years of a finding pursuant to  
17 paragraph (2), the board shall bar the recipient campus or related  
18 administrative office from receiving funding under this chapter.

19 (f) The board may allow a campus or related administrative  
20 office that has been barred from receiving funding pursuant to  
21 paragraph (3) of subdivision (e) to apply for funding under this  
22 chapter after five years have passed since the campus or related  
23 administrative office was barred from receiving funding pursuant  
24 to paragraph (3) of subdivision (e).

25 99509. The board may adopt regulations necessary or  
26 appropriate to implement its powers and duties under this chapter  
27 in accordance with the Administrative Procedure Act (Chapter 3.5  
28 (commencing with Section 11340) of Part 1 of Division 3 of Title  
29 2 of the Government Code).

30

31 Article 3. Powers and Duties of the California Higher Education  
32 Endowment Corporation

33

34 99510. The corporation may hire employees as it deems  
35 necessary to implement this chapter.

36 99512. (a) The corporation shall annually allocate the moneys  
37 in the California Higher Education Fund, for immediate  
38 expenditure as follows:

39 (1) Fifty percent of the moneys in the fund, in equal shares, to  
40 the Regents of the University of California, the Trustees of the

1 California State University, and the Board of Governors of the  
2 California Community Colleges. The moneys shall only be used  
3 for the following purposes and in the following order of priority:

4 (A) First, to reduce mandatory systemwide tuition and fees.

5 (B) Second, to hire faculty and reduce class sizes.

6 (C) Third, for instructional materials.

7 (D) Fourth, for English as a second language (ESL) programs.

8 (E) Fifth, for deferred maintenance.

9 (2) Twenty-five percent of the moneys in the fund to the  
10 Department of Parks and Recreation for the maintenance and  
11 improvement of state parks.

12 (3) Twenty-five percent of the moneys in the fund to the  
13 California Health and Human Services Agency to fund health and  
14 human services programs.

15 (b) The funding established pursuant to this chapter shall be  
16 used to supplement, not supplant, existing levels of state funding  
17 for the California State University, the University of California,  
18 and the California Community Colleges.

19 99514. (a) The board shall have exclusive control of the  
20 investment of the fund. Except as otherwise restricted by the  
21 California Constitution and by law, the board may, in its discretion,  
22 invest the assets of the fund through the purchase, holding, or sale  
23 of any investment, financial instrument, or financial transaction,  
24 if the investment, financial instrument, or financial transaction is  
25 prudent in the informed opinion of the board.

26 (b) The board may itself make any investment authorized by  
27 law or sell any security, obligation, or real property in which  
28 moneys in the fund are invested, by affirmative vote of a majority  
29 of the board, or, by the same affirmative vote, may from time to  
30 time adopt an investment resolution that shall contain detailed  
31 guidelines by which to designate the securities and real property  
32 that are acceptable for purchase or sale. While the resolution is in  
33 effect, securities and real property may be purchased for investment  
34 by an officer or employee of the board designated by it for that  
35 purpose, and sales of securities may be consummated by the officer  
36 or employee under the conditions prescribed. Purchases and sales  
37 of securities shall be reported to the board, on a monthly basis, at  
38 its next regular meeting.

39 (c) Any investment transaction decisions made during a closed  
40 session pursuant to paragraph (16) of subdivision (c) of Section

1 11126 of the Government Code shall be by rollcall vote entered  
2 into the minutes of that meeting. The board, within 12 months of  
3 the close of an investment transaction or the transfer of system  
4 assets for an investment transaction, whichever occurs first, shall  
5 disclose and report the investment transaction at a public meeting.

6 (d) In addition to the other investments authorized by this article,  
7 the board may invest in real estate, leases of real estate, and  
8 improvements on real estate for business or residential purposes  
9 as an investment for the production of income.

10 SEC. 3. Part 21 (commencing with Section 42001) is added to  
11 Division 2 of the Revenue and Taxation Code, to read:

12

13 PART 21. OIL SEVERANCE TAX LAW

14

15 42001. This part shall be known and may be cited as the Oil  
16 Severance Tax Law.

17 42002. For purposes of this part, the following definitions shall  
18 apply:

19 (a) “Barrel of oil” means 42 United States gallons of 231 cubic  
20 inches per gallon computed at a temperature of 60 degrees  
21 Fahrenheit.

22 (b) “California Higher Education Fund” or “CHEF” means the  
23 fund that is created by Section 42147.

24 (c) “Gas” means all natural gas, including casing head gas, and  
25 all other hydrocarbons not defined as oil in subdivision (f).

26 (d) “Division” means the Division of Oil, Gas, and Geothermal  
27 Resources in the Department of Conservation.

28 (e) “In this state” means within the exterior limits of the State  
29 of California and includes all territory within these limits owned  
30 by or ceded to the United States of America. “In this state” includes  
31 the mean high tide line to three nautical miles offshore.

32 (f) “Oil” means petroleum, or other crude oil, condensate, casing  
33 head gasoline, or other mineral oil that is mined, produced, or  
34 withdrawn from below the surface of the soil or water.

35 (g) “Operator” means a person that, by virtue of ownership, or  
36 under the authority of a lease or any other agreement, has the right  
37 to drill, operate, maintain, or control an oil or gas well in the earth  
38 or water in this state, including any person that takes oil or gas  
39 from the earth or water in this state in any manner, any person that  
40 owns, controls, manages, or leases any oil or gas well in the earth



1 or water of this state, and any person that produces or extracts in  
2 any manner any oil or gas by taking it from the earth or water in  
3 this state; and includes the first person that acquires either the legal  
4 title or beneficial title to oil or gas taken from the earth or water  
5 in this state by the federal government or a federal instrumentality.

6 (h) “Political subdivision of the state” includes any local public  
7 entity, as defined in Section 900.4 of the Government Code.

8 (i) “Severed” or “severing” means the extraction or withdrawing  
9 from below the surface of the earth or water of any oil or gas,  
10 regardless of whether the extraction or withdrawal shall be by  
11 natural flow, mechanical flow, forced flow, pumping, or any other  
12 means employed to get the oil or gas from below the surface of  
13 the earth or water, and shall include the extraction or withdrawal  
14 by any means whatsoever of oil or gas upon which the tax has not  
15 been paid, from any surface reservoir, natural or artificial, or from  
16 a water surface.

17 (j) “Stripper well” means a well that has been certified by the  
18 division as an oil well incapable of producing an average of more  
19 than 10 barrels of oil per day during the entire calendar month or  
20 a gas well that is incapable of producing more than an average of  
21 60,000 cubic feet of gas per day during the entire calendar month.  
22 Once a well has been certified as a stripper well, that stripper well  
23 shall remain certified as a stripper well until the well produces an  
24 average of more than 10 barrels of oil per day during an entire  
25 calendar month or produces more than an average of 60,000 cubic  
26 feet of gas per day during an entire calendar month.

27 (k) “Unit of gas” means 1,000 cubic feet (mcf) measured at a  
28 base pressure of 15.025 pounds per square inch absolute and at a  
29 temperature base of 60 degrees Fahrenheit.

30 42010. (a) (1) An oil and gas severance tax is hereby imposed  
31 upon any operator for the privilege of severing oil or gas from the  
32 earth or water in this state at the rate of 9.5 percent of the average  
33 price per barrel of California oil or 3.5 percent of the average price  
34 per unit of gas, as calculated pursuant to this section.

35 (2) (A) On or before December 1, 2014, and June 1, 2015, and  
36 on or before those dates of each year thereafter, the division shall  
37 determine the average price per barrel of California oil for the  
38 six-month period ending on the preceding October 31 and April  
39 30, respectively. The price of California oil shall be based on the  
40 first purchase price for California Midway-Sunset crude oil as

1 determined by the United States Energy Information  
2 Administration's (EIA) First Purchase Report. In the event the  
3 EIA First Purchase Report is delayed or discontinued, the division  
4 may base its determination on other sources of first purchase prices  
5 of California oil.

6 (B) On or before December 1, 2014, and June 1, 2015, and on  
7 or before those dates of each year thereafter, the division shall  
8 determine the average price per unit of gas for the six-month period  
9 ending on the preceding October 31 and April 30, respectively.  
10 The price of gas shall be based on California's price for gas as  
11 determined by the United States Energy Information  
12 Administration's (EIA) Report. In the event the EIA Report is  
13 delayed or discontinued, the division may base its determination  
14 on other sources of city gate prices of California gas.

15 (C) The division shall notify the board of its determinations  
16 pursuant to subparagraphs (A) and (B), on or before December 1,  
17 2014, and June 1, 2015, and on or before those dates on each year  
18 thereafter.

19 (b) Any person that owns an interest, including a royalty interest,  
20 in oil or its value, is liable for the tax until it has been paid to the  
21 board.

22 42012. The tax imposed by this part shall be in addition to any  
23 other taxes imposed by law, including, without limitation, any ad  
24 valorem taxes imposed by the state, or any political subdivision  
25 of the state, or any local business license taxes that may be incurred  
26 for the privilege of severing oil or gas from the earth or water or  
27 doing business in that locality. There shall be no exemption from  
28 the payment of an ad valorem tax related to equipment, material,  
29 or other property by reason of the payment of the severance tax  
30 pursuant to this part.

31 42014. Two or more operators that are owned or controlled  
32 directly or indirectly, as defined in Section 25105, by the same  
33 interests shall be considered as a single operator for purposes of  
34 application of the tax prescribed in this part.

35 42015. (a) There shall be exempted from the imposition of  
36 the oil and gas severance tax imposed pursuant to this part, the  
37 severance of oil or gas produced by a stripper well, unless the well  
38 produces more than five barrels per month.

39 (b) The division shall notify the board of all wells that have  
40 been certified as stripper wells.

1 42016. There shall be exempted from the imposition of the tax  
2 imposed pursuant to this part all oil, gas, or both oil and gas owned  
3 or produced by the state or any political subdivision of the state,  
4 including such public entity's proprietary share of oil or gas  
5 produced under any unit, cooperative, or other pooling agreement.

6 42019. Each operator shall prepare and file with the board a  
7 return in the form prescribed by the board containing information  
8 as the board deems necessary or appropriate for the proper  
9 administration of this part. The return shall be filed on or before  
10 the last day of the calendar month following the calendar quarter  
11 to which it relates, together with a remittance payable to the board  
12 for the amount of tax due for that period.

13 42145. (a) The board shall administer and collect the tax  
14 imposed by this part pursuant to the Fee Collection Procedures  
15 Law (Part 30 (commencing with Section 55001)). For purposes  
16 of this part, the references in the Fee Collection Procedures Law  
17 to "fee" shall include the tax imposed by this part and references  
18 to "feepayer" shall include any person liable for the payment of  
19 the tax imposed by this part.

20 (b) The board may prescribe, adopt, and enforce regulations  
21 relating to the administration and enforcement of this part,  
22 including, but not limited to, provisions governing collections,  
23 reporting, refunds, and appeals.

24 (c) The board may prescribe, adopt, and enforce emergency  
25 regulations relating to the administration and enforcement of this  
26 part. Any emergency regulations prescribed, adopted, or enforced  
27 pursuant to this section shall be adopted in accordance with Chapter  
28 3.5 (commencing with Section 11340) of Part 1 of Division 3 of  
29 Title 2 of the Government Code, and, for purposes of that chapter,  
30 including Section 11349.6 of the Government Code, the adoption  
31 of these regulation is an emergency and shall be considered by the  
32 Office of Administrative Law as necessary for the immediate  
33 preservation of the public peace, health and safety, and general  
34 welfare.

35 42147. (a) All taxes, interest, penalties, and other amounts  
36 collected pursuant to this part, less refunds and costs of  
37 administration, shall be deposited first into the General Fund and  
38 then into the California Higher Education Fund, which is hereby  
39 created in the State Treasury. Notwithstanding Section 13340 of  
40 the Government Code, moneys in the fund are continuously

1 appropriated, without regard to fiscal year, to the California Higher  
2 Education Endowment Corporation established by Section 99502  
3 of the Education Code.

4 (b) (1) Revenues, less refunds, derived pursuant to Section  
5 42013 for deposit in the California Higher Education Fund pursuant  
6 to this section shall be deemed “General Fund revenues” and  
7 “General Fund proceeds of taxes” for purposes of Section 8 of  
8 Article XVI.

9 (2) Moneys allocated to the Board of Governors of the California  
10 Community Colleges pursuant to Section 99512 of the Education  
11 Code shall be deemed “moneys to be applied by the state for the  
12 support of school districts and community college districts” for  
13 purposes of Section 8 of Article XVI.

14 (c) Any local property tax reductions that may result from the  
15 imposition of the tax by this part shall be reimbursed from the  
16 revenues received from the imposition of the tax.

17 SEC. 4. No reimbursement is required by this act pursuant to  
18 Section 6 of Article XIII B of the California Constitution because  
19 the only costs that may be incurred by a local agency or school  
20 district will be incurred because this act creates a new crime or  
21 infraction, eliminates a crime or infraction, or changes the penalty  
22 for a crime or infraction, within the meaning of Section 17556 of  
23 the Government Code, or changes the definition of a crime within  
24 the meaning of Section 6 of Article XIII B of the California  
25 Constitution.

26 SEC. 5. This act is an urgency statute necessary for the  
27 immediate preservation of the public peace, health, or safety within  
28 the meaning of Article IV of the Constitution and shall go into  
29 immediate effect. The facts constituting the necessity are:

30 In order to reduce mandatory systemwide tuition and fees as  
31 quickly as possible, it is necessary that this act take effect  
32 immediately.



County of Sonoma  
Agenda Item  
Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 14**  
(This Section for use by Clerk of the Board Only.)

**To:** Sonoma County Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** County Administrator

**Staff Name and Phone Number:**

Veronica Ferguson 565-2431

**Supervisorial District(s):**

All

**Title:** Personal Services Agreement -Director, Human Resources

**Recommended Actions:**

Authorize the Chair to execute an Amendment to the Personal Services Agreement with Wendy Macy as director of Human Resources, from April 5, 2014 through April 5, 2017.

**Executive Summary:**

Attached for the Board's approval is amendment extending for three years a Personal Services Agreement with Wendy Macy in the capacity of the Director of Human Resources.

**Prior Board Actions:**

A personal services agreement has been in place with Ms. Macy for the position of Director of Human Resources since April 4, 2011.

**Strategic Plan Alignment** Goal 4: Civic Services and Engagement

This position provides management support for all County departments to promote a professionally-managed organization.

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

The Director will be paid at the "I" salary step, \$14,750.72 monthly salary. Ongoing annualized salary associated with this position is \$177,008.65 and is incorporated in the FY 13-14 budget.

**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

**Attachments:**

Amendment to an Agreement for Personal Services

**Related Items "On File" with the Clerk of the Board:**

None

**FIRST AMENDMENT TO AGREEMENT FOR PERSONAL SERVICES**

**DIRECTOR OF HUMAN RESOURCES**

This First Amendment to the Agreement for Personal Services by and between, the County of Sonoma, a political subdivision of the State of California (hereinafter "COUNTY") and Wendy Macy (hereinafter called "EMPLOYEE") is entered into this 5<sup>th</sup> day of April, 2014. ( COUNTY and EMPLOYEE shall collectively be referred to as the "Parties.")

WITNESSETH:

WHEREAS, COUNTY and EMPLOYEE entered into a personal services agreement (the "Agreement") for the position of Director of Human Resources dated March 15, 2011; and,

WHEREAS, the Agreement provides for a term of employment for a period of three (3) years, commencing on April 5, 2011, and ending on April 5, 2014; and,

WHEREAS, the Parties desire to further extend the Agreement for a period of three years.

NOW, THEREFORE, BE IT AGREED by and between the Parties that the term of employment provided for in the Agreement shall be extended for a period of three years with the term of employment expiring on April 5, 2017. All other provisions in the Agreement shall remain in full force and effect.

ATTEST:

COUNTY OF SONOMA

\_\_\_\_\_  
Clerk of the Board  
Administrator

By \_\_\_\_\_  
Chair, Board of Supervisors

EMPLOYEE

\_\_\_\_\_  
Wendy Macy



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 15**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors of Sonoma County

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** General Services / Human Services

**Staff Name and Phone Number:**

José Obregón, General Services, 707-565-2977  
Jerry Dunn, Human Services, 707-565-5855

**Supervisorial District(s):**

All

**Title:** Lease expansion for Human Service Department / Medi-Cal Eligibility and Hearings staff

### Recommended Actions:

Authorize the General Services Director, to execute a lease amendment with Parkway Properties 14, LLC, for the Human Services Department for approximately 7,281 sq. ft., in the building located at 520 Mendocino Avenue, Santa Rosa, for \$11,987 per month, or \$143,848 per year, for a term of six years, plus three, 3-year options, concurrent with the existing lease

### Executive Summary:

This matter involves a proposed lease expansion for the Human Services Department (HSD) Medi-Cal Eligibility program and the HSD Hearings program. Based on Board action on March 11, 2014 and as required by the California Government Code the Clerk published a notice indicating your Board's intention to execute the lease amendment. This action will authorize the General Services Director, or his Deputy, to execute the lease agreement.

HSD currently occupies approximately 28,837 rentable sq. ft. of office space, in the building located at 520 Mendocino Avenue, Santa Rosa (Premises), under a lease, dated June 25, 2013 with Parkway Properties 14, LLC (Landlord). HSD wishes to lease approximately 7,281 rentable sq. ft. of additional space on the 3<sup>rd</sup> floor (2014 Expansion Space) in the same building, for program services expansion. The space will provide the staff work space and conference rooms necessary for the Department's Medi-Cal Eligibility and Hearings program staff. (Please see attached floor plan.) The Hearings Group would occupy Suites 301A and 301B, comprised of approximately 2,028 sq. ft.; and the Medi-Cal Eligibility staff would occupy Suite 302, comprised of approximately 5,253 sq. ft. The total leased premises after the addition of the 2014 Expansion Space would be approximately 36,118 rentable sq. ft.

**Program Information.** The Economic Assistance Service Center (EASC) currently located at 520 Mendocino Avenue serves individuals and families receiving Medi-Cal, CalFresh, and County Medical Services Program (CMSP) benefits and services (approximately 49,000 ongoing cases). HSD currently has



99 employees at EASC, including new Eligibility Workers hired to provide services pursuant to the Patient Care and Affordable Care Act (Health Care Reform).

By State law, HSD clients can appeal any adverse action regarding their application for, or continued benefits in, public assistance programs. Clients can appeal actions in a variety of programs including: Medi-Cal, CalFresh, CalWORKs, In-Home Supportive Services (IHSS), CMSP, and General Assistance (GA). In addition to benefit appeal cases clients can also appeal and request hearings for administrative review and investigation of discrimination complaints. In the past three years, HSD received an average of 682 appeals each year, or approximately 57 per month. It is anticipated as caseloads increase due to the implementation of Health Care Reform that there will be a corresponding increase in appeal cases.

Hearings are currently held at two sites: one at 2550 Paulin Drive and the other at 3600 Westwind Boulevard. The expansion at 520 Mendocino Avenue will allow HSD to combine staff at one site and facilitate the Department's ability to meet the anticipated increase in the number of appeals. The 2550 Paulin Drive location hosts three Hearing staff offices and a Hearing Room. The Hearing Staff offices will be repurposed as offices for other supervisors and managers. The Hearing Room will be repurposed to a conference room/meeting room. The Hearing staff office at 3600 Westwind will be repurposed for another HSD supervisor or manager.

**Proposed Lease Amendment.** According to the terms of the proposed lease amendment, the occupancy date would occur on or about June 1, 2014. The proposed blended rental rate of \$1.65 per sq. ft. approximates market rental value of comparable office space in downtown Santa Rosa. The base rental rate for the 2014 Expansion Space would be annually adjusted concurrent with the original lease, using the Consumer Price Index, but in no case would rent be increased more than 4% per annum. Staff has negotiated terms for the proposed lease amendment as follows:

2014 Expansion

Space Premises: Approximately 7,281 sq. ft., in Suites 301A, 301B, and 302 at 520 Mendocino Avenue, Santa Rosa

Rent: \$11,987 per month, or approximately \$1.65 per sq. ft. The rental rate is 'blended', as the County would pay \$1.69 per sq. ft. for the office space; and \$.85 per sq. ft. for the staff restrooms identified on the floor plan as Suite 301B, which is accessible only through Suite 301A. The breakdown in lease rent for the 2014 Expansion Space is as follows:

Suite 301a	1,650 sq. ft.	\$1.69 per sq. ft.	\$ 2,788.50
Suite 301b	378 sq. ft.	\$0.85 per sq. ft.	321.30
<u>Suite 302</u>	<u>5,253 sq. ft.</u>	<u>\$1.69 per sq. ft.</u>	<u>8,877.57</u>
Total – 2014 Expansion Space Rent per month			\$11,987.37

Tenant Improvement

Allowance: The landlord would provide County with a tenant improvement allowance of up to \$100,000 for the landlord's completion of the tenant improvements. The tenant improvements are minimal, and include relocation of the server in Suite 302, the build-out of a conference room and the build-out of additional officespaces to accommodate the new

staff. Landlord would pay for all design and architectural services, completion of construction documents and permitting for the construction of the tenant improvements.

**Prior Board Actions:**

03/11/14—Declared intent to enter into subject amendment  
 05/21/13—Authorized General Services Director, to execute new lease of the Premises  
 04/23/13—Declared intent to enter into new lease  
 11/27/07—Authorized General Services Director, or his Deputy, to exercise option to extend lease term  
 05/13/03—Authorized General Services Director to exercise option to extend lease term  
 07/28/98—Authorized Chairman to execute lease  
 06/28/98—Declared intent to enter into lease of the Premises  
 12/16/97—Authorized General Services Director to secure additional space to implement SonomaWORKS program

**Strategic Plan Alignment**      Goal 1: Safe, Healthy, and Caring Community

The proposed lease amendment allows HSD to provide space for additional program staff for Economic Assistance Programs, Affordable Care Act Programs, and consolidated space for Hearings, within the same building HSD currently occupies. This space is centrally located in downtown Santa Rosa and close to public transportation.

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$ 11,987		\$
Add Appropriations Req'd.	\$	State/Federal	\$ 11,987
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$ 11,987</b>	<b>Total Sources</b>	<b>\$ 11,987</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

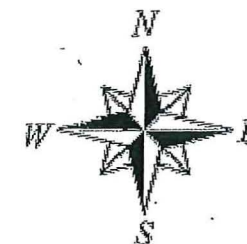
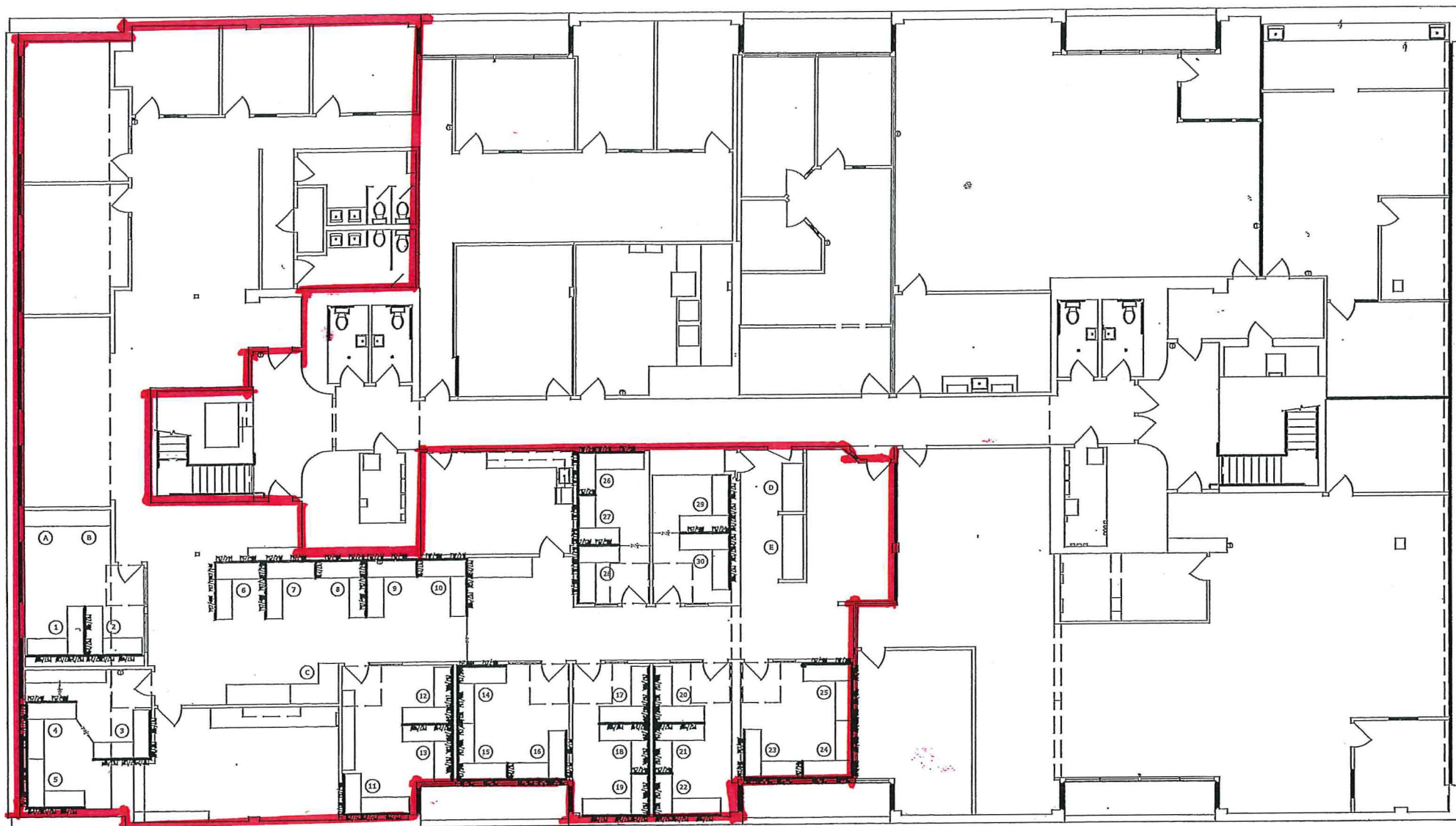
The proposed commencement date for the 2014 Expansion Premises is anticipated to be June 1, 2014, with a resultant increase in monthly lease rent for the Fiscal Year 2013-2014 in the amount of \$11,987 per month. Lease costs are included in the Fiscal Year 2013-2014 Budget.

**Staffing Impacts**

Position Title (Payroll Classification)	Monthly Salary Range (A – I Step)	Additions (Number)	Deletions (Number)

<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
Preliminary Floor Plan			
<b>Related Items "On File" with the Clerk of the Board:</b>			
Copy of proposed lease amendment			

Mendocino Avenue ↔



2014 Expansion Space: Suites 301a, 301b and 302, 520 Mendocino Avenue, Santa Rosa, CA



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 16**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors of Sonoma County

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** General Services / Human Services

**Staff Name and Phone Number:**

José Obregón, General Services, 707/565-2977  
Jerry Dunn, Human Services, 707/565-5855

**Supervisorial District(s):**

All

**Title:** Lease expansion for Human Services Department / Employment & Training Division

### **Recommended Actions:**

Authorize the General Services Director to execute a lease amendment with SR Office Properties LLC, for the Human Services Department, for premises located at 2227 Capricorn Way, Santa Rosa; for \$6,230 per month, to expire June 30, 2023.

### **Executive Summary:**

**General.** This matter involves a proposed lease expansion for the Human Services Department (HSD) Employment & Training Division (“HSD E&T Division”). Based on Board action on March 11, 2014 and as required by the California Government Code, the Clerk published a notice indicating your Board’s intention to execute the lease amendment. This action will authorize the General Services Director, or his Deputy, to execute the lease agreement.

In 2001, the HSD E&T Division consolidated all of its functions, which includes the SonomaWORKS and Job Link programs and divisions, in one building, at 2227 Capricorn Way. The lease with CA-The Lakes Limited Partnership, predecessor in interest to SR Office Properties LLC (“Landlord”), of approximately 46,278 rentable sq. ft. of office space, expires on June 30, 2023. Department administration has requested additional space to address work space needs for SonomaWORKS Fiscal, the Welfare Fraud Prevention Special Investigation Unit (SIU), the Family Stabilization area by CalWorks, as well as to add a training room for all staff.

**Special Investigation; Welfare Fraud Prevention Units (“SIU”).** The SIU program is responsible for the prevention and investigation of fraud in the public assistance programs, administered by HSD. The mission of SIU is to ensure program integrity, in the issuance, administration and receipt of public assistance benefits.

**SonomaWORKS Fiscal.** This unit processes payments for social worker clients, child care,

transportation and ancillary expenses.

**Family Stabilization Program.** The Family Stabilization (FS) is a new program, offered through CalWORKS, which is designed to help clients become more self-sufficient. CalWORKS/SonomaWORKS clients who participate in the Welfare-to-Work (WTW) program may be eligible for FS assistance if they are determined by County to be experiencing an interference with their ability to participate in WTW services. FS provides more intensive case management and assignment to additional activities or barrier removal services necessary to achieve self-sufficiency.

HSD wishes to lease approximately 3,461 sq. ft. of additional office space on the 1<sup>st</sup> floor of 2227 Capricorn Way ("Expansion Space"), to provide room for new employees and training facilities. Areas vacated by the SonomaWORKS Fiscal Unit will be back-filled and used by the Family Stabilization Program. Additionally, a training room will be expanded to accommodate staff training and meeting requirements that cannot be accommodated in current facilities. (Please see attached floor plan.)

**Proposed Lease Expansion.** According to the terms of the proposed lease amendment, the occupancy date would occur on or about August 1, 2014. The monthly rent rate for the additional space would be \$1.80 per sq. ft., or \$6,230 per month, through June 30, 2016. The total monthly rent for the entire leased HSD space would be \$87,217 per month for FY2014-15. The rent for the Expansion Space would be consistent with the existing Lease beginning July 1, 2016. Staff has negotiated terms for the proposed lease amendment as follows:

2014 Expansion	
Space Premises:	3,461 sq. ft., in Suite 101 at 2227 Capricorn Way, Santa Rosa
Rent:	\$6,230 per month, or \$1.80 per sq. ft. This rental rate and amount would be effective upon execution of the proposed lease amendment through June 30, 2016. The rent would increase, to \$1.87 per sq. ft., beginning July 1, 2016, consistent with the existing leased Premises, and be subject to annual adjustments pursuant to the Lease.
Tenant	
Improvements:	The tenant improvements required for the Expansion Space would be completed and paid for by the Landlord at its sole cost and expense. The approximate cost for the tenant improvements is \$145,350.

According to the terms of the proposed amendment, lease rent would be increased beginning FY2014-15 by approximately \$6,230 per month (from \$80,987 per month, to \$ 87,217 per month) for the additional leased space. Total impact for the addition of the 2014 Expansion Space for FY2014-15 would be \$74,760 (12 months X \$6,230).

**Strategic Plan.** Consistent with service delivery principles promoted by the Comprehensive County Facilities Plan (C.C.F.P.), all programs in this facility would be considered for centralized consolidation with additional related Human and Health Services programs. The allocation of total lease space proposed here was screened against C.C.F.P. space guidelines and found to be in conformance with recommended space utilization targets.

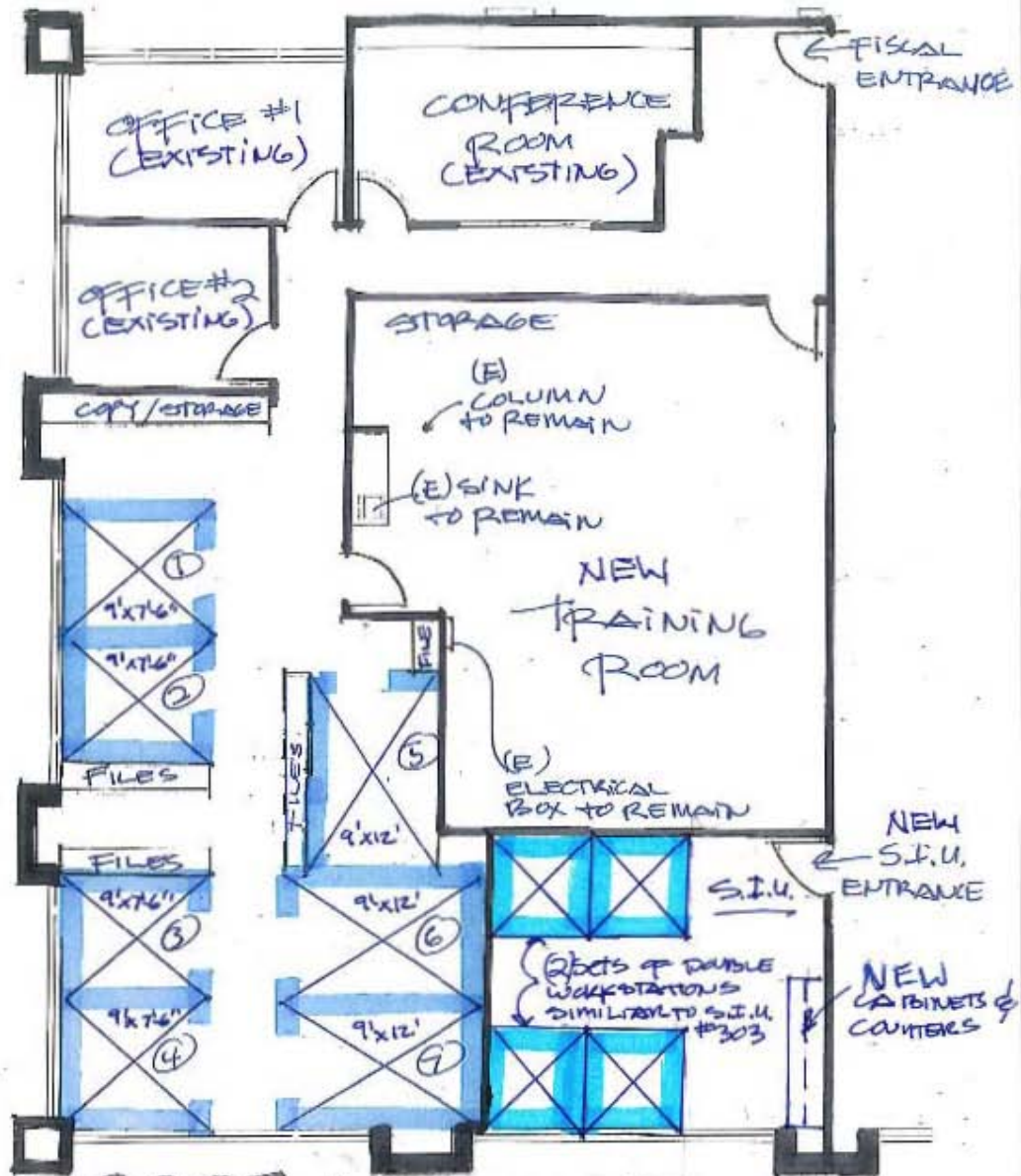
<b>Prior Board Actions:</b>			
<p>03/11/14—Declared intent to enter into subject amendment  12/14/10--Authorized General Services Director to execute lease, approve construction drawings, modify certain documents and execute change orders for tenant improvements; approved resolution authorizing budgetary adjustments to HSD FY2010-11 Final Budget in the amount of \$463,000; authorized the Chair to execute an amendment to professional services contract with Josette Brault, Architect, in the amount of \$41,175, for project management for the HSD Lease Consolidation Project  11/09/10--Declared intent to enter into subject lease; authorized General Services Director, or his designee, to execute letter-agreement whereby landlord would prepare architectural construction drawings and apply for building permits prior to potential execution of lease; and 2) authorized Chair to execute professional services contract with A.G. Frey Company.</p>			
<b>Strategic Plan Alignment</b> Goal 1: Safe, Healthy, and Caring Community			
The proposed amendment will promote the expansion of additional services as well as continuity in the delivery of needed HSD services in Sonoma County at its present location, which is convenient and familiar to its clientele.			
<b>Fiscal Summary - FY 13-14</b>			
<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>
<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			

<b>Attachments:</b>
Floor plan
<b>Related Items "On File" with the Clerk of the Board:</b>
Copy of proposed amendment



EXHIBIT I-3

Approved Space Plan



2227 CAPRICORN  
SUITE 101

12/12/13

OPTION #5  
2/3



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 17**  
(This Section for use by Clerk of the Board Only.)

**To:** Sonoma County Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** General Services / Transportation & Public Works

**Staff Name and Phone Number:**

Jose Obregon, General Services, 565-2977  
Susan Klassen, Transportation & Public Works,  
565-2440

**Supervisorial District(s):**

5<sup>th</sup> District

**Title:** License Agreement for James McConnell d/b/a Andorno's Pizza for use of a portion of the Guerneville Plaza

### **Recommended Actions:**

Authorize the General Services Director to execute a License Agreement with James McConnell d/b/a Andorno's Pizza for use of a portion of County property commonly known as the Guerneville Plaza, lease payments to start at \$300/month; for a term of 5 years, with 5 years of possible extensions.

### **Executive Summary:**

**General.** In 1998, the State of California Department of Transportation ("CalTRANS") constructed a new, concrete bridge to extend Highway 116 to River Road, to replace the steel-framed Guerneville Bridge, built in 1922 and located at the intersection of Armstrong Woods Road in the town of Guerneville. In 1999, the California Transportation Commission relinquished its interest in the superseded highway right-of-way and collateral facilities, now known as the Guerneville Historic Bridge & Plaza, to the County ("County Property"). The County Property is no longer used for vehicle traffic, and is now open to public pedestrian use.

Since that time, the County Transportation & Public Works Department, Sonoma County Transit Division ("TPW") has been responsible for the construction and funding of improvements made on the County Property, including parking spaces, concrete hardscape, tables and seating, landscaped planter box areas, lighting and a water feature. TPW also currently pays for PG&E and water utilities.

**License Agreements with the Russian River Chamber of Commerce and the Russian River Rotary Foundation.** The County General Services Department ("GSD") granted revocable license agreements to the Russian River Chamber of Commerce ("Chamber") and the Russian River Rotary Foundation ("Rotary") for use of the County property, to host farmers markets and other Chamber-sponsored

events throughout the year, as well as a summer concert series sponsored by the Rotary. In June 2013, your Board approved execution of new license agreements with the Chamber and the Rotary, as pursuant to Government Code 26227, the provision of these agreements to the Chamber and the Rotary promotes the social needs of the general public, as the Chamber and the Rotary sponsor community events that are open to the general public and which promote local artists, agriculture and businesses in the local Guerneville and West Sonoma County area. The Board further found that the County does not need the Plaza during these days specified for Chamber and Rotary events, and there is no other proposed use for the Plaza by the County during the term of the licenses. The Chamber agreement expires on July 21, 2014, and has two, 1-year options which may extend the term through July 2016. The Rotary agreement expired on September 19, 2013, as the summer concert series ended in September, 2013.

**Proposed license agreement with James McConnell/Andorno's Pizza.** Staff received a request from James McConnell, the business owner-operator of Andorno's Pizza ("Licensee"), a small restaurant in Guerneville. The business is located at 16205 First Street, Guerneville, and situated adjacent to County property. The Licensee wishes to use a portion of the County Property to install an outdoor patio area for seating and dining for Licensee's/Andorno's customers (the "Project"). Please see the attached diagram ([Attachment 1](#)).

Licensee has secured written approval from the County Permit & Resource Management Department ("PRMD") for the construction and operation of the Project. The PRMD permit approval is conditioned upon the execution of the proposed license agreement, as well as Licensee obtaining required building and health permits, conformance with accessibility standards reviewed and approved by County TPW, and compliance with all applicable federal, state and county statutes and ordinances related to the proposed license. Please see PRMD conditions of permit approval ([Attachment 2](#)).

Staff has negotiated a license agreement, the proposed terms of which follows:

**Use:** Enclosed outdoor patio dining area for Licensee's customers, with permitted hours of operation from 7:00 a.m. to 10:00 p.m., seven days per week. The maximum seating allowed within the outdoor dining area is 32 at any time.

**Initial Term:** The initial term would be for five years, with three extension terms (two years for the 1<sup>st</sup> and 2<sup>nd</sup> extension terms, and one year for the 3<sup>rd</sup> extension term). The total term of the agreement would not exceed 10 years.

**Termination:** Either party may terminate the agreement with 60 days' prior written notice.

**Consideration:** \$300 per month for the Year 1 of the initial term, with an increase to \$400 per month for Year 2 of the initial term. Consideration would be subject to 3% fixed increases for Years 3 through 10 of the agreement.

**Public Benefit.** As discussed earlier in this report, County has granted licenses to the Chamber and the Rotary for use of the County Property, in order to host special events for the general public, citizens and visitors to West Sonoma County. These special events have been successful in drawing an increasing

number of visitors to the West Sonoma County area, thereby promoting local businesses, products and services. Licensee proposes the enclosed outdoor dining area on the County property, to increase not only local business, but enhance visibility and use of the Plaza. The proposed license would not interfere with use of the Guerneville Bridge & Plaza by the Chamber, and add an attractive dining/seating area for use by the local community as well as visitors to West Sonoma County, and augment the existing amenities at the Plaza during the tourist seasons and year-round. The proposed license agreement will also provide County with a future revenue stream for such use. The revenue gained from the proposed license agreement will be used by TPW to offset its costs for maintaining the Guerneville Bridge and Plaza. TPW expends approximately \$800 per month in maintenance costs to clear the Guerneville Bridge and Plaza and the adjacent County bus stop of debris and trash, and to maintain the landscape and hardscape. The consideration of \$300 per month for the proposed agreement will help pay for TPW costs.

**Recommendation:** Staff recommends that the Board authorize the General Services Director to execute a license agreement with James McConnell d/b/a Andorno’s Pizza for use of a portion of County property commonly known as the Guerneville Plaza.

**Prior Board Actions:**

- 06/04/13      Authorized the General Services Director, or his Deputy, to: 1) execute a license agreement with the Russian River Chamber of Commerce & Visitors Center, 2) execute a license agreement with the Russian River Rotary Foundation, and 3) make findings as required by Section 26227 of the Government Code that the proposed license agreements are necessary to meet the social needs of the population of the County, and that the County does not need the Guerneville Pedestrian Bridge & Plaza during the term of the license agreements.
- 05/01/13      Posted notice of intent to extend the term of the license agreement through June 3, 2013, for the Russian River Chamber of Commerce & Visitors Center
- 05/10/04      Posted notice of intent to license County real property consisting of the pedestrian bridge over the Russian River and the area commonly known as the Plaza, located in Guerneville
- 10/01/02      Authorized General Services Director to execute first amendment to license agreement
- 05/08/01      Board finding of County project and CEQA exemption; authorized General Services Director to execute license agreement; directed Transportation & Public Works Director to work with Russian River Parks & Recreation District for possible transfer of operation/responsibility of the property to the District on a long-term or permanent basis

**Strategic Plan Alignment**      Goal 4: Civic Services and Engagement

Provision of the proposed license agreement will increase use of the Guerneville Bridge and Plaza by local business and thereby enhance visibility and support tourism to West Sonoma County, as well as providing a revenue stream to the County for use of the County Property.

<b>Fiscal Summary - FY 13-14</b>			
<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$ 2,400	County General Fund	\$ 2,400
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$ 2,400</b>	<b>Total Sources</b>	<b>\$ 2,400</b>
<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
The proposed license agreement will generate \$300 per month for the first year of the term, or approximately \$900 in FY13-14 for the months April, May and June, 2014. In addition, Licensee would pay County an additional one-time administrative fee of \$1,500, for a total of \$2,450 for the FY13-14.			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
None			
<b>Attachments:</b>			
Diagram, PRMD Conditions of Approval			
<b>Related Items "On File" with the Clerk of the Board:</b>			
Proposed license agreement			

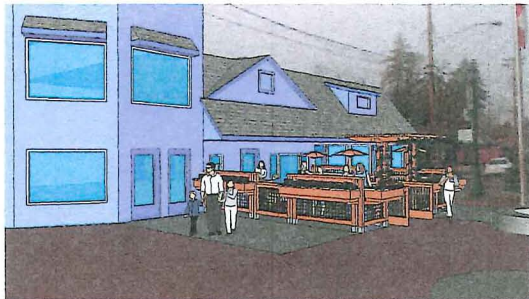
# EXHIBIT A



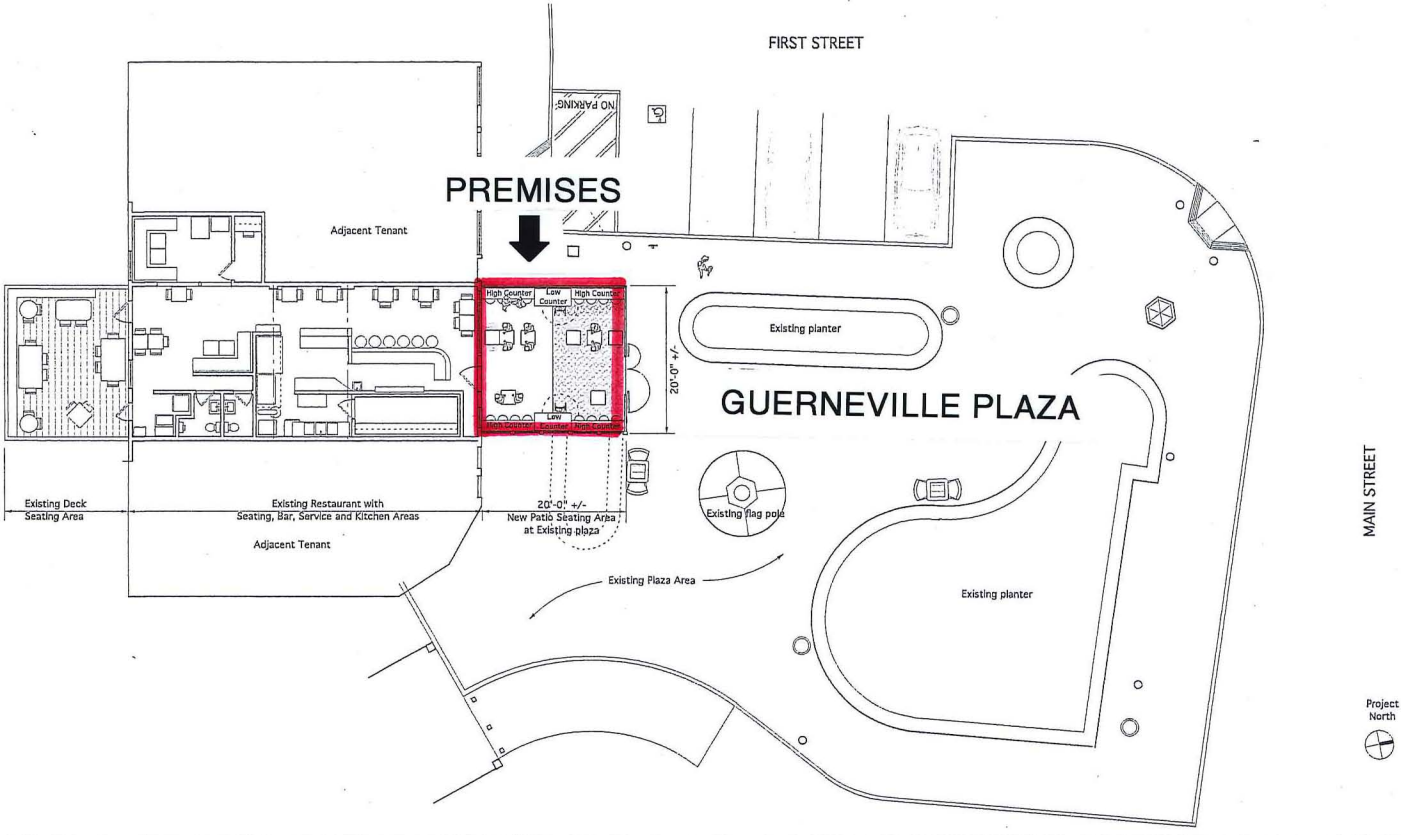
View of new patio from existing Plaza planter



View of new patio from existing Plaza near flag pole



View of new patio from existing Plaza





# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

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October 17, 2013

Jim Mc Connell  
P O Box 1567  
Guerneville, CA 95446

Re: UPE13-0060; 16205 1st Street, Guerneville; APN: 070-040-038

This letter is in reference to your request for a Use Permit for a 400 square foot outdoor dining area adjacent to an existing restaurant within the Guerneville Plaza designated as a County right-of-way. The outdoor dining area is to be surrounded by a four foot high wood and wire railing and includes 32 seats. The project requires the removal of an existing 175 square foot planter currently located in the Guerneville Plaza.

Notice of the County's intent to waive the hearing requirement for the requested Use Permit was posted for 10 days and no protests were received. Pursuant to Section 26-92-040(d) of the Sonoma County Code, no public hearing is required and the Use Permit will be issued subsequent with conformance with the enclosed conditions. Once compliance with all pre-operational conditions has been achieved, a Use Permit Certificate will be issued and the approved use may commence.

The Use Permit approval is based on a determination by the Permit and Resource Management Department that the use will not be detrimental to the health, safety or welfare of adjacent land uses or properties. In addition, it is the determination of the department that the project is categorically exempt from the provisions of the California Environmental Quality Act pursuant to the Provisions of Title 14 of the California Administrative Code, Section 15303, because this is the construction of a fenced area around an outdoor dining area adjacent to an existing restaurant.

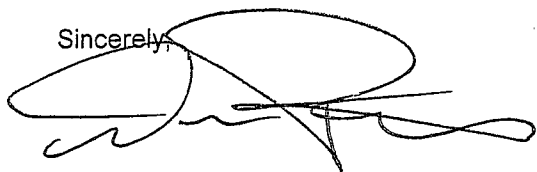
There are approximately 20 parking spaces located in the public right-of-way and adjacent to the pedestrian bridge that crosses the river. These parking spaces are open to the public and provide parking for the downtown area of Guerneville, including Andorno's Pizza restaurant.

The Use Permit shall be issued for the use as described on the application form, the proposal statement, the site plan submitted to this department and as modified by the Conditions of Approval. Any modifications of the use, expansion or alteration shall be submitted for review and approval by the Permit and Resource Management Department, Project Review Division, in advance of the proposed change and may, at the discretion of the department, require a new Use Permit with or without a public hearing.

This decision may be appealed in writing, along with an appeal fee, within 10 (ten) calendar days of the date of this letter.

If you have any questions, feel free to contact me at [Dean.Parsons@sonoma-county.org](mailto:Dean.Parsons@sonoma-county.org) or at 707-565-1948. Please refer to your file number (UPE13-0060) and site address when making inquiries.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dean Parsons', written over a large, light-colored oval scribble.

Dean Parsons  
Project Planner

:bp

Enclosure: Conditions of Approval dated October 17, 2013

c: File UPE13-0060  
Herman Hernandez  
Praxis Architects, Attn. Brian Grant



## Conditions of Approval

**Date:** October 17, 2013  
**Applicant:** Jim McConnell  
**Owner:** Herman Hernandez  
**Address:** 16205 1<sup>st</sup> Street, Guerneville

**File No.:** UPE13-0060  
**APN:** 070-040-038

**Project Description:** Request for a Use Permit for a 400 square foot outdoor dining area adjacent to an existing restaurant within the Guerneville Plaza designated as a County right-of-way. The outdoor dining area is to be surrounded by a four foot high wood and wire railing and includes 32 seats. The project requires the removal of an existing 175 square foot planter currently located in the Guerneville Plaza.

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**Prior to commencing the use, evidence must be submitted to the file that all of the following non-operational conditions have been met.**

### **BUILDING:**

1. The applicant shall apply for and obtain a building related permit from PRMD for the outdoor dining area construction. The necessary applications appear to be, but may not be limited to accessibility report, site review and building permit(s). Construction inspections shall occur and the building permit(s) finalized prior to occupancy of new structures.
2. All required paths of travel (parking lots, sidewalks) shall comply with State and Federal Accessibility guidelines. Grading plans submitted to PRMD shall include sufficient details of features to validate compliance.
3. All buildings, structures, sidewalks, curbs, and related facilities shall be accessible to and usable by persons with disabilities. Prior to initiation of the approved use, the project shall comply with the accessibility requirements set forth in the most recent CBC as determined by the PRMD Building Division.
4. The proposed occupancy, type of construction, square footage, and occupant load shall be clearly identified on the required plans and construction documents.
5. The extent of the floodway and flood zone shall be clearly delineated on the proposed Site Plan, and any structures within the flood zone shall be designed to resist the effects of inundation.
6. If any changes to plans, drawings, documents or specifications required pursuant to any conditions herein specified occur, these changes shall be brought to the appropriate department for review and approval prior to any construction or improvements. Also, these changes shall be reviewed by all departments involved in the initial approval of the subject plans, drawings, documents or specifications that are proposed for change.
7. The business operator shall post a sign during the construction process that includes the phone number for a current job manager for the benefit of neighbors. The job manager can be contacted if there are any problems associated with the construction process site such as dust, storm water runoff, hours of operation, equipment noise, traffic issues or lack of compliance with any project conditions of approval.

**HEALTH:**

“The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

OPERATIONAL REQUIREMENTS:

Water:

- 8. Connection shall continue to be made to public sewer and water.
- 9. A safe, potable water supply shall be provided and maintained.

Consumer Protection:

- 10. Obtain and maintain all required Food Industry Permits from the Sonoma County Environmental Health & Safety Section prior to serving any food. Note that no food service exceeding the limits specified under the planning conditions shall be authorized on this site by the issuance of any retail food facility permit, catering permit, mobile food vendor permit or building permit.

Noise:

- 11. Noise shall be controlled in accordance with Table NE-2 (or an adjusted Table NE-2 with respect to ambient noise as described in General Plan 2020, Policy NE-1c,) as measured at the exterior property line of any affected residential or sensitive land use:

TABLE NE-2: Maximum Allowable Exterior Noise Exposures

Hourly Noise Metric <sup>1</sup> , dBA	Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
L50 (30 minutes in any hour)	50	45
L25 (15 minutes in any hour)	55	50
L08 (4 minutes 48 seconds in any hour)	60	55
L02 (72 seconds in any hour)	65	60
<sup>1</sup> The sound level exceeded n% of the time in any hour. For example, the L50 is the value exceeded 50% of the time or 30 minutes in any hour; this is the median noise level. The L02 is the sound level exceeded 1 minute in any hour.		

- 12. If noise complaints are received from nearby residents, and they appear to be valid complaints in PRMD’s opinion, then the applicant shall conduct a Noise Study to determine if the current operations meet noise standards and identify any additional noise Mitigation Measures if necessary. A copy of the Noise Study shall be submitted to the Project Review Health Specialist within sixty days of notification from PRMD that a noise complaint has been received. The owner/operator shall implement any additional Mitigation Measures needed to meet noise standards.
- 13. The outdoor dining area shall close by 10:00 p.m.
- 14. Special events were not requested in this Use Permit and therefore are not authorized by this Use Permit.

Solid Waste:

- 15. All garbage and refuse on this site shall accumulate or be stored in non-absorbent, water-tight,

vector resistant, durable, easily cleanable, galvanized metal or heavy plastic containers with tight fitting lids. No refuse container shall be filled beyond the capacity to completely close the lid. Garbage and refuse on this site shall accumulate or be stored for no more than seven calendar days, and shall be properly disposed of at a County Transfer Station or County Landfill before the end of the seventh day. At least once per day, the operator of the establishment shall remove trash, litter, and debris generated from the restaurant use from the sidewalks adjoining the premises.

Smoking:

16. Smoking is prohibited at any public event, in any dining area, service area (including entry lines or ticket purchase lines) and in any enclosed area that is a place of employment (Sonoma County Code 32-6). "No Smoking" signs shall be conspicuously posted at the point of entry into the outdoor dining area where smoking is prohibited by Chapter 32 of the Sonoma County Code. The California Health and Safety Code (section 113978) also requires the posting of "No Smoking" signs in all food preparation areas, all retail food storage areas, and all food utensil washing areas. Note that Health and Safety Code section 113781 definition of food includes any beverage intended for human consumption.

**TRANSPORTATION AND PUBLIC WORKS:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

17. The existing public parking area located adjacent to the plaza and on First Street does not conform to current accessibility standards because of the asphalt ramp leading from the accessible parking space to the sidewalk. The project applicant shall modify this area to conform to current accessibility standards subject to review and approval of the Department of Transportation and Public Works. The Developer shall obtain an Encroachment Permit from the Permit and Resource Management Department prior to constructing any improvements within County Road right-of-way.

The accessible parking space shall be relocated to avoid the existing street light and any other existing obstructions located within the Right of Way and plaza. Refer to Caltrans Standard Plan A88A and A88B, and Sonoma County Department of Transportation and Public Works Construction Standards 224A and 224B for details. The existing asphalt ramp shall be removed to reclaim a parking space. Depending on where the new ramp is located, re-striping of the other four adjacent parking spaces may be required. A slurry seal is required to mask old striping.

**SONOMA COUNTY TRANSIT:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

18. Concrete surfaces and bricks/pavers within the outdoor dining area and in public areas shall match the texture and color of existing consistent with Exhibit A and subject to final review and approval by Sonoma County Transit prior to installation. The existing concrete table and chairs located adjacent to the raised planter to be removed shall be removed and replaced with bricks/pavers to match existing.
19. All fastening methods for attaching outdoor dining fencing, posts, stationary furniture and any other appurtenant installations for the outdoor dining area are subject to the review and approval by Sonoma County Transit prior to issuance of the building permit.
20. A minimum of two signs shall be installed on the exterior of the outdoor dining area fenced area explaining that the path of travel around the outdoor dining area cannot be blocked at any time. Sign dimensions, design, and text are subject to review and approval by Sonoma County Transit prior to installation and receiving Final Occupancy on the project building permit. Once the project is constructed, Transit shall determine if it is necessary to paint a line on the concrete/brick/paver

surface to delineate a protected path of travel around the outdoor seating area.

**FIRE AND EMERGENCY SERVICES:**

“The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

21. The subject development is subject to the Sonoma County Fire Safe Standards and shall be reviewed and approved by the County Fire Marshal/Local Fire Protection District. Prior to occupancy, written approval indicating that the required improvements have been installed correctly shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.

**PLANNING:**

“The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

22. This Use Permit allows the applicant to develop a fenced 400 square foot outdoor dining area containing a maximum of 32 seats adjacent to an existing restaurant within the Guerneville Plaza (designated as a County right-of-way). Permitted hours of operation are 7:00 a.m. to 10 p.m., seven days per week. The use shall be constructed and operated in accordance with the applicant’s proposal statement and site plan located in File No. UPE13-0060 as modified by these conditions.
23. This Use Permit (UPE13-0060) shall supersede all prior Use Permits, upon implementation or when all the pre-operational conditions have been met and this Use Permit is vested.
24. The property owner shall enter into a revocable license agreement with the County of Sonoma Facilities Development & Management Department prior to Building Permit and Encroachment Permit issuance. All terms of the License Agreement are incorporated into this Use Permit approval and if there are any conflicts with these conditions of approval, the most restrictive shall apply. This Use Permit expires when the License Agreement is terminated.
25. The applicant/owner shall maintain the outdoor dining facility in good condition at all times. There shall be no planters or landscape features hung outside of the outdoor dining area fenced area.
26. Customer and Site Visitor Management. The operator of the establishment shall take all reasonable steps, including contacting law enforcement in a timely manner, to prevent customers or other persons from engaging in objectionable activities on the premises, parking areas under the control of the operator, and other public or quasi-public areas within site of the premises during business hours.
27. The operator of the establishment shall remove all graffiti from the premises within 72 hours of its application.
28. This use shall be constructed, maintained, and operated in conformance with all applicable County, state, and federal statutes, ordinances, rules, and regulations. A violation of any applicable statute, ordinance, rule or regulation shall be a violation of the Use Permit, subject to revocation.
29. At the time of submitting a building permit application, the applicant shall submit to PRMD a Condition Compliance Review fee deposit (amount to be determined consistent with the ordinance in effect at the time). In addition, the applicant shall be responsible for payment of any additional compliance review fees that exceed the initial deposit (based upon hours of staff time worked) prior to final inspection being granted.
30. The applicant shall include these Conditions of Approval on separate sheets of plan sets to be submitted for building and grading permit applications.

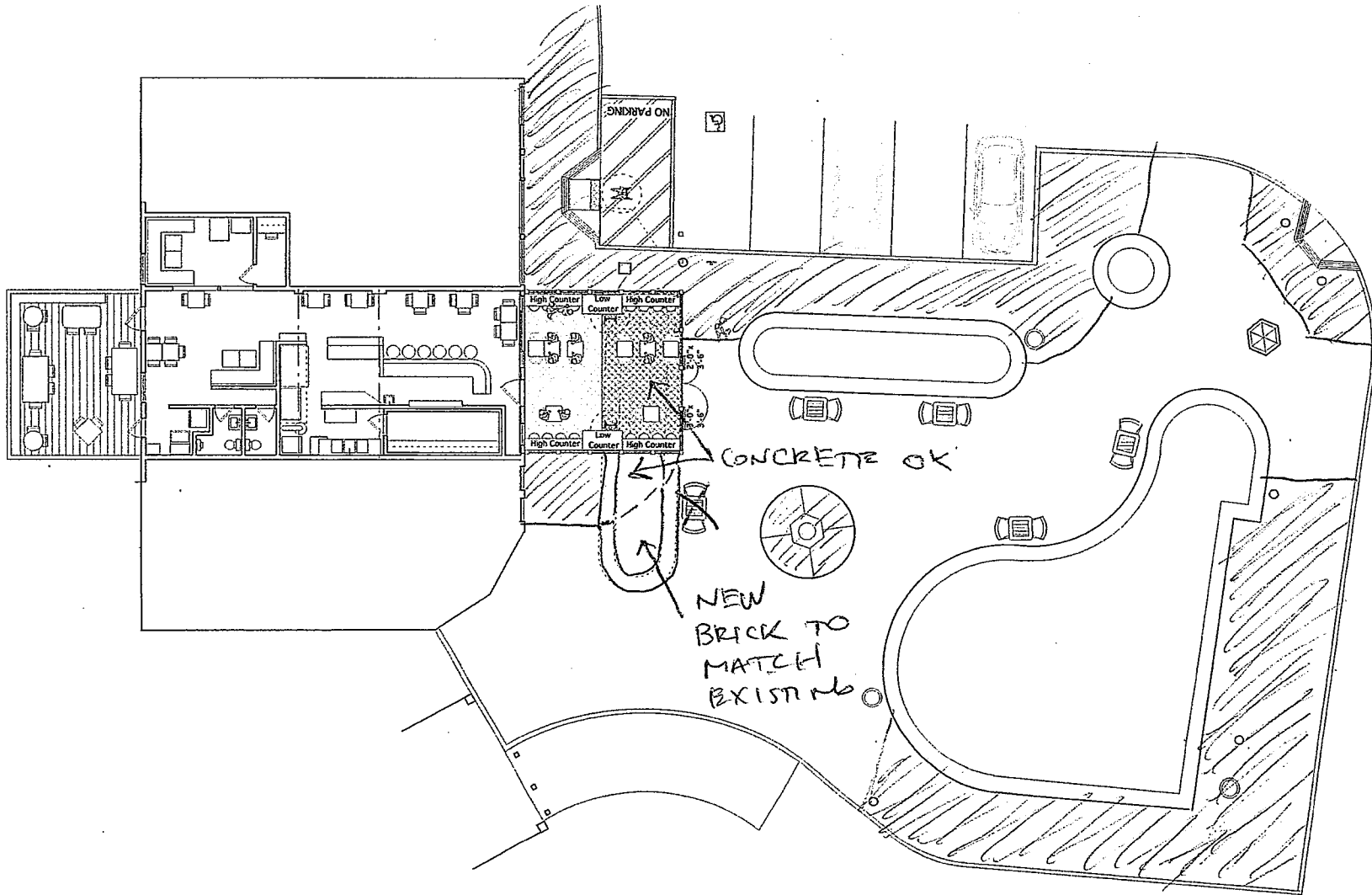
31. Any proposed modification, alteration, and/or expansion of the use authorized by this Use Permit shall require the prior review and approval of PRMD or the Board of Zoning Adjustments, as appropriate. Such changes may require a new or modified Use Permit and additional environmental review.
32. The Director of PRMD is hereby authorized to modify these conditions for minor adjustments to respond to unforeseen field constraints provided that the goals of these conditions can be safely achieved in some other manner. The applicant must submit a written request to PRMD demonstrating that the conditions is infeasible due to specific constraints (e.g. lack of property rights) and shall include a proposed alternative measure or option to meet the goal or purpose of the condition. PRMD shall consult with affected departments and agencies and may require an application for modification of the approved permit. Changes to conditions that may be authorized by PRMD are limited to those items that are not adopted standards or were not adopted as mitigation measures or that were not at issue during the public hearing process. Any modification of the permit conditions shall be documented with an approval letter from PRMD, and shall not affect the original permit approval date or the term for expiration of the permit.


The owner/operator and all successors in interest, shall comply with all applicable provisions of the Sonoma County Code and all other applicable local, state and federal regulations.

33. This permit shall be subject to revocation or modification by the Board of Zoning Adjustments if:  
(a) the Board finds that there has been noncompliance with any of the conditions or (b) the Board finds that the use for which this permit is hereby granted constitutes a nuisance. Any such revocation shall be preceded by a public hearing noticed and heard pursuant to Section 26-92-120 and 26-92-140 of the Sonoma County Code.

In any case where a Use Permit has not been used within two (2) years after the date of the granting thereof, or for such additional period as may be specified in the permit, such permit shall become automatically void and of no further effect, provided however, that upon written request by the applicant prior to the expiration of the two year period the permit approval may be extended for not more than one (1) year by the authority which granted the original permit pursuant to Section 26-92-130 of the Sonoma County Code.

# Exhibit A - UPE13 - 0060



 = EXISTING CONCRETE.



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 18**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors of Sonoma County

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Department of Health Services

**Staff Name and Phone Number:**

Rita Scardaci, x7876; Alfredo Perez, x6627

**Supervisorial District(s):**

Countywide

**Title:** First 5 Sonoma County Triple P Agreements

### **Recommended Actions:**

Authorize the Director of Health Services to execute the fourth amendment to an agreement with Triple P America to expand Triple P - Positive Parenting Program trainings to providers of services for families of teens, increasing the agreement by \$159,528, resulting in a new not to exceed amount of \$2,001,452, with a term ending June 30, 2015.

Authorize the Director of Health Services to execute the first amended and restated Memorandum of Understanding with the Sonoma County Office of Education to deliver Triple P - Positive Parenting Program training and parenting materials to the Sonoma County Office of Education, increasing the agreement revenue amount by \$5,639, resulting in a new not to exceed revenue amount of \$57,346, with a term ending June 30, 2014.

### **Executive Summary:**

This item requests approval of 1) the fourth amendment to an agreement with Triple P America to expand Triple P - Positive Parenting Program trainings to providers of services for families of teens, increasing the agreement by \$159,528, resulting in a new not to exceed amount of \$2,001,452, with a term ending June 30, 2015 and 2) the first amended and restated Memorandum of Understanding with the Sonoma County Office of Education to deliver Triple P - Positive Parenting Program training and parenting materials to teachers identified by the Sonoma County Office of Education, increasing the agreement revenue amount by \$5,639, resulting in a new not to exceed revenue amount of \$57,346, with a term ending June 30, 2014.

Triple P - Positive Parenting Program is an evidence-based practice which prevents behavioral, emotional, and developmental problems in children and is proven to reduce child abuse and out-of-home placement by enhancing the knowledge, skills, and confidence of parents. Since First 5 Sonoma County began training local providers in Triple P in April 2010, more than 500 local providers have been trained to help parents learn more positive, effective parenting skills.

Both amendments represent partnerships with local entities that will result in the expansion of Triple P

services to families beyond the First 5 Commission's mandated scope.

Agreement with Triple P America

The Health Policy, Planning and Evaluation Division (HPPE) of the Department of Health Services recognizes the value of Triple P in our community and the need for trainings for providers of services to families of teenagers and has identified funding for this purpose. HPPE desires to partner with First 5 in this effort. By working together, First 5 and HPPE can expand on the very successful implementation of Triple P to serve a broader range of families.

This amendment to the Triple P America agreement will fund training for up to 80 providers of the Triple P program, resulting in the delivery of Triple P services to an estimated 5,500 families of teens in Sonoma County per year.

Triple P was selected through a collaborative process with Behavioral Health, Child Welfare Services, and community partners as the most effective parenting education strategy to deliver to parents struggling to cope with their children's behavior. The Purchasing Agent reviewed the First 5 Sonoma County Commission selection criteria and through their own investigation agreed that Triple P America was the sole provider of Triple P training and materials in the United States, and as a result supported a single source contract.

Memorandum of Understanding with Sonoma County Office of Education

In October 2012 the Board approved a Memorandum of Understanding (MOU) with the Sonoma County Office of Education (SCOE), providing for First 5 to deliver Positive Parenting Program training and parenting materials through June 2014, with First 5 receiving revenue in the amount of \$51,707. Through this MOU, First 5 provides Triple P training and certification in Triple P Level 3 to elementary teachers and counselors identified by SCOE, and ongoing implementation support, following accreditation of trainees. First 5 also provides Triple P parent education materials necessary to deliver Triple P services in compliance with the evidence-based model such as Tip Sheets, Booklets, DVDs, and other materials, in English and Spanish.

The Department desires to amend the MOU with SCOE to increase the agreement revenue amount by \$5,639, to deliver Triple P training and materials to three additional teachers and/or counselors identified by SCOE, resulting in a new not to exceed revenue amount of \$57,346.

The First 5 Sonoma County Commission (Commission) is an agency of the County of Sonoma. By law, the Commission has independent authority over its strategic plan and local trust fund. As directed by the Board of Supervisors in the Commission's enabling ordinance, the Commission follows established County administrative procedures for processing its contracts through its administrative agent, the Department of Health Services.

**Prior Board Actions:**

In November 2009 the Board approved an agreement with Triple P America to implement Triple P - Positive Parenting Program for the period November 30, 2009 through June 30, 2013 in an amount not to exceed \$545,000. In May 2011 the Board approved Amendment 1 to the Triple P America agreement, increasing the contract by \$1,176,542 and extending the term through June 30, 2015. In February 2012 the Board approved Amendment 2 to the Triple P America agreement, increasing the contract by \$68,675. In June 2013 the Board approved Amendment 3 to the Triple P America agreement, increasing the contract by \$51,707.



In October 2012 the Board approved a Memorandum of Understanding with Sonoma County Office of Education to deliver Positive Parenting Program training and parenting materials for the period October 1, 2012 to June 30, 2014, receiving revenue in the amount of \$51,707.

**Strategic Plan Alignment**      Goal 1: Safe, Healthy, and Caring Community

Supporting the Triple P - Positive Parenting Program helps to provide Sonoma County families with needed resources to prevent behavioral, emotional, and developmental problems in children and to reduce child abuse and out-of-home placement by enhancing the knowledge, skills, and confidence of parents.

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$ 105,000	County General Fund	\$ 0
Add Appropriations Req'd.	\$ 0	State/Federal	\$ 105,000
	\$	Fees/Other	\$ 0
	\$	Use of Fund Balance	\$ 0
	\$	Contingencies	\$ 0
	\$		\$
<b>Total Expenditure</b>	<b>\$ 105,000</b>	<b>Total Sources</b>	<b>\$ 105,000</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

The FY 13-14 budget includes \$105,000 for this agreement. The remaining \$54,528 will be included in the FY 14-15 budget. Source of funding is federal Substance Abuse Prevention and Treatment (SAPT) Block Grant.

**Staffing Impacts**

Position Title (Payroll Classification)	Monthly Salary Range (A – I Step)	Additions (Number)	Deletions (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

N/A

**Attachments:**

Amendment to agreement with Triple P America, first amended and restated Memorandum of Understanding with the Sonoma County Office of Education

**Related Items "On File" with the Clerk of the Board:**

None

**MODIFICATION NUMBER FOUR OF AGREEMENT FOR SERVICES  
BETWEEN COUNTY OF SONOMA AND  
TRIPLE P AMERICA**

Whereas, on November 30, 2009 the County of Sonoma, a political subdivision of the State of California (hereinafter "County"), and Triple P America (a corporation) (hereinafter "Contractor") entered into a service agreement (Agreement) pursuant to which the Contractor agreed to provide certain services to the County on behalf of its First 5 Sonoma County Commission ("First 5"), for the implementation of the Triple P - Positive Parenting Program in accordance with the program goals and objectives outlined in the First 5 Sonoma County Commission Strategic Plan; and

Whereas, the Health Policy, Planning and Evaluation Division ("HPPE") of the Department of Health Services desires to contract with Contractor to provide services on behalf of HPPE that are similar in kind to those which are currently provided pursuant to the County's contract on behalf of First 5; and

Whereas, for ease of administration and the mutual benefit of both parties, Contractor and County desire to amend the November 9, 2009 contract to include additional services provided by Contractor and funded via HPPE.

Now therefore, in consideration of the forgoing, and pursuant to Section 13.7 (Merger) of the Agreement, the parties hereby evidence their intent and desire to modify the Agreement as follows:

1. The attached Exhibit A.4 - Scope of Work - Teen Triple P Training and Exhibit B.5 - Budget - Teen Triple P Training are hereby added to the terms and conditions of this Agreement.
2. Exhibit B.3 is hereby deleted in its entirety and replaced with the attached Exhibit B.4 - Budget - Triple P Training and Stay Positive Websites, which is hereby added to the terms and conditions of this Agreement.
3. Article 1 – Scope of Services is hereby revised to read as follows:

1. Scope of Services

- 1.1 Contractor's Specified Services

- Contractor shall perform the services described in "Exhibit A.1 – Scope of Work," attached hereto and incorporated herein by this reference (hereinafter Exhibit A.1), within the times or by the dates provided for in Exhibit A.1 and pursuant to Article 7 (Prosecution of Work).

- Contractor and First 5 Sonoma County shall perform the services described in "Exhibit A.2 - Stay Positive Scope of Work," which includes the Letter of Offer and Acceptance, Attachment A, and TPA General Conditions, attached hereto and incorporated herein by this reference (hereinafter Exhibit A.2), within the times or by the dates provided for in Exhibit A.2 and pursuant to Article 7 (Prosecution of Work). Triple P will provide an additional sixty (60) hours of clinical consultation in FY 11-12.

- Contractor shall perform the services described in "Exhibit A.3 - Letter of Agreement - Amended Scope of Work adding one Level 3 Training, Preaccreditation and Materials for

Sonoma County Office of Education” attached hereto and incorporated herein by this reference (hereinafter Exhibit A.3), within the times or by the dates provided for in Exhibit A.3 and pursuant to Article 7 (Prosecution of Work).

Contractor shall perform the services described in “Exhibit A.4 - Scope of Work - Teen Triple P Training” attached hereto and incorporated herein by this reference (hereinafter Exhibit A.4), on behalf of HPPE within the times or by the dates provided for in Exhibit A.4 and pursuant to Article 7 (Prosecution of Work).

In the event of a conflict between the body of this Agreement and Exhibit A.1, Exhibit A.2, Exhibit A.3, or Exhibit A.4, the provisions in the body of this Agreement shall control.

#### 1.2 Cooperation with County

Contractor shall cooperate with County and County staff in the performance of all work hereunder.

#### 1.3 Performance Standard

Contractor shall perform all work hereunder in a manner consistent with the level of competency and standard of care normally observed by a person practicing in Contractor’s profession. County has relied upon the professional ability and training of Contractor as a material inducement to enter into this Agreement. Contractor hereby agrees to provide all services under this Agreement in accordance with generally accepted professional practices and standards of care, as well as the requirements of applicable Federal, State, and local laws, it being understood that acceptance of Contractor’s work by County shall not operate as a waiver or release. If County determines that any of Contractor’s work is not in accordance with such level of competency and standard of care, County, in its sole discretion, shall have the right to do any or all of the following: (a) require Contractor to meet with County to review the quality of the work and resolve matters of concern; (b) require Contractor to repeat the work at no additional charge until it is satisfactory; (c) terminate this Agreement pursuant to the provisions of Article 4 (Termination); or (d) pursue any and all other remedies at law or in equity.

#### 1.4 Assigned Personnel

- a. Contractor shall assign only competent personnel to perform work hereunder. In the event that at any time County, in its sole discretion, desires the removal of any person or persons assigned by Contractor to perform work hereunder, Contractor shall remove such person or persons immediately upon receiving written notice from County.
- b. Any and all persons identified in this Agreement or any exhibit hereto as the project manager, project team, or other professional performing work hereunder are deemed by County to be key personnel whose services were a material inducement to County to enter into this Agreement, and without whose services County would not have entered into this Agreement. Contractor shall not remove, replace, substitute, or otherwise change any key personnel without the prior written consent of County.

- c. In the event that any of Contractor's personnel assigned to perform services under this Agreement become unavailable due to resignation, sickness, or other factors outside of Contractor's control, Contractor shall be responsible for timely provision of adequately qualified replacements.

#### 1.5 Contract Exhibits

This Agreement includes the following exhibits, which are hereby incorporated by references as though fully set forth herein:

- Exhibit A.1 - Scope of Work
- Exhibit A.2 - Stay Positive Scope of Work
- Exhibit A.3 - Letter of Agreement - Amended Scope of Work adding one Level 3 Training, Preaccreditation and Materials for Sonoma County Office of Education
- Exhibit A.4 - Scope of Work - Teen Triple P Training
- Exhibit B.4 - Budget - Triple P Training and Stay Positive Websites
- Exhibit B.5 - Budget - Teen Triple P Training
- Exhibit C – Request for Change of Minimum Insurance Requirements

4. Article 2 – Payment is hereby revised to read as follows:

#### 2. Payment

For all services and incidental costs required hereunder, Contractor shall be paid in accordance with the following terms as outlined here and specified in Exhibit B.4 - Budget - Triple P Training and Stay Positive Websites (hereinafter Exhibit B.4) and Exhibit B.5 - Budget - Teen Triple P Training (hereinafter Exhibit B.5), provided, however, that total payments to Contractor shall not exceed two million, one thousand, four hundred fifty two dollars (\$2,001,452) without the prior written approval of County. Expenses not expressly authorized by the Agreement shall not be reimbursed.

All trainings and materials set forth in Exhibit A.4 performed by Contractor shall be invoiced separately from any and all work performed pursuant to any other portion of this Agreement. Each invoice for work performed under Exhibit A.4 shall be clearly identified as such. Unless otherwise noted in this agreement, payments shall be made within the normal course of County business after presentation of an invoice in a form approved by County for services performed. Payments shall be made only upon the satisfactory completion of the services as determined by County.

Pursuant to California Revenue and Taxation Code (R&TC) Section 18662, County shall withhold seven percent of the income paid to Contractor for services performed within the State of California under this agreement for payment and reporting to the California Franchise Tax Board if Contractor does not qualify as any of the following: (1) a corporation with its principal place of business in California, (2) an LLC or Partnership with a permanent place of business in California, (3) a corporation/LLC or Partnership qualified to do business in California by the Secretary of State, or (4) an individual with a permanent residence in the State of California.

If Contractor does not qualify, County requires that a completed and signed California Form 587 be provided by Contractor in order for payments to be made. If Contractor does qualify, then County requires a completed California Form 590. California Forms 587 and 590 remain valid for the duration of the Agreement provided there is no material

change in their facts. By signing either form, Contractor agrees to promptly notify County of any changes in the facts. Forms should be sent to County pursuant to Article 12 (Method and Place of Giving Notice, Submitting Bills, and Making Payments). To reduce the amount withheld, Contractor has the option to provide County with either a full or partial waiver from the State of California.

### 2.1 Overpayment

If County overpays Contractor for any reason, Contractor agrees to return the amount of such overpayment to County, or at County's option, permit County to offset the amount of such overpayment against future payments owed to Contractor under this Agreement or any other agreement.

### 2.2 Federal Funding

All or part of this Agreement will be paid with Federal awards. As a pass-through entity, County is required to provide certain information regarding Federal award(s) to Contractor as a subrecipient. In signing this Agreement, Contractor acknowledges receipt of the following information regarding Federal award(s) that will be used to pay this Agreement:

- a. CFDA Title: Block Grants for Prevention & Treatment of Substance Abuse
- b. CFDA Number: 93.959
- c. Award Name: SAPT Block Grant
- d. Federal Agency: Department of Health & Human Services Substance Abuse & Mental Health Services Administration
- e. Federal Award(s) Amount: \$159,528

As a subrecipient of Federal awards, Contractor is subject to the provisions of U.S. Office of Management and Budget Circular A-133, Audits of States, Local Governments, and Non-Profit Organizations (hereinafter "OMB Circular A-133"). In signing this Agreement, Contractor acknowledges that it understands and will comply with the provisions of OMB Circular A-133. One provision of OMB Circular A-133 requires a subrecipient that expends \$500,000 in Federal awards during its fiscal year to have an audit performed in accordance with OMB Circular A-133. If such an audit is required, Contractor agrees to provide County with a copy of the audit report within 9 months of Contractor's fiscal year-end. Questions regarding OMB Circular A-133 can be directed to the Sonoma County Auditor-Controller-Treasurer-Tax Collector's Office – General Accounting Division.

#### 2.2.1 Audits

Contractor agrees that all expenditures of State and Federal funds furnished to the Contractor pursuant to this Agreement are subject to audit by County, State agencies, and/or Federal agencies. Contractor warrants that it shall comply with the audit requirements as set forth in Office of Management and Budget (OMB) Circular A-133 entitled "Audits of States, Local Governments, and Non-Profit Organizations." County agrees to provide 14-day notice of intent of County to audit Contractor. Contractors subject to the Single Audit Act of 1984 and Single Audit Act Amendments of 1996 shall annually submit an independent audit conforming to OMB Circular A-133, which applies to non-profit organizations.

2.2.2 Copy of Audit

Contractor agrees that a copy of audits performed shall be submitted to County no later than 30 days after completion of the audit report, or no later than 9 months after the end of Contractor's fiscal year, whichever comes first. The Contractor's agreement(s) with audit firms shall have a clause to permit access by County, State agencies, and/or Federal agencies to the working papers of the external independent auditor.

2.2.3 Retention of Audit Report

Contractor agrees that audit reports and work papers shall be retained for a minimum of 7 years from the date of the audit report, unless the auditor is notified in writing by County, a State agency, and/or a Federal agency to extend the retention period.

2.2.4 Repayment

Contractor is responsible for the repayment of all audit exceptions and disallowances taken by County, State agencies, and/or Federal agencies related to services provided by Contractor under this Agreement. Where allowable costs have been claimed and reimbursed, they will be refunded to the program that reimbursed the unallowable cost either by cash refund or by offset to subsequent claims.

5. Section 4.7 Change in Funding is hereby revised to read as follows:

4.7 Change in Funding. Contractor understands and agrees that County shall have the right to terminate this Agreement immediately upon written notice to Contractor in the event any state and/or federal agency and/or other funder(s) reduce, withhold or terminate funding which the County anticipates using to pay Contractor for services provided under this Agreement or County has exhausted all funds legally available for payments due under this Agreement. Contractor further understands that pursuant to this Section, County may reduce the scope of the work to be performed by Contractor to eliminate from the Agreement any uncompleted work included in either Exhibit A.3 or Exhibit A.4, and may reduce the total contract amount by the portion of the total which was budgeted for such tasks in Exhibit B.4. By way of example, if County is unable to secure the funds intended for payment of the services to be provided to HPPE identified in Exhibit A.4, County may eliminate the work described in Exhibit A.4 from the scope of this Agreement and eliminate the related portion of the budget set forth in Exhibit B.4 without terminating the Agreement as to services to be provided to First 5.

6. Except as expressly amended herein, all terms and conditions of Agreement shall remain in full force and effect.

IN WITNESS WHEREOF, the parties have caused this Amendment to be duly executed by their authorized representatives this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

**CONTRACTOR:**

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Brad Thomas, President and COO  
Triple P America

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Dated

**COUNTY OF SONOMA:**

Certificate of Insurance on File with County:

\_\_\_\_\_  
Rita Scardaci, MPH, Director  
Department of Health Services

\_\_\_\_\_  
Dated

Approved as to Substance:

\_\_\_\_\_  
Division Director or Designee

\_\_\_\_\_  
Dated

Approved as to Form:

\_\_\_\_\_  
Sonoma County Counsel (If Applicable)

\_\_\_\_\_  
Dated

**Exhibit A.4 - Scope of Work – Teen Triple P Training**

Project Summary: One Primary Care Teen Triple P Level 3 training and one Standard Teen Triple P Level 4 training, with Pre-Accreditation for both sessions, one Selected Seminar Teen Triple P Level 2 training and one Standard Teen Extension Triple P Level 4 training, plus Triple P implementation materials for one year for the providers trained in these courses.

<b>Strategies / Activities</b>	<b>Timeline</b>	<b>Person(s) Responsible</b>	<b>Measurable Deliverables (i.e., Process Outputs)</b>	<b>Measurable Program Outcomes</b>
<i>We will employ the following key strategies to achieve our desired outcomes:</i>	<i>Strategies will occur on this schedule (months):</i>	<i>We will employ the following person(s) to be responsible for completion.</i>	<i>We expect the strategies to produce the following <b>measurable</b> deliverables or products:</i>	<i>We expect that once completed the strategies will achieve the following measurable changes/results in our target populations/service systems:</i>
1. Add one Level 3 Primary Care Teen Triple P training to the Triple P America contract at TPA’s (includes accreditation)	Delivered in FY 13-14	TPA contracted trainer	15-20 Sonoma County providers will be trained and certified in Triple P Teen Level 3	
2. Add one Level 3 Primary Care Teen Pre-Accreditation training to the Triple P America contract	Delivered in FY 13-14	TPA contracted trainer	15-20 Sonoma County providers will participate in the pre-accreditation training	
3. Add one Level 4 Standard Teen Extension Triple P training to the Triple P America contract (includes accreditation)	Delivered in FY 13-14	TPA contracted trainer	15-20 Sonoma County providers will be trained and certified in Triple P Teen Level 4	
4. Add one Level 4 Standard Teen Triple P training to the Triple P America contract at TPA’s (includes accreditation)	Delivered in FY 14-15	TPA contracted trainer	15-20 Sonoma County providers will be trained and certified	



<b>Strategies / Activities</b>	<b>Timeline</b>	<b>Person(s) Responsible</b>	<b>Measurable Deliverables (i.e., Process Outputs)</b>	<b>Measurable Program Outcomes</b>
<i>We will employ the following key strategies to achieve our desired outcomes:</i>	<i>Strategies will occur on this schedule (months):</i>	<i>We will employ the following person(s) to be responsible for completion.</i>	<i>We expect the strategies to produce the following <b>measurable</b> deliverables or products:</i>	<i>We expect that once completed the strategies will achieve the following measurable changes/results in our target populations/service systems:</i>
5. Add one Level 4 Standard Teen Pre-Accreditation training to the Triple P America contract	Delivered in FY 14-15	TPA contracted trainer	15-20 Sonoma County providers will participate in the pre-accreditation training	
6. Add one Level 3 Teen Triple P Discussion Group training to the Triple P America contract (includes accreditation)				
7. Add one year's worth of implementation resource materials for up to 80 trained providers to the Triple P America contract	Materials will be delivered for all trainings in FY 13-14	HPPE(?) will order and Triple P will deliver	Each trained provider will receive parent materials to deliver Level 3, Level 3 Discussion and/or Level 4 Triple P Teen	

**Exhibit B.4 – Budget - Triple P Training and Stay Positive Websites**

#	Description	FY 09-10 (\$)	FY 10-11 (\$)	FY 11-12 (\$)	FY 12-13 (\$)	FY 13-14 (\$)	FY 14-15 (\$)	Total (\$)
1	Advance payment of 25% of the original budget for FY 09-10-12-13	136,250						136,250
2	Advance payment of 25% of the additional budget for FY 10-11-14-15 (in two payments of 12.5%)			147,068	147,068			294,136
	<b>Subtotal of prepayments</b>	<b>136,250</b>		<b>147,068</b>	<b>147,068</b>			<b>430,386</b>
3	Trainings costs per year-70% of the total cost of each class delivered	58,100	104,965	198,492	164,713	118,572	108,385	753,227
4	Pre-accreditation days costs per year-70% of the total cost of each Pre-accreditation day delivered			27,619	23,370	15,317	13,524	79,830
5	Clinical consultation costs per year-70% of the total cost of each clinical consultation hour delivered		1,750	16,800	16,800	14,420	17,808	67,578
	<b>Subtotal of trainings and related services at 70%</b>	<b>58,100</b>	<b>106,715</b>	<b>242,911</b>	<b>204,883</b>	<b>148,309</b>	<b>139,717</b>	<b>900,635</b>
6	Implementation resources-i.e. tip sheets, workbooks, DVDs, etc.-will be paid at 75%. (The withholding of 5% of the total does not apply to this item.)			111,908	93,187	62,595	58,500	326,190
7	Final payment (5% reserved on all trainings, Preaccreditation days, and clinical consultation sessions).					40,464	23,867	64,331
	<b>Total of trainings, resources, and related services</b>	<b>194,350</b>	<b>106,715</b>	<b>501,887</b>	<b>445,138</b>	<b>251,368</b>	<b>222,084</b>	<b>1,721,542</b>
8	Additional clinical consultation costs for Level 4 providers trained before July 2011			12,000				12,000
9	Stay Positive Website expenses				-	27,500	27,500	55,000
10	Stay Positive Website anticipated price increase pending First 5 approval					825	850	1,675
11	Level 3 Individual Training Plus Preaccreditation for Sonoma County Office of Education (at 2012-13 prices). No prepay or 5% withheld.				26,895			26,895
12	Level 3 Individual materials for two years, including shipping, handling, and tax at 8.5%				12,406	12,406		24,812
	<b>Total Budget</b>	<b>194,350</b>	<b>106,715</b>	<b>513,887</b>	<b>484,439</b>	<b>292,099</b>	<b>250,434</b>	<b>1,841,924</b>

**Exhibit B.5 - Budget - Teen Triple P Training**

<b>Item</b>	<b>Description</b>	<b>FY 13-14 (\$)</b>	<b>FY 14-15 (\$)</b>	<b>Total (\$)</b>
1	Trainings	49,235	46,904	96,139
2	Pre-Accreditation Session	3,425	3,525	6,950
3	Implementation Resources (workbooks, tipsheets, DVDs, etc.) sufficient to supply trained clinicians for one year	52,340	4,099	56,439
	<b>Total Budget</b>	105,000	54,528	159,528

**Amended and Restated**  
**MEMORANDUM OF UNDERSTANDING**  
**Between**  
**Sonoma County Office of Education**  
**and**  
**First 5 Sonoma County, Department of Health Services**

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This AMENDED AND RESTATED Memorandum of Understanding (hereinafter "MOU"), dated as of \_\_\_\_\_, is by and between the Sonoma County Office of Education, (hereinafter "SCOE"), and the First 5 Sonoma County Commission, Department of Health Services (hereinafter "Commission"). This Amendment and Restated MOU supersedes the original Agreement dated October 1, 2012.

The purpose of this MOU is to establish the roles and responsibilities of the parties in the provision of Triple P training and services for families of children in Sonoma County.

The Commission will provide one Level 3 training of the Positive Parenting Program (hereinafter "Triple P"), including pre-accreditation, certification, evaluation, and two years of parenting materials (as estimated by Triple P) between October 1, 2012, and June 30, 2014. In addition, the Commission will train up to three candidates in Level 3 Triple P during 2013-14 (including pre-accreditation, certification, evaluation, and materials).

**I. SCOE's Roles and Responsibilities**

Appropriate staff from SCOE shall participate in all countywide Triple P provider activities, including:

1. Participate in all appropriate Triple P coordinator activities related to evaluation and monitoring of fidelity to the Triple P model.
2. Participate in California Institute for Mental Health (hereinafter "CIMH") monthly implementation support calls for administrators, as needed.
3. Participate in periodic support activities for providers trained in Triple P Level 3, such as peer support meetings or booster trainings.
4. Participate in activities to assure the effective delivery of the evidence-based Triple P model, including:
  - a. Training for required program monitoring activities via webcast and other communication modes.
  - b. Reporting data regarding children under six years of age from families receiving Triple P services to CIMH, including
    - i. Demographic data
    - ii. Other minimal information as needed for Triple P Level 3.
  - c. Implementing quality improvement efforts as necessary to assure Triple P is delivered with fidelity to the model.
5. Other activities agreed upon by the Commission, First 5 evaluators, and/or the countywide Triple P network of providers.

6. Participate in agreed upon activities to build the sustainability of SCOE's Triple P program, including maximizing reimbursements for Triple P services and materials.

## **II. Commission Roles and Responsibilities**

The Commission will provide:

1. Training and certification in one Triple P Level 3 session, as appropriate to trainee's duties.
2. Ongoing implementation support for at least one year, following accreditation of trainees.
3. Additional training and support to replace trained staff lost due to attrition, as needed through June 30, 2014.
4. Triple P materials necessary to deliver Triple P services with fidelity to the model, such as Tip Sheets, Booklets, DVDs, etc., in English and Spanish as budgeted in this agreement. The amount and type of materials shall be determined by SCOE and the First 5 Commission based on estimates developed by Triple P per provider trained by First 5.
5. Financial Activity Reports to SCOE twice annually on December 31, 2012, June 30, 2013, December 31, 2013 and June 30, 2014.

SCOE CONTACT: Mickey Porter  
5340 Skylane Blvd.  
Santa Rosa, CA 95401  
(707) 524-2813  
[mporter@scoe.org](mailto:mporter@scoe.org)

COMMISSION CONTACT:  
Carol Caldwell-Ewart  
490 Mendocino Ave.  
Suite 203  
Santa Rosa, CA 95401  
(707) 565-6626  
[cewart@sonoma-county.org](mailto:cewart@sonoma-county.org)

- ### **III. Terms of MOU.** Should the Commission fail to fulfill any of the roles and responsibilities set forth in the Roles and Responsibilities of this MOU, SCOE will be under no obligation to continue to provide funding or coordination of training activities to the Commission

Both parties understand and agree that either party may terminate this MOU immediately upon written notice to the other party. Upon termination of this MOU, Commission shall be entitled to receive payment for all services satisfactorily rendered and expenses incurred hereunder as of the date of termination.

The obligation to provide data as per SCOE Roles and Responsibilities shall survive termination of this MOU. Any staff member of SCOE that continues to provide the services he or she was trained to provide shall continue to maintain required data on the families of children from the prenatal stage through age five served with Triple P for at least one year following Triple P accreditation of the provider of the Triple P services, using the database supplied by First 5.

- IV. **Payment** SCOE will pay the Commission
- a. \$23,555 upon completion of one Triple P Level 3 Primary Care training **(completed)**
  - b. \$ 3,340 upon completion of Pre-accreditation **(completed)**
  - c. \$12,406 upon delivery of Triple P parenting materials following training **(completed)**
  - d. \$12,406 upon delivery of Triple P parenting materials for year two **(2013-14)**
  - e. Up to \$3,778 upon completion of Triple P Level 3 Primary Care training, Pre-accreditation, and Accreditation before June 30, 2014, by up to three SCOE candidates **(2013-14)**
  - f. Up to \$1,861 upon delivery of Triple P materials for the three additional candidates **(2013-14)**

Any balances remaining at the end of any given fiscal year shall automatically be carried forward to the subsequent fiscal year. Under no circumstances will SCOE be responsible for more than the \$57,346 agreed upon.

- V. **Term of MOU** The term of this MOU shall be from October 1, 2012 through June 30, 2014.
- VI. **Confidentiality.** Both parties agree to maintain the confidentiality of all patient medical records and client information in accordance with all applicable state and federal laws and regulations.
- VI. **Dispute Resolution.** If any conflicts or disputes arise between the two parties involved staff shall meet in a timely manner to resolve the conflict or dispute. It is acknowledged by both parties that the purpose of such meeting is to come to a resolution that is in the best interest of both parties.
- VII. **Indemnification.** Each party shall indemnify, defend, protect, hold harmless, and release the other, its officers, agents, and employees, from and against any and all claims, loss, proceedings, damages, causes of action, liability, costs, or expense (including attorneys' fees and witness costs) arising from or in connection with, or caused by any act, omission, or negligence of such indemnifying party. This indemnification obligation shall not be limited in any way by any limitation on the amount or type of damages or compensation payable to or for the indemnifying party under workers' compensation acts, disability benefit acts, or other employee benefit acts.
- VIII. **Merger.** This writing is intended both as the final expression of the MOU between the parties hereto with respect to the included terms and as a complete and exclusive statement of the terms of the MOU. No modification of this MOU shall be effective unless and until such modifications evidenced by a writing signed by both parties.

IN WITNESS WHEREOF, the parties hereto have executed this MOU as of \_\_\_\_\_  
(Effective Date).

Sonoma County Office of Education:

\_\_\_\_\_ Dated \_\_\_\_\_  
Mickey Porter, Asst. Superintendent, Educational Services

First 5 Sonoma County Commission:

\_\_\_\_\_ Dated \_\_\_\_\_  
Rita Scardaci, Director, Department of Health Services

Approved as to Substance:

  
\_\_\_\_\_ Dated 3/12/2014  
Division Director or Designee, Public Health Division

Approved as to form:

\_\_\_\_\_ Dated \_\_\_\_\_  
Sonoma County Counsel



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 19**  
(This Section for use by Clerk of the Board Only.)

**To:** Sonoma County Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Permit and Resource Management Department

**Staff Name and Phone Number:**

Keith Hanna 565-3628

**Supervisorial District(s):**

Fifth

**Title:** Graton Community Services District Agreement

### **Recommended Actions:**

Authorize the Chair to execute an agreement with the Graton Community Services District to provide Sanitation Development Review Services for the period April 6, 2014 through April 5, 2024.

### **Executive Summary:**

On April 7, 2009, Graton Community Services District (District) and the County of Sonoma (County) entered an Agreement for Sanitation Development Review Services in which the County agreed to provide specified Development Review Services to the District in exchange for compensation in accordance with terms set forth in the Agreement for a period of five years.

Since the County has the necessary resources and infrastructure to provide these services, the District wishes to enter into a new Agreement with the County retroactively effective upon expiration of the previous Agreement. Accordingly, the parties have negotiated the attached Agreement to be effective on April 6, 2014 for a period of ten years. The County Permit Resource and Management Department (PRMD) would continue to provide operation and administrative assistance to the District which will include plan review, permit issuance, inspection of sanitary side sewers from building cleanout to the sewer main, routing of District Wastewater Discharge Surveys to the District, and referrals to the District for Outside Service Area Agreements and Annexations into the District. Exhibit "A" of the Scope of Services in the new Agreement describes said services in further detail.

As compensation for services performed, the County would retain certain fees paid by applicants as outlined in the Agreement. These retained fees would cover the cost of PRMD staff work under the Agreement. Other fees as outlined in the Agreement would be remitted by the County to the District and deposited directly into one of two accounts set up at the County Auditor-Controller's office.

The interests of both the County and the District would be served by this Agreement, which will provide for the efficient and orderly processing of development review activities.



<b>Prior Board Actions:</b>			
04/07/2009: Board executed an agreement with the Graton Community Services District for Sanitation Development Review Services.			
<b>Strategic Plan Alignment</b> Goal 1: Safe, Healthy, and Caring Community			
The agreement represents cooperation between the two entities to provide safe sanitation systems to the residents of Graton in the most efficient manner available.			
<b>Fiscal Summary - FY 13-14</b>			
<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>
<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
Each fiscal year the Board of Supervisors approves the fee schedule based on information provided by the department. Under Ordinance Nos. 5890, 5931, 5979 and 6030 the current fee schedule was adopted which covers the cost of staff time and resources used by the County. Fees for plan review, permit issuance, and inspections of sanitary side sewers will be collected per the current schedule. Similar fees have been collected for these services for the last five years under the previous Agreement. Accordingly, there is no net fiscal impact to the County.			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
n/a			
<b>Attachments:</b>			
A. Original Agreement			

<b>Related Items "On File" with the Clerk of the Board:</b>
2 copies of original agreement Copy of Graton Resolution No. 140317A

**Agreement for Sanitation Development Review Services Between the County of Sonoma and the  
Graton Community Services District**

This agreement ("Agreement"), dated \_\_\_\_\_, 2014 ("Effective Date"), is by and between the County of Sonoma, a political subdivision of the State of California (hereinafter "County"), and Graton Community Services District (hereinafter "District").

**RECITALS**

WHEREAS, District participated in a reorganization that took effect beginning July 1, 2004 that transferred the duties associated with its sanitary sewer enterprise from the previous owner, Sonoma County Water Agency (SCWA), to the District. This transfer took place because District wished to own and operate the sanitation enterprise in order to control operational costs and thereby maintain or reduce sewer rates in the community of Graton. The sanitation enterprise includes administration, maintenance, and operation of the sanitation collection, treatment, and disposal system.

WHEREAS, District and SCWA entered into an agreement for operational and administrative assistance during transition following transfer of assets and liabilities of the sanitation enterprise (hereinafter "Transition Agreement"). The Transition Agreement reflected the fact that County had provided development review services to SCWA under a prior agreement between County and SCWA, and that County would continue to provide said services to District during the term of the Transition Agreement.

WHEREAS, County provided said services to District under the Transition Agreement beginning July 1, 2005. District set up accounting structures with County Auditor-Controller that allowed for collection and deposit of all sewer service charges and connection fees collected by County on behalf of District into Special District Funds accounts. These accounts are identified as follows: 768010 (District Operations, for deposit of any sewer service charges); and 768200 (District Construction, for deposit of any sewer connection fees). District also provided County with a copy of District's Resolution No. 007 that established a sewer fee ordinance for the Fiscal Year beginning July 1, 2005.

WHEREAS, District and County entered an Agreement for Sanitation Development Review Services, dated April 7, 2009, (hereinafter "Agreement") in which the County agreed to provide specified Development Review Services to the District in exchange for compensation in accordance with terms set forth in the Agreement. The Agreement has a five-year term.

WHEREAS, District wishes to obtain sanitation development review services from County beyond the term of the Agreement.

WHEREAS, County has the necessary resources and infrastructure to provide these services, including all labor, tools, and equipment to facilitate the performance of these services.

WHEREAS, the interests of both County and District are best served by this Agreement, for the orderly processing of development review activities.

NOW, THEREFORE, in consideration of the foregoing recitals and the mutual covenants contained herein, the parties hereto agree as follows:

## AGREEMENT

### 1. SCOPE OF SERVICES

County will provide services to District as described in Exhibit "A", attached hereto and incorporated herein by this reference (hereinafter "Scope of Work"), and within the times or by the dates provided for in Exhibit "A" and pursuant to Article 6. In the event of a conflict between the body of this Agreement and Exhibit "A", the provisions in the body of this Agreement shall control.

1.1 District will provide information and services to County as described in Exhibit A.

### 1.2 COOPERATION WITH COUNTY

District shall cooperate with County and County staff in the performance of all work hereunder. District shall coordinate services under this Agreement with County Permit and Resource Management Department, Engineering Division Manager. District contact shall be District General Manager. County shall have the full authority to act on behalf of District in performing the development review services described herein.

### 2. PAYMENT

As compensation for services performed under this Agreement, County shall retain certain fees paid by applicants, with other fees to be remitted by County to District. Fees to be retained by County include permit processing fees, plan check fees, record drawing fees, construction inspection fees, and map updates and recordation fees. Fees to be remitted to District include connection fees and sewer service charges, and penalties for non-compliance with District requirements. The fees and charges to be remitted to District will be deposited directly into two accounts (one for the fees and another for the charges) set up at the County Auditor-Controller Office.

### 3. TERM OF AGREEMENT

The term of this Agreement shall be ten (10) years from the effective date of this Agreement.

### 4. TERMINATION.

#### 4.1 TERMINATION WITHOUT CAUSE

Notwithstanding any other provision of this Agreement, at any time and without cause, either party may terminate this Agreement by giving ninety (90) days written notice to the other party.

#### 4.2 TERMINATION FOR CAUSE

Notwithstanding any other provision of this Agreement, should County or District fail to perform any of its obligations hereunder, within the time and in the manner herein provided, or otherwise violate any of the terms of this Agreement, the party alleging a violation shall provide notice to the other in writing of what actions or inactions they deem to be in violation of this Agreement. Within thirty (30) days of receipt of such notice, the Party receiving the notice shall respond to the notice in writing. If the Parties still dispute compliance with this Agreement, within an

additional thirty (30) days, the Parties will meet and confer in a good faith attempt to resolve their dispute. If the parties can not resolve their dispute, either party may terminate this Agreement by written notice no sooner than 120 days from the date of receipt of the initial notice of termination with statement of cause, unless the other party agrees to an earlier date of termination.

#### 4.3 PAYMENT UPON TERMINATION

Upon termination of this Agreement, County shall be entitled to receive or retain as full payment for all services satisfactorily rendered and expenses incurred hereunder, for which County has not been compensated, an amount determined by the rate of compensation current at the time of termination; provided, however, that if the Agreement is terminated for cause pursuant to Section 4.2, the party not in violation of this Agreement shall also receive or retain the amount of damage, if any, sustained by said party.

#### 4.4 AUTHORITY TO TERMINATE

The Board of Supervisors has the authority to terminate this Agreement on behalf of the County.

### 5. INDEMNIFICATION

District agrees to accept all responsibility for loss or damage to any person or entity, including but not limited to County, and to defend, indemnify, hold harmless, reimburse and release County, its officers, agents, and employees, from and against any and all actions, claims, damages, disabilities, liabilities and expense, including but not limited to attorneys' fees and the cost of litigation incurred in the defense of claims as to which this indemnity applies or incurred in an action by County to enforce the indemnity provisions herein, whether arising from a loss of any type that may be asserted by any person or entity, including District, arising out of or in connection with the performance of services provided hereunder, whether or not there is concurrent negligence on the part of County, but, to the extent required by law, excluding liability due to the sole or active negligence or due to the willful misconduct of County.

If there is a possible obligation to indemnify, District's duty to defend exists regardless of whether it is ultimately determined that there is not a duty to indemnify. County shall have the right to select its own legal counsel at the expense of District, subject to District's approval, which approval shall not be unreasonably withheld. This indemnification obligation is not limited in any way by any limitation on the amount or type of damages or compensation payable to or for District or its agents under workers' compensation acts, disability benefit acts, or other employee benefit acts.

Likewise, in the event that the loss or damage to any person or entity, is a result from the County's sole or active negligence, or willful misconduct, the County shall defend, indemnify, hold harmless, reimburse and release the District, its officers, agents, and employees, from and against any and all actions, claims, damages, disabilities, liabilities and expense, including but not limited to attorneys' fees and the cost of litigation incurred in the defense of claims as to which this particular indemnity applies or incurred in an action by District to enforce this indemnity provision herein. The District shall have the right to select its own legal counsel at the expense of County, subject to County's approval, which approval shall not be unreasonably withheld.

6. PROSECUTION OF WORK

The execution of this Agreement shall constitute County's authority to proceed immediately with the performance of this Agreement. Performance of the services hereunder shall be completed within the time required herein, provided, however, that if the performance is delayed by earthquake, flood, high water, or other Act of God or by strike, lockout, or similar labor disturbances, the time for County's performance of this Agreement shall be extended by a number of days equal to the number of days County has been delayed.

7. EXTRA OR CHANGED WORK

Extra or changed work or other changes to the Agreement may be authorized only by written amendment to this Agreement, signed by both parties. Minor changes, which do not increase the amount paid under the Agreement, and which do not significantly change the scope of work or significantly lengthen time schedules, may be executed by the Department Head in a form approved by County Counsel. The Board of Supervisors and District's Board must authorize all other extra or changed work. The parties expressly recognize that, pursuant to Sonoma County Code Section 1-11, County personnel are without authorization to order extra or changed work or waive Agreement requirements.

8. REPRESENTATIONS OF COUNTY AND DISTRICT

8.1 STANDARD OF CARE

County hereby agrees that all its work will be performed and that its operations shall be conducted in accordance with generally accepted and applicable professional practices and standards as well as the requirements of applicable federal, state and local laws.

8.2 RECORDS MAINTENANCE

District and County shall keep and maintain full and complete documentation and accounting records concerning all services performed listed in Scope of Services section herein and make such documents and records available for inspection at any reasonable time. County shall maintain such records in accordance with the current Records Retention Schedule as approved by the Board of Supervisors following completion of work. District shall maintain such records for a period of not less than four (4) years, and in accordance with the District's current Records Retention Schedule following completion of work hereunder.

8.3 NONDISCRIMINATION

District and County shall comply with all applicable federal, state, and local laws, rules, and regulations in regard to nondiscrimination in employment because of race, color, ancestry, national origin, religion, sex, marital status, age, medical condition, pregnancy, disability, sexual orientation or other prohibited basis, including without limitation, the County's Non-Discrimination Policy. All nondiscrimination rules or regulations required by law to be included in this Agreement are incorporated herein by this reference.

8.4 AIDS DISCRIMINATION

District and County agree to comply with the provisions of Chapter 19, Article II, of the Sonoma County Code prohibiting discrimination in housing, employment, and services because of AIDS or HIV infection during the term of this Agreement and any extensions of the term.

9. DEMAND FOR ASSURANCE

Each party to this Agreement undertakes the obligation that the other's expectation of receiving due performance will not be impaired. When reasonable grounds for insecurity arise with respect to the performance of either party, the other may in writing demand adequate assurance of due performance and until such assurance is received may, if commercially reasonable, suspend any performance for which the agreed return has not been received. "Commercially reasonable" includes not only the conduct of a party with respect to performance under this Agreement, but also conduct with respect to other agreements with parties to this Agreement or others. After receipt of a justified demand, failure to provide within a reasonable time, but not exceeding thirty (30) days, such assurance of due performance as is adequate under the circumstances of the particular case is a repudiation of this Agreement. Acceptance of any improper delivery, service, or payment does not prejudice the aggrieved party's right to demand adequate assurance of future performance. Nothing in this Article 9 limits County's right to terminate this Agreement pursuant to Article 4.

10. ASSIGNMENT AND DELEGATION

Neither party hereto shall assign, delegate, sublet, or transfer any interest in or duty under this Agreement without the prior written consent of the other, and no such transfer shall be of any force or effect whatsoever unless and until the other party shall have so consented.

11. METHOD AND PLACE OF GIVING NOTICE

All notices shall be made in writing and shall be given by personal delivery or by U.S. Mail or courier service. Notices shall be addressed as follows:

TO: COUNTY:           Sonoma County Permit and Resource Management Department  
                          Attn: Engineering Division Manager  
                          2550 Ventura Avenue  
                          Santa Rosa CA 95403  
                          Telephone: (707) 565-1900  
                          Fax: (707) 565-1103

TO: DISTRICT:       Graton Community Services District  
                          Attn: General Manager  
                          P O Box 534  
                          Graton CA 95403  
                          Telephone: (707) 823-1542  
                          Fax: (707) 823-3713

When a notice is given by a generally recognized overnight courier service, the notice shall be deemed received on the next business day. When a copy of a notice is sent by facsimile or email, the notice shall be deemed received upon transmission as long as (1) the original copy of the notice is promptly deposited in the U.S. mail and postmarked on the date of the facsimile or email, (2) the sender has a written confirmation of the facsimile transmission or email, and (3) the facsimile or email is transmitted before 5 p.m. (recipient's time). In all other instances, notices shall be effective upon receipt by the recipient. Changes may be made in the names and addresses of the person to whom notices are to be given by giving notice pursuant to this paragraph.

## 12. MISCELLANEOUS PROVISIONS

### 12.1 NO WAIVER OF BREACH

The waiver by County or District of any breach of any term or promise contained in this Agreement shall not be deemed to be a waiver of such term or provision or any subsequent breach of the same or any other term or promise contained in this Agreement.

### 12.2 CONSTRUCTION

To the fullest extent allowed by law, the provisions of this Agreement shall be construed and given effect in a manner that avoids any violation of statute, ordinance, regulation, or law. The parties covenant and agree that in the event that any provision of this Agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remainder of the provisions hereof shall remain in full force and effect and shall in no way be affected, impaired, or invalidated thereby. District and County acknowledge that they have each contributed to the making of this Agreement and that, in the event of a dispute over the interpretation of this Agreement, the language of the Agreement will not be construed against one party in favor of the other. District and County acknowledge that they have each had an adequate opportunity to consult with counsel in the negotiation and preparation of this Agreement.

### 12.3 CONSENT

Wherever in this Agreement the consent or approval of one party is required to an act of the other party, such consent or approval shall not be unreasonably withheld or delayed.

### 12.4 NO THIRD PARTY BENEFICIARIES

Nothing contained in this Agreement shall be construed to create and the parties do not intend to create any rights in third parties.

### 12.5 APPLICABLE LAW AND FORUM

This Agreement shall be construed and interpreted according to the substantive law of California, regardless of the law of conflicts to the contrary in any jurisdiction. Any action to enforce the terms of this Agreement or for the breach thereof shall be brought and tried in Santa Rosa or the forum nearest to the city of Santa Rosa, in the County of Sonoma.

### 12.6 CAPTIONS

The captions in this Agreement are solely for convenience of reference. They are not a part of this Agreement and shall have no effect on its construction or interpretation.

### 12.7 MERGER

This writing is intended both as the final expression of the Agreement between the parties hereto with respect to the included terms and as a complete and exclusive statement of the terms of the Agreement, pursuant to Code of Civil Procedure Section 1856. No modification of this Agreement shall be effective unless and until such modification is evidenced by a writing signed by both parties.



12.8 TIME OF THE ESSENCE

Time is and shall be of the essence of this Agreement and every provision hereof.

12.9 DIGITAL FORM OF DELIVERABLES

All project deliverables shall be provided to County in digital form per Exhibit "B" as well as paper originals, unless otherwise specified in Exhibit A.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the Effective Date.

District: Graton Community Services District

COUNTY: COUNTY OF SONOMA

By: Robert W. Rowson

By: \_\_\_\_\_

Title: General Manager, GCSD

Chair  
Board of Supervisors

Date: March 17, 2014

Date: \_\_\_\_\_

APPROVED AS TO FORM FOR DISTRICT:

APPROVED AS TO SUBSTANCE FOR COUNTY:

By: Jason Rosenberg  
Jason Rosenberg  
Counsel for the Graton Community Services District

By: Tennis Wick  
Tennis Wick  
Director, Permit and Resource Management Department

Date: \_\_\_\_\_

Date: \_\_\_\_\_

APPROVED AS TO FORM FOR COUNTY:

By: Jeffrey M. Brax  
Jeffrey M. Brax  
Deputy County Counsel

Date: March 20, 2014

ATTEST:

\_\_\_\_\_  
Michelle Arellano, Clerk of the Board of Supervisors

## SCOPE OF SERVICES

### Sanitation Development Review Services Between the County of Sonoma and the Graton Community Services District

#### Exhibit "A"

- A. County will provide the following Development Review Services to District:
1. Route to the District for its review planning referrals for projects that are required to submit a planning application pursuant to Sonoma County zoning code and that propose to utilize the District's sanitation facilities.
  2. Review sewer connection and improvement plans for conformance with all County requirements (plan check), in accordance with the Design and Construction Standards For Sanitation Facilities dated February 3, 2009, and all subsequent amendments and/or revisions thereto. Variances shall be granted by the District in writing.
  3. Approve sewer connection and improvement plans for side sewers, or portions thereof, from the main to the building cleanout that satisfy all requirements in this Agreement. Provide notification to the District of all side sewer connections and work.
  4. Distribute to and collect from commercial and/or industrial applicants their Waste Water Discharge Surveys (W.W.D.S.).
  5. Route W.W.D.S. and related plumbing design information to District for identification of improvements and practices to be required of commercial and/or industrial applicants.
  6. Review sewer permit applications for side sewers, or portions thereof, from the main to the structure for conformance with District codes and standards in accordance with the Design and Construction Standards For Sanitation Facilities dated February 3, 2009, and all subsequent amendments and/or revisions thereto.
  7. Prior to sewer permit issuance, forward to the District sewer permit applications that fall within areas of the District that have identified capacity constraints. Capacity constraints are collection facilities that have exceeded 85% of their design capacity.
  8. Issue sewer permits to applicants who satisfy all requirements in this Agreement and where additional flows do not exceed collection system and/or treatment works capacities. Forward copies of issued permits to District.

9. Inspect construction of sanitation facilities associated with the issued sewer permits. Forward notices of completion to District.
10. Refer request to the District for District annexations and Outside Service Area Agreements.
11. Remit fees collected by County on behalf of District, except for those fees retained by County as compensation for the performance of services under this Agreement.

B. County will NOT provide the following services to District:

1. Sign, review, plan check, approve or inspect the work for public improvement plans including, but not limited to, sewer mains, infrastructure, and sewer treatment facilities in the public right of ways, public easements or District easements, that include proposed public sewer facilities.
2. Accept easements dedicated to District for sewer maintenance, operations, or construction of District facilities. Note that proof of easement recordation may be required of applicants prior to completing development services noted above. All inquiries of County staff will be referred to District.
3. Enforce District Code. The County will not act as code enforcement officers for incidents discovered to be in violation of District Codes. These incidents of violation will be referred to District staff.
4. Analyze capacity of collection system, treatment works or disposal system.

C. District will provide the following items in writing as paper originals and in an electronic medium acceptable to the County at the time of transfer:

1. Current and annual updates to District fee resolutions or ordinances and fee schedules. Updates will include a signed copy of the District Board of Directors' action setting the fees. If no such fee ordinance or resolution is provided to County by May 15, County will assume that the existing fee schedule will remain in effect for the following fiscal year. District represents and warrants that all fees to be collected by County hereunder have been lawfully imposed by District.
2. Current and annual updates to Master List. The Master List will contain all the parcels in the District, by number and address, noting the District service status. The list will also contain the parcel owners and their addresses and the flow units (Equivalent Single Dwellings, or ESDs) assigned to each parcel. The Master List shall be submitted within sixty (60) days from the date of this agreement and annually thereafter.

3. Map of District collection facilities. This map will include sewer mainline pipes (size, location, slope, materials), sewer connection facilities such as manholes, cleanouts, private mainline pipes (including size, location, slope, materials), sections of the sewage collection system that have exceeded 85% of the design capacity and any other information that the County deems relevant for providing development review services. Sewage collection system capacity calculations and supporting documentation shall be provided to the County upon request. The map of the District collection facilities shall be submitted within sixty (60) days from the date of this agreement and annually thereafter.
4. Current and updated District standards, codes, policies and procedures relevant to development review activities, and other documents that inform applicants of District regulations, standards, and guidelines. These documents will be provided annually and in a form that is reproducible for public use. In the event this information is available electronically, updates can be provided in electronic file format (see Article 12.9 of contract).

District is aware that there exists a potential gap in time between the date the District approves or adopts changes in its policies, procedures or standards and the time the changes can be implemented by County staff, even assuming that the District provides the County with such information immediately upon adoption. The County will be allowed six (6) weeks to implement a change after receiving written notice of the change. During this time gap, the District assumes any liability associated with the delay in implementing the change.

5. Forms. This includes 1) waste discharge survey forms (W.W.D.S.), 2) easement forms, 3) signature block for improvement plans, and 4) any other forms that County staff need to collect information and provide development services. Forms shall be submitted within sixty (60) days from the date of this agreement and within thirty (30) days of any form revision.
6. Changes to Coordinator. This update will include the contact information of District personnel and the General Manager, including name, address, email address, telephone number, and fax number. Changes to the coordinator shall be submitted within thirty (30) days of the change.
7. Referrals to relevant County departments upon receipt of requests or applications for OSAA's or annexation.
8. Conditions and/or comments related to planning referrals submitted to the District by the County. Comments and/or conditions shall be submitted within the time lines specified in the planning referral.
9. A report summarizing the District's remaining treatment works capacity as the number of ESDs remaining. The treatment works capacity balance report shall be submitted to PRMD on an annual basis.

D. County will provide the following items in writing annually or more frequently if revised significantly:

1. Changes to Coordinator. This update will include the contact information of the County personnel and Engineering Division manager, including name, address, email address, telephone number, and fax number.

## Exhibit B

### *Scope of Work for Digital Deliverables*

#### **A. Required Software for text deliverables to be edited, updated or otherwise modified by PRMD Staff.**

1. Word Processing files shall be created and provided to PRMD in Microsoft Word 2003 format. Word processing files shall be formatted to comply with Accessibility requirements and to readily convert to Adobe Acrobat (PDF) files. Tables in the document must be created in native word processing program not scanned, copied or otherwise embedded in the document.
2. Spreadsheet files shall be created in and provided to PRMD in Excel 2003 or .dbf format.
3. Photos or any other bitmap files shall be provided in JPEG (.jpg) format. High resolution photos must be reduced to less than one megabyte in size before insertion into a document. Scanned images must not be embedded in the document.
4. The preferred format for vector graphics are CorelDraw (.cdr) or Adobe Illustrator (.ai). Windows Metafile format (.wmf) will also be accepted. Vector graphics shall not be scanned and embedded into a document.
5. Database deliverables shall be in Microsoft Access 2003 format.

*Any questions regarding acceptable file types shall be resolved **prior** to submittal of the final document(s).*

#### **B. Required Software for geographic data to be edited, updated or otherwise modified by PRMD staff.**

*All GIS feature class datasets developed by a consultant and utilized in a project that has a GIS component **must include**:*

1. Development of Geographic data shall be created using Esri (Environmental Sciences Research Institute) software products. This includes ArcGIS 9.3 Desktop or later version.
2. Accepted GIS data formats are feature classes (shapefiles) or File Geodatabase (FGDB).
3. GIS Dataset Projections / Coordinate System **MUST** be in:
  - a. Lambert\_Conformal\_Conic
  - b. GCS\_North\_American\_1983
  - c. Datum: D\_North\_American\_1983
  - d. State Plane Coordinates California Zone II (Feet)

***Note:** Adobe Illustrator, Quark Express and/or other drawing programs **do not support** coordinate systems and therefore, do not constitute GIS format.*

4. Accepted related-supported databases shall be in Microsoft Access 2003 format.
5. GIS Feature Class datasets (shapefiles) or File Geodatabase (FGDB) deliverables **MUST** include metadata compliant with the FGDC Standard. *Examples of these requirements are available from PRMD upon request.*
6. GIS Dataset and Maps Disclaimers

*Draft products shall carry the following disclaimer:*

*“This work prepared utilizing the best data available at the time (with the date indicated in mm/dd/yyyy format) and is intended for internal use only.” \**[refer to Note below]**

*General map shall carry the following disclaimer:*

*“Map Scale and Reproduction methods limit precision in physical features displayed. This map is for illustrative purposes only, and is not suitable for parcel-specific decision making.”*

"No part of this map may be copied, reproduced, or transmitted in any form or by any means without written permission from the Permit & Resource Management Department (PRMD), County of Sonoma, California."

"Neither the County of Sonoma, and the Permit & Resource Management Department (PRMD) nor any of their employees make any warranty, express or implied, or assumes any legal liability for responsibility for accuracy, completeness, nor usefulness of any data contained herein."

*Note: Should parcel data be illustrated, include the follow to the general map disclaimer:*

\* "The parcels contained herein are not intended to represent surveyed data. Site-specific studies are required to draw parcel-specific conclusions. Assessor's parcel dataset current as of mm/dd/yyyy."

#### 7. GIS Dataset Source Citations

GIS dataset sources must be cited on map displays and in metadata. Source citations shall begin with words such as "From," "Modified from," "Adapted from," or "After." The full citation shall be placed directly beneath the reproduced graphical material, starting with its left-hand margin. Begin the citation with "Source," followed by a complete citation in a style similar to the example below:

*Source: Modified from data obtained with permission from the County of Sonoma, Permit & Resource Management Department (PRMD). Data and/or analysis depicted may be altered from the original PRMD dataset source therefore not representative of PRMD data.*

*Note: If source GIS datasets have been altered from its original state, the citation must alert the user as in the above example.*

### **C. Required Software for text deliverables that are not intended to be edited, updated or otherwise modified by PRMD staff.**

1. The Consultant must deliver a complete copy of the document in Adobe Acrobat format. This shall be the same document that will be used to publish the hard copy document. Each section must start on its own right hand page.
2. Adobe Acrobat documents intended for posting on the Web must be formatted to be accessible to persons with disabilities. See Section E. of this Addendum, below, for requirements.
3. Tables in the document must be created in native word processing program not scanned, copied or otherwise embedded in the document.
4. Photos or any other bitmap files shall be provided in JPEG (.jpg) format. High resolution photos must be reduced to less than one megabyte in size before insertion into the document.
5. Images, tables, text and graphics shall not be scanned and embedded in the document.
6. Acrobat documents must pass the full accessibility check in Adobe Acrobat.

### **D. Guidelines for Consultants Creating Web-Ready and ADA Accessible Documents**

#### 1. General Guidelines

Documents created by consultants and other non-PRMD personnel that will be posted on the Internet must be accessible to persons with disabilities as defined by State of California Government Code 11135 and the Federal Rehabilitation Act (Section 508). Sonoma County makes extensive use of Adobe Acrobat as a platform from distributing content on the Internet. Acrobat PDF documents need to be prepared to work with assistive technologies before they can be posted to a website.

Making a PDF file accessible to a screen reader depends in large part on how the original document was created and the method used to create the PDF. If the document well structured when created, the task is

fairly simple and doesn't take much time. Adobe Acrobat Professional includes tools that will help with this task.

Check this link for helpful guides. <http://www.adobe.com/accessibility/products/acrobat/training.html>

### **Start with a Correctly Formatted Document**

Regardless of the program used, there are ways to format the document that will make adding accessibility features easier. Some of these techniques are good word processing practices for all documents.

### **Use Styles**

When you have headings and subheadings in a document, using the “styles” feature will make formatting those headings quicker, easier and more consistent. Also, if you want to change how the headings or subheadings look, you can change all of them at once. When converted to PDF from most programs, these headings automatically become bookmarks. Styles are located under the format menu in most programs. Consult the program’s “Help” menu for instruction.

### **Use Standard Fonts**

Standard fonts that are available on all systems should be used. Stick to the basics; numbers and letters. Bullets, special characters or “wing dings” must not be used. Use numbered lists instead of bullets or other characters. Underlined text gives the illusion of a web link and should be replaced with bold or a font size change instead. Do not use graphic fonts such as dots, dashes, asterisks. If special characters must be in the content of your document, you must use a Unicode font.

### **Avoid Recycled Text**

Text that is copied from the Internet or converted back forth among different programs can cause problems in making a document accessible. If you must paste text into a new document, use the Paste Special > Unformatted Text command. Never scan text and insert or copy it into a document. Options for using scanned text are covered later in this document.

### **Avoid the use of large images and scans**

High resolution photos increase file size and download time and are not necessary for most reports. Any scanned materials are images and as such are not accessible. Text or tables should be created in the native program, not scanned and inserted.

### **Format Tables Correctly**

Making tables accessible in a PDF file is challenging so it is best to create data tables using the table function in Word or other programs. Best results will be obtained by creating the table in the document rather than copy/paste from other sources. Simple tables will convert more easily than complex ones. The table title should be separate from the table as a text element.

## **2. Deliverables**

The Consultant must deliver a complete copy of the document in Acrobat format that passes the accessibility check in Acrobat. This should be the same document that will be used to publish the hard copy document. Each section must start on its own right hand page.

## **3. Creating the PDF File**

Use the PDF conversion menu item in the program to create the PDF. Refer to the help menu of the version of Adobe Acrobat you are using as menu options may be slightly different across versions. If the document has been structured properly many of these elements may already have been created during the conversion process.

### **Add Description**

Open the Acrobat file and go to File > Properties (Ctrl-D), click the Description tab and enter information into the following boxes;



Title: Add a description of the document in this field. For example; "Roblar Road Environmental Impact Report - Sonoma County 05-15-2008"

Author: Enter the name and phone number (including area code) of the PRMD contact. For example; Scott Pitts 707-565-8351

Subject: Copy/paste the information you placed in the Title to this field.

### **Add Language**

Language - On the Advanced tab in the Document Properties select "English" in the Language drop down box. Click OK.

### **Add accessibility tags**

Some programs, such as Microsoft Word, will create tags automatically if the PDF conversion settings are configured properly. If tags are not created in the conversion, use Advanced>Accessibility>Add Tags to Document menu option to tag the document.

### **TouchUp Reading Order**

The TouchUp Reading Order tool allows you to view the tags and review how a screen reader will interpret the page. This section is not intended to be an exhaustive exploration of the issues that may arise at this stage. See <http://www.adobe.com/accessibility/index.html> for more in depth information. Access the function by selecting Advanced >Accessibility > TouchUp Reading Order. Click on the tag to select the text that you don't want repeated on every page like logos, footer information and any other elements are repetitive. Clicking the "Background button while a tag is selected will cause the screen reader to skip the element. Review the order of the tagged elements. This is the order in which the page will be read. You can change the order by clicking the "Show Order Panel" on the TouchUp Reading order window. Elements can be moved in the Show Order Panel by clicking and dragging.

### **Graphic Elements**

Add alternate (alt) text for graphic elements. Choose the TouchUp Reading Order Tool and right click on the number of the figure. Then choose Edit Alternate Text. Enter a text description of the image and choose OK. Alt text should be meaningful as possible when being read by a screen reader. If the figure is too complex for explanation with alt text then add a contact for assistance, for example "Budget allocation chart, for accessibility assistance with this figure contact Scott Pitts (707) 565-7894."

### **Set Correct Version**

The version of the PDF must be compatible with most existing Acrobat versions. Use the Advanced>PDF Optimizer menu item and select Acrobat 5.0 from the "Make compatible with" dropdown.

### **Accessibility Full Check**

The PDF must pass the full accessibility check in Adobe Acrobat. To verify accessibility, follow Accessibility > Full Check > Start Checking. Should errors be present and/or persist, follow the Accessibility Report which provides a detailed listing of identified errors and suggested remedy per error.

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## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 20**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors of Sonoma County

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Probation

**Staff Name and Phone Number:**

Robert M. Ochs – (707) 565-2731

**Supervisorial District(s):**

Countywide

**Title:** Juvenile Probation Electronic Monitoring Services Agreement

### **Recommended Actions:**

Authorize the Chief Probation Officer to execute an agreement with BI Incorporated for electronic monitoring equipment and services and any amendments or extensions which do not significantly change the contract content for the period of April 15, 2014 through April 15, 2017.

### **Executive Summary:**

#### Introduction

Under Welfare and Institutions Code 628.1 and 636 (b), a minor may be released to home supervision if it is believed that detention is not necessary to protect the minor or public safety. The goal of implementing these services is to monitor youth prior to adjudication, to assist probation officers in caseload management and provide a less-costly alternative to detention. In addition to the benefit of reducing populations in detention facilities, this program also provides the Court and probation with community-based sanctions.

#### Background

In January 1989, the Sonoma County Probation Department implemented an electronic monitoring program for sentenced adult offenders to ease overcrowding at the jail. Subsequently, the Juvenile Court elected to use electronic monitoring on juvenile offenders released on home detention. A youth on electronic monitoring may wear a radio frequency device or a passive GPS device. The radio frequency device transmits a signal to a receiver. If the youth moves "out of range" (a predetermined distance from the phone), the system generates an alert that notifies the Department that the youth has left his/her home. The GPS device allows the department to track the youths' movements as they go to school, work and home. The department has had contractual relationships with four vendors in the ensuing 25 years. The most recent vendor, BI Incorporated, has the current contract, which expires on April 15, 2014. Currently, the Probation Department has an average of 30-60 juvenile offenders participating in the Juvenile Division's electronic monitoring programs.

On February 3, 2014, the Sonoma County Probation Department released a Request for Proposal soliciting proposals from vendors to provide a variety of monitoring services at varying levels of supervision. The goal of implementing these services is to monitor youth prior to adjudication, to assist probation officers in caseload management and provide a cost-effective alternative to detention. Proposals were evaluated based on the following criteria: applicant's agreement to terms and ability to begin work on time, experience and professional qualifications, pricing, technical equipment and services, corporate and system stability, support services proposed, and local preference points.

Of the three vendors that submitted proposals, BI Incorporated was selected as the preferred vendor. The review panel included a Deputy Probation Officer III and two supervising Juvenile Correctional Counselors. They felt that the BI proposal was stronger in the areas of experience, professional qualifications, equipment, system and support. They also were they only bidder eligible for local preference points.

BI Incorporated has over 35 years of experience in the electronic monitoring industry, and currently over 60,000 offenders are monitored nationwide using BI equipment. In addition to holding the current contract for electronic monitoring with the Juvenile Probation Division, BI is the current provider of services to the Sonoma County Superior Court's continuous alcohol monitoring program. Probation staff has been satisfied with the equipment, service and support that BI Incorporated has provided under the current contract and feel that they are the most qualified to provide electronic monitoring services during the next contract term.

#### Recommended Action

The types of equipment utilized most frequently by the Department through the current contract with BI, are the HomeGuard 200 and the HomeGuard 206, which are radio-frequency units that continuously verify the presence or absence of a client at a prescribed location. This service was offered to the Department at a daily rental rate of \$2.41 and \$4.99 respectively. The Department projects that overall, approximately \$61,961 will be utilized in FY 13-14 through the current contract with BI. In the future, the department intends to increase utilization of passive GPS and alcohol monitoring. Under this new agreement, these devices are provided by BI Incorporated for daily rental rate of \$3.95 and \$7.00 respectively. It is anticipated that the total cost of juvenile electronic monitoring will increase by approximately 2%. It should be noted that the increase is due to the change in equipment rather than an increase in daily rates. The rates provided by BI under this RFP represent a reduction to the current contract rates.

While the cost of GPS units are higher than the HomeGuard 200, they are less expensive than the HomeGuard 206 and will provide for more refined monitoring of youth on community detention which will enable officers to be more flexible in authorizing youth to participate in other programming and pro-social activities. Rather than simply alerting the Department when a youth has gone away from one prescribed location, GPS units allow officers to determine a route that a youth has followed from school to work to home and receive alerts when the youth has deviated from the route or spent more time than necessary in moving from one location to the next.

The proposed contract is for a term of three years with an option to extend the contract for three (3) one-year periods. The contract is based on a fee for service model; hence there is no maximum on the contract. Attachment 1 shows the daily fee for each type of service/equipment.

<b>Prior Board Actions:</b>			
4/15/2008 Executed contract with BI Incorporated; 8\4\2009 Amendment to add newer technology and related pricing			
<b>Strategic Plan Alignment</b> Goal 1: Safe, Healthy, and Caring Community			
The goal of implementing these services is to monitor youth prior to adjudication, to assist probation officers in caseload management and provide an alternative to detention. The desired result is more efficient and effective services and the reduction of recidivism.			
<b>Fiscal Summary - FY 13-14</b>			
<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$ 61,961	County General Fund	\$ 61,961
Add Appropriations Req'd.	\$ 0	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$ 61,961</b>	<b>Total Sources</b>	<b>\$ 61,961</b>
<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
The proposed contract is based on a fee for service model; hence there is no maximum on the contract. Attachment 1 shows the fee for each type of service/equipment. The Department has budgeted \$82,000 in the FY 14-15 budget for electronic monitoring.			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
None.			
<b>Attachments:</b>			
Pricing list.			
<b>Related Items "On File" with the Clerk of the Board:</b>			
BI Incorporated Electronic Monitoring Services Agreement			

**Attachment 1  
Pricing List**

<b>Equipment Type</b>	<b>Proposed daily rate</b>
HomeGuard 200	\$2.21
HomeGuard 206	\$4.00
SL2	\$7.15
TAD	\$7.00
TAD + RF	\$7.25
TAD + Cell HomeBase	\$7.00 + \$1.52
TAD + RF + Cell HomeBase	\$7.25 + \$1.52
ETOne Passive* GPS	\$3.85
ETOne Active* GPS	\$4.40



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 21**  
(This Section for use by Clerk of the Board Only.)

**To:** County of Sonoma Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Sheriff's Office and Probation Department

**Staff Name and Phone Number:**

Robert M. Ochs – (707) 565-2731

**Supervisorial District(s):**

Countywide

**Title:** AB 109 Realignment Transitional Housing Contract

### **Recommended Actions:**

Authorize the Chief Probation Officer, on behalf of the County, to execute a professional services agreement with Inter-Faith Shelter Network, for the initial term April 1, 2014 through June 30, 2015 in the amount of \$121,760, to provide dedicated transitional housing beds and services for homeless AB 109 offenders. Authorize the Chief Probation Officer to execute up to three one-year contract renewal options in an amount not-to-exceed \$98,280 annually, up to maximum contract value of \$409,459 over 51 months.

### **Executive Summary:**

The Probation Department requests Board approval to execute a professional services agreement with Inter-Faith Shelter Network (IFSN) to provide dedicated transitional housing beds and services for homeless AB 109 offenders realigned to the County's jurisdiction and being supervised in the community. Under this Agreement, IFSN will operate a zero-tolerance dedicated residential facility to provide the target offender population with an out-of-custody structured housing environment, including wrap-around supportive services, to assist with placement into permanent housing and transition back into the community. The Probation clients participating in the AB 109 Transitional Housing Program are those who would otherwise be living marginally in the community, with little or no support, and who would likely resort to criminal behaviors if not for the support of a transitional place of residence. The over-arching goal of the program is to reduce recidivism and enhance public safety by providing a secure, sober living environment for offenders, who would otherwise be homeless or residing in an environment that fosters negative criminal behaviors. The initial term of this agreement will be 15 months, with three one-year renewal options, for a maximum potential contract term of 51 months. All future fiscal year funding allocations would be subject to approval by the local Community Corrections Partnership (CCP) and the County of Sonoma Board of Supervisors.

## Background

The October 2011 Public Safety Realignment Act (Assembly Bill 109) shifted responsibility for managing select adult offenders in California from the State to each of the 58 counties. AB 109 applies to three major groups of offenders: (1) Post-Release Community Supervision (PRCS) offenders incarcerated in State prison for non-violent and non-serious offenses who will be supervised by county probation instead of state parole upon release; (2) individuals convicted for new non-violent, non-serious, or non-sex related offenses that will be sentenced pursuant to Penal Code section 1170(h) to local jail and/or mandatory supervision by Probation, instead of state prison; and (3) state parole and county probation violators that will serve their revocation terms in county jail instead of state prison. Sonoma County's Community Corrections Partnership (CCP) is responsible for developing the local Public Safety Realignment Implementation Plan. The CCP anticipated that a portion of AB 109 offenders would be homeless and arrive in the County without existing community connections or resources needed to secure stable housing. To address this need, the CCP committed a portion of realignment funding for transitional housing for these offenders.

The Probation department issued a Request for Proposals in February 2012 to solicit bids from local community transitional housing establishments interested in operating a dedicated transitional housing facility. IFSN submitted the only proposal in response to the solicitation. At that point in time, the budget for transitional housing was insufficient to fund the contemplated dedicated housing facility model; therefore, no contract was awarded. In an effort to cultivate cost-effective transitional housing options for the target population, Probation altered its program approach and contracted with local organizations to pay a daily utilization rate for existing bed space. Probation executed bed utilization contracts with two local organizations—IFSN and Shaniah Homes, Inc.—which together provide a combined housing capacity for up to six (6) homeless offenders on any given day. After observing and analyzing the needs of homeless AB 109 offenders, Probation determined that the transitional housing capacity should be expanded to accommodate up to 15 individuals per day in order to meet demand.

In January 2014, the CCP reactivated its Detention Alternatives and Programming subcommittee, and tasked it with evaluating existing and new programs that should be considered by the executive committee for AB 109 funding in FY 2014-15. The subcommittee collaborated with stakeholder County departments and local community organizations to analyze the current array of AB 109 programs and identify any unmet needs. As part of this process, the subcommittee solicited new program proposals from departments and community organizations. IFSN submitted a new proposal to provide dedicated transitional housing for an average daily population of ten (10) homeless AB 109 offenders, which would supplement Probation's existing bed utilization contracts. The effective daily bed rate proposed by IFSN would be \$25 per person (significantly lower than their 2012 proposal), which matches the daily rates in the existing bed utilization contracts. The subcommittee strongly supported IFSN's proposal for dedicated transitional housing facility, which fills a critical need at a reasonable cost.

The subcommittee forwarded IFSN's proposal to the executive committee for consideration in late February. In order for IFSN to secure the transitional housing facility needed for the program, it must contract with the County in early April, in advance of the CCP executive committee's final vote for FY 2014-15 funding. Because IFSN's proposal has garnered strong support within the CCP and it fills an identified need, Probation recommends executing a contract with IFSN in advance of the CCP's final vote, to allow IFSN to secure the facility needed for the program. IFSN has agreed to execute a contract with the understanding that continued funding beyond June 30, 2014 would be subject to approval by

the CCP and Board and not guaranteed.

**Contract Program/Scope Overview**

For each offender placed at the transitional housing residence, Probation will coordinate with IFSN to determine which wrap-around services should be provided to the offender, including: case management, individual therapy, counseling, skill-building, process group, employment preparation, and permanent housing search/placement assistance. IFSN will coordinate all wraparound services with each offenders’ supervising Probation Officer to ensure that individual needs are being properly addressed. Coordination between County and IFSN personnel will be critical to ensuring continuity of case management and programming services that each offender receives both in-custody and out-of-custody. The inter-agency coordination will help determine whether it is more appropriate for a given offender to participate in all of the IFSN’s wrap-around services and programming, or only a portion thereof. This approach will help ensure that each individual offender’s needs are being met, without duplication of programming and services from other sources (i.e., the County’s Day Reporting Center). IFSN will provide wrap-around services both at the offender’s residence, and at its centralized Counseling Center. IFSN’s full 90-day transitional housing program will incorporate the evidence-based structure and philosophy of Moral Reconciliation Therapy (MRT), and would entail the following level of participation from residents:

- Two (2) Moral Reconciliation Therapy meetings per week;
- One (1) house meeting per week;
- One (1) individual counseling session per week;
- One (1) group counseling session (process group) per week; and
- All employment training and preparation activities

All psycho-therapy and counseling services will be conducted by licensed therapists or interns under the supervision of a Clinical director. Individual counseling session topics will include anger management, relapse prevention, conflict resolution, life skills, and many other pertinent topics addressed within the structure of MRT. The MRT service component will also be structured to promote offender participation in substance-abuse support groups within the 90-day program period. As needed, IFSN may also provide linkage and referrals to off-site community and mainstream resources, such as: substance-abuse recovery resources, educational resources, general assistance, CalFresh, Food Stamps, County Medical Services Program (CMSP), Rent-Right and Rent-Up, Rapid Re-Housing, Transitional Employment Program, and Section 8 vouchers. Offenders who have completed the full 90-day program and have secured employment or income may qualify for housing placement in one of the IFSN’s companion programs not funded under the scope of the contemplated Agreement.

**Prior Board Actions:**

6/4/2013: Board approval of the Community Corrections Partnership’s FY 13-14 Realignment Plan.

**Strategic Plan Alignment**      Goal 1: Safe, Healthy, and Caring Community

A portion of AB 109 offenders supervised in the community by the Probation Department are homeless and lack community connections and resources to secure stable housing. Without a viable transitional housing option for these homeless offenders, the likelihood that they will recidivate is significantly increased. Providing these homeless offenders with access to stable transitional housing will help them



reintegrate into the community, which in turn will reduce recidivism and enhance public safety.

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$ 144,000	County General Fund	\$ 0
Add Appropriations Req'd.	\$ 0	State/Federal	\$ 144,000
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$ 144,000</b>	<b>Total Sources</b>	<b>\$ 144,000</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

The Community Corrections Partnership (CCP) recommended funding transitional housing as part of the County's FY 2013-14 Public Safety Realignment Plan, which the Board subsequently approved on June 4, 2013. The FY 13-14 adopted budget allocated \$144,000 for transitional housing contract costs, fully-funded by AB 109 State revenues. Due to under-utilization of the transitional housing budget in FY 13-14, actual expenditures have been lower than originally budgeted. The contract cost for the initial 15-month term of the contract is \$121,760, which includes an initial one-time startup cost of \$7,685, plus monthly recurring payments of \$7,605. The full cost impact of executing the subject Agreement with IFSN in early April 2014, and paying to operate the facility for the last three months of the fiscal year, can be fully absorbed in the current FY 13-14 program budget, without need for a budget adjustment. The annualized cost for this activity in FY 14-15 is estimated to be \$91,260. Accounting for annual price escalations up to 2.5% annually, the annual not-to-exceed cost will be \$93,542 in FY 15-16, \$95,880 in FY 16-17, and \$98,277 in FY 17-18. If all one-year renewal options are exercised, the total not-to-exceed contract budget would be \$409,459 over 51 months. All future fiscal year funding allocations for transitional housing contract costs must be approved by both the CCP Executive Committee and the Board of Supervisors.

**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
n/a	n/a	n/a	n/a

**Narrative Explanation of Staffing Impacts (If Required):**

Not applicable.

**Attachments:**

None.

<b>Related Items “On File” with the Clerk of the Board:</b>
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Dedicated Transitional Housing Professional Services Agreement
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## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 22**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Regional Parks

**Staff Name and Phone Number:**

Ken Tam 565-3348

**Supervisorial District(s):**

1st

**Title:** Consent to Recordation of Irrevocable Offer of Dedication of a Public Trail Easement – Sonoma Valley Trail

### **Recommended Actions:**

Adopt a Resolution consenting to recordation of irrevocable offer of dedication of a public trail easement over the Hamel Family Wines Property

### **Executive Summary:**

On September 27, 2012, the Sonoma County Board of Zoning Adjustments approved the development of a new winery on the Hamel Family Wines Property (APN: 056-012-008) located across the street from Madrone Road at 15401 Highway 12 in Sonoma. As a condition of approval, Hamel Family Wines would make an irrevocable offer of dedication of a public trail easement to the County for the purposes of developing the proposed Sonoma Valley Trail. The Trail is identified as a project in the adopted 2010 County Bicycle and Pedestrian Plan. In concept, the proposed Sonoma Valley Trail follows the Highway 12 corridor from the Sonoma Springs area to the Santa Rosa City limits. The Trail would provide pedestrians and bicyclists non-motorized access to public parks, local businesses such as restaurants and wineries, and other places of interest along the Highway 12 corridor.

The exact location of the public trail easement on the Hamel Family Wines property will be determined at a future date after further studies and evaluations are completed for the entire trail length. Regional Parks recently received a Caltrans Community Transportation Planning Grant to complete the Sonoma Valley Trail Feasibility Study by December 2015 which includes this area. The completed Feasibility Study will provide recommendations for trail alignments and alternatives. The Irrevocable Offer of Dedication allows the County to maintain its option to secure a trail easement over the Hamel Family Wines property at a later date. Regional Parks will return and request the Board to consider accepting the trail easement when the trail location has been identified.

Regional Parks staff has worked with County Counsel and Hamel Family Wines to create the Irrevocable Offer of Dedication and recommends the Board consent to the recordation of the Irrevocable Offer of

Dedication.			
<b>Prior Board Actions:</b>			
<p>August 24, 2010, by Resolution No. 10-0636 adopted the 2010 Sonoma County Bicycle and Pedestrian Plan which identifies the Sonoma Valley Trail as a project.</p> <p>September 27, 2012, by Resolution No. 12-017 the Board of Zoning Adjustments approved the Hamel Winery project</p>			
<b>Strategic Plan Alignment</b> Goal 3: Invest in the Future			
The proposed trail can provide a facility network that promotes mobility, health & safety, connectivity & convenience.			
<b>Fiscal Summary - FY 13-14</b>			
<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>
<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
Resolution, Map			

<b>Related Items "On File" with the Clerk of the Board:</b>
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Irrevocable Offer of Dedication
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County of Sonoma  
State of California

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Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

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4/5 Vote Required

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**Resolution Of The Board Of Supervisors Of The County Of Sonoma, State Of California,  
Consenting to the Recordation of an Irrevocable Offer of Dedication of a Public Trail  
Easement Over the Hamel Family Wines Property to the County of Sonoma and Making  
Certain Findings in Connection Therewith.**

**Whereas**, the Hamel Family Wines owns APN: 056-012-008 ("Property") located at 15401 Highway 12 in Sonoma; and

**Whereas**, pursuant to Government Code Section 7050, the Hamel Family Wines has made a written irrevocable offer of dedication of public trail easement over the Property to the County of Sonoma for the purposes of developing the proposed Sonoma Valley Trail; and

**Whereas**, the proposed Sonoma Valley Trail is identified as a project in the adopted 2010 County Bicycle and Pedestrian Plan; and

**Now, Therefore, Be It Resolved** that this Board of Supervisors hereby finds, determines, declares and orders as follows:

1. *The Irrevocable Offer of Dedication.* Hamel Family Wines has made a written irrevocable offer of dedication of a public trail easement over the Property to the County pursuant to Government Code 7050. Section 7050 allows this type of offer made to a county or city and so it is necessary for the County to consent to its recording.
2. *Consent.* Consent is hereby given to the recording of the Irrevocable Offer of Dedication.
3. *General Plan Conformity.* The requirements of Government Code 65402 are not applicable because this resolution does not authorize the acquisition of real property. A general plan conformity determination will be made at such time as this Board considers the acceptance of the irrevocable offer of dedication for a public trail easement.
4. *CEQA compliance.* Consent for the recording of an offer of dedication made pursuant to Government Code 7050 is not subject to the California Environmental Quality Act because the recording "will not result in a direct or reasonably foreseeable indirect physical change in the environment" and

the recording is not a project [CEQA Guidelines Section 15060(c) (2) and (3)].  
At such time as this Board considers the acceptance of the offer and has  
prepared a plan for its use by the public (See CEQA Guidelines Section 15316)  
it will comply with applicable requirements of the Act.

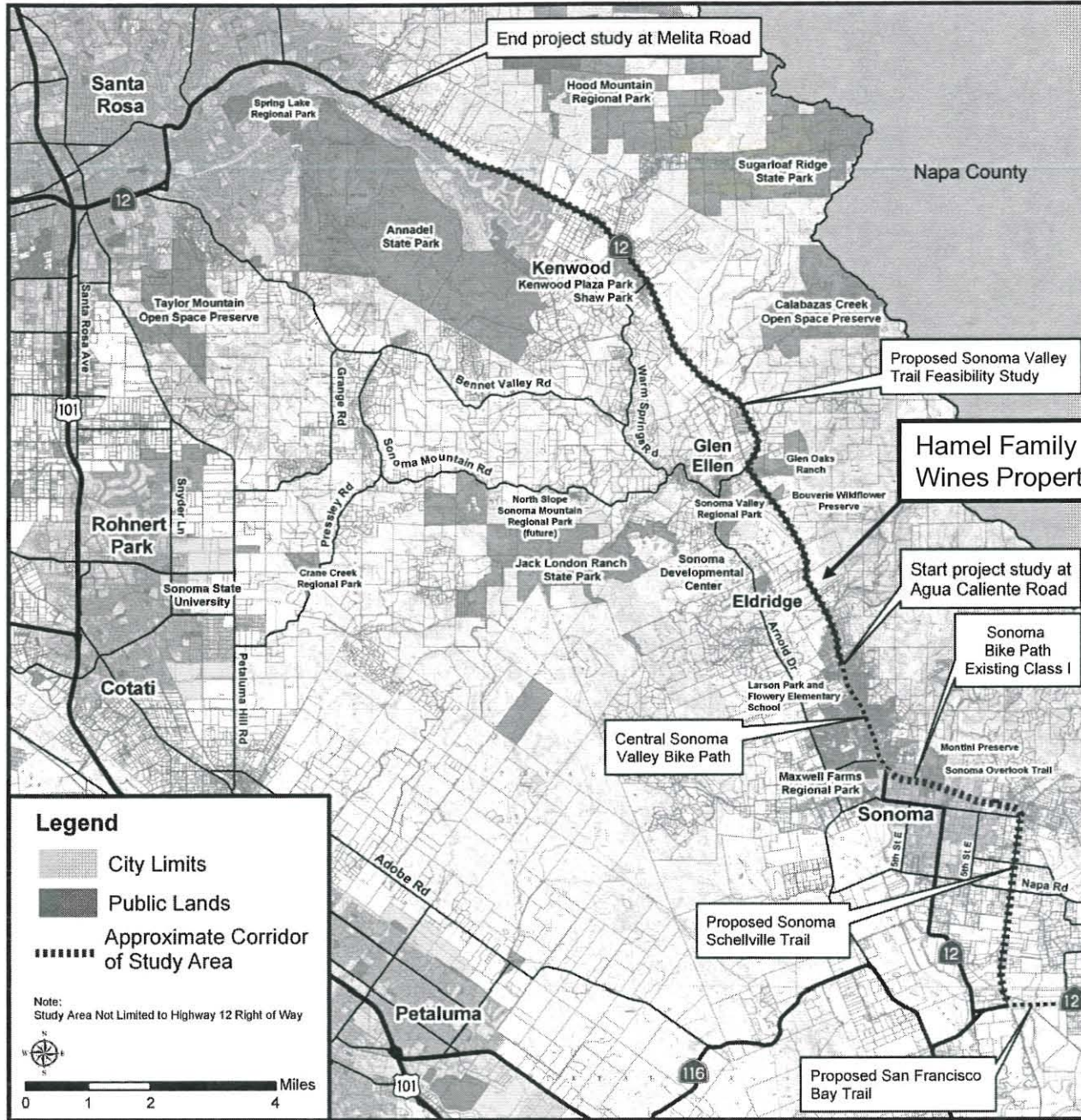
5. *Execution of Documents.* The Chair is authorized to execute all documents  
necessary to accomplish the purposes of this resolution.

**Supervisors:**

Gorin:                      Zane:                      McGuire:                      Carrillo:                      Rabbitt:

Ayes:                                      Noes:                                      Absent:                                      Abstain:

**So Ordered.**



**Legend**

- City Limits
- Public Lands
- Approximate Corridor of Study Area

Note:  
Study Area Not Limited to Highway 12 Right of Way

## Sonoma Valley Trail Project Location Map

*Sonoma County  
Regional Parks*

Data Source:  
Sonoma County ISD 4-18-12

Enlarged  
View To Left

**Sonoma County  
Location Map**

**Bay Area  
Location Map**

End project study at Melita Road

Proposed Sonoma Valley  
Trail Feasibility Study

Hamel Family  
Wines Property

Start project study at  
Agua Caliente Road

Sonoma  
Bike Path  
Existing Class I

Central Sonoma  
Valley Bike Path

Proposed Sonoma  
Schellville Trail

Proposed San Francisco  
Bay Trail





## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 23**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** 4/5

**Department or Agency Name(s):** Regional Parks

**Staff Name and Phone Number:**

Mark Cleveland 565-3349

**Supervisorial District(s):**

5<sup>th</sup>

**Title:** The Sea Ranch Association License Agreements

### **Recommended Actions:**

Approve the License Agreements and Authorize the Chair of the Board to Execute the License Agreements with The Sea Ranch Association for continued safe public access to the trails and facilities operated and maintained by the County within The Sea Ranch.

### **Executive Summary:**

In 2003, catastrophic erosion of the coastal bluff forced Regional Parks to close one Sea Ranch Public Access Easement and to implement temporary safety measures on another. Through a collaborative planning process, Regional Parks and The Sea Ranch Association (TSRA) have now reached an agreement to restore safe public access that allows the trails to be realigned and reopened.

### **Background**

The Sea Ranch Public Access Easements consist of five pedestrian trails and trailheads that connect Highway 1 and to the coastal bluff and beaches and one trail that connects Gualala Point Regional Park with two of the trails. These easements were initially granted to the California Coastal Conservancy in 1981 by the Sea Ranch developer, Oceanic California, Inc. (OCI). In 1982 ownership was transferred to Sonoma County. The California Coastal Conservancy funded the development of the public access trails, and OCI funded the development of the trailhead parking areas. These public trail improvements were completed in 1987. There are also extensive private trails at The Sea Ranch constructed by OCI and maintained by TSRA.

Regional Parks has been operating and maintaining these public use trails for more than 25 years, with the assistance of volunteers and The Sea Ranch Association. During this period, erosion of the coastal bluff damaged several trail sections, resulting in Regional Parks moving the trail sections further and further inland within the easements, which generally are 15 feet wide. Then, during major storms in 2003, one trail eroded completely away in one area and became severely compromised in several other areas. An informal trail use pattern developed outside of the easement, crossing the TSRA commons

area, in order to bypass the eroded sections, raising questions about areas for public and private use.

With TSRA's input, Regional Parks prepared an initial report based on preliminary geologic assessments and presented it to the Board in March of 2003. At that time the Board of Supervisors authorized Regional Parks to apply to the Coastal Conservancy for grant funding to prepare land surveys and additional geotechnical studies in order to develop options to restore, relocate, and sustain the trails for public use.

The additional geotechnical studies, land surveys and related information were shared with TSRA. Several workshops with TSRA were held to provide new information, solicit comments and engage association members in a cooperative solution-based process, and to develop guiding criteria for reaching a consensus on the best options to be implemented. The process goals were to protect TSRA rights and minimize environmental impacts, while continuing to provide safe public and private trail access within The Sea Ranch.

As a result of the extensive collaboration, and based on the established guiding criteria, Regional Parks and The Sea Ranch Association Board and TSRA's Community Services Manager have developed two separate license agreements for continued safe public access to the trails and facilities operated and maintained by the County. The license agreements require Regional Parks to relocate the trails, provide necessary improvements and safety features, and maintain the trails and related features for the term of the agreements. The license agreements have a three (3) year initial term, with automatic annual renewals for up to twenty (20) years. The license agreements are mutually revocable and require the County to provide insurance, which protects TSRA from liability and retains their legal control over the land. There is no additional cost to the County to provide required insurance. In exchange, public access to Walk On Beach and Bluff Top Trail will be restored. Staff from Regional Parks and TSRA will assist with the trail relocation and existing grant funds are sufficient to cover incidental costs.

License agreements may not be a long term solution to coastal erosion and bluff top retreat at Sea Ranch. However, the establishment of a good working relationship with TSRA and creating a process for evaluating options based on a shared set of values and guiding principles forms a basis for optimism that with TSRA and future partners, Regional Parks can continue to provide safe public access to Sonoma County's priceless shoreline in the future.

**Prior Board Actions:**

March 23, 2004 Board authorizes a grant application to the Coastal Conservancy for funds to perform additional geotechnical investigations and related studies for the public access trails at The Sea Ranch.

**Strategic Plan Alignment**      Goal 2: Economic and Environmental Stewardship

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$ 10,000		\$
Add Appropriations Req'd.	\$	State/Federal	\$ 10,000
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$ 10,000</b>	<b>Total Sources</b>	<b>\$ 10,000</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

**Attachments:**

**Related Items "On File" with the Clerk of the Board:**

Two agreements: Walk On Beach Trail License Agreement and Bluff Top Trail License Agreement



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 24**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Transportation and Public Works

**Staff Name and Phone Number:**

Susan Klassen (707) 565-2231

**Supervisorial District(s):**

First, Second, Fourth and Fifth

**Title:** Construction Management Services for the 2010 Pavement Preservation Program; Amendment No. 1 (M10001)

### **Recommended Actions:**

Authorize and approve Chair to sign an amendment to the agreement with Green Valley Consulting Engineers for construction management engineering services for the 2010 Pavement Preservation Program (M10001) in the amount of \$30,000, for a total agreement not to exceed amount of \$267,030, with a term ending December 31, 2014.

### **Executive Summary:**

The staff of the Department of Transportation and Public Works (TPW) is requesting the Board approve a contract amendment with Green Valley Consulting Engineers (Green Valley) for additional construction management engineering services for the 2010 Pavement Preservation Program in the amount of \$30,000 resulting in a total not to exceed amount of \$267,030, with a term ending December 31, 2014.

In June, 2013 the Board approved an agreement with Green Valley for construction management engineering services for the 2010 Pavement Preservation Program project (M10001). Construction on this bonded wearing course project began in the summer of 2013 and is now complete. The County is currently in the process of resolving claims the Contractor has submitted during the course of the work. Due to the intimate knowledge of this specific construction project possessed by its staff, the participation of Green Valley in the claims resolution process is essential. The Department does not have sufficient staff to perform this work with in-house personnel.

Green Valley was originally selected as the consultant for this project following an extensive selection process. The Department advertised a Request for Qualifications (RFQ) for construction management engineering services in the Press Democrat on April 29, 2013. The proposals received in response were evaluated and ranked based on each consultant's response to the following criteria: experience, project team and key staff, technical ability, relevant project experience, Federal project experience and project approach. Green Valley was selected for this pavement preservation project because of their specific

experience related to projects of this type as well as their experience related to construction project administration. Local preference was not a consideration in the selection of a consultant as Federal funding was anticipated for the project.

**Prior Board Actions:**

6/25/2013: Board authorized Agreement with Green Valley Consulting Engineers for construction management services

**Strategic Plan Alignment**      Goal 1: Safe, Healthy, and Caring Community

The project meets the needs of the community to provide a safe transportation network. The project also invests in the future by constructing improvements to this intersection that will enhance safety, reduce congestion and improve the flow of traffic along this corridor.

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$ 30,000		\$
Add Appropriations Req'd.	\$	State/Federal	\$ 30,000
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$ 30,000</b>	<b>Total Sources</b>	<b>\$ 30,000</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

Appropriations are available in the FY 2013-14 Road Maintenance Budget. Funding for amendment from federal surface treatment funds and Prop 1B.

**Staffing Impacts**

Position Title (Payroll Classification)	Monthly Salary Range (A – I Step)	Additions (Number)	Deletions (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

None

**Attachments:**

Amendment

<b>Related Items "On File" with the Clerk of the Board:</b>
None.

**FIRST AMENDMENT TO  
AGREEMENT FOR PROFESSIONAL SERVICES**

This First Amendment (“First Amendment”), dated as of this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_ (“Effective Date”), is to that certain Agreement for Professional Services by and between the County of Sonoma (hereinafter “County”), and Green Valley Consulting Engineers, (hereinafter “Consultant”), dated as of June 25, 2013 (the “Original Agreement,” and as supplemented and amended by this First Amendment, the “Agreement”). County and Consultant are sometimes referred to hereinafter individually as a “party” and collectively as the “parties.”

**R E C I T A L S**

WHEREAS, County and Consultant previously entered into the Original Agreement to provide Construction Management and related services for the 2010 Pavement Preservation Program (M1001); and

WHEREAS, County and Consultant desire to amend the Agreement in order to increase the not-to-exceed amount by \$30,000 to allow for additional claims resolution services as needed; and

WHEREAS, in the judgment of the Board of Supervisors of the County of Sonoma, it is necessary and desirable to amend the Agreement as set forth above.

NOW, THEREFORE, in consideration of the foregoing recitals and the mutual covenants contained herein, the receipt and adequacy of which is acknowledged, the parties hereto agree as follows:

**A G R E E M E N T**

As of the Effective Date, the Agreement shall be deemed to be amended in the following manner:

1. Incorporation of Recitals. The foregoing recitals are true and correct and are hereby incorporated into and form a part of this Amendment.

2. Section 2, Paragraph 1 of the Agreement entitled “Payment” is hereby deleted in its entirety and replaced with the following language:

“For all services and incidental costs required hereunder, Consultant shall be paid on a time and material/expense basis in accordance with the budget set forth in Exhibit B, provided, however, that total payments to Consultant shall not exceed \$267,030, without the prior written approval of County. Consultant shall submit its bills in arrears on a monthly basis in a form approved by County's Auditor and the Head of the County Department receiving the services. The bills shall show or include: (i) the task(s) performed; (ii) the time in quarter hours devoted to the task(s);

(iii) the hourly rate or rates of the persons performing the task(s); and (iv) copies of receipts for reimbursable materials/expenses, if any. Expenses not expressly authorized by the Agreement shall not be reimbursed.”

3. The following exhibits are attached hereto and incorporated herein:

(a) EXHIBIT B-1: Supplemental Work Estimate

All references in the Original Agreement and this Amendment No. 1 to Exhibit B shall include reference to Exhibit B-1, respectively, to this First Amendment.

4. Except to the extent the Agreement is specifically amended or supplemented by this Amendment, the Agreement, together with exhibits, is and shall continue to be in full force and effect as originally executed, and nothing contained herein shall be construed to modify, invalidate, or otherwise affect any provision of the Agreement or any right of County arising thereunder.

COUNTY AND CONSULTANT HAVE CAREFULLY READ AND REVIEWED THIS FIRST AMENDMENT AND EACH TERM AND PROVISION CONTAINED HEREIN AND, BY EXECUTION OF THIS FIRST AMENDMENT, SHOW THEIR INFORMED AND VOLUNTARY CONSENT THERETO.

—THIS SPACE INTENTIONALLY LEFT BLANK—

SIGNATURES BEGIN ON NEXT PAGE



IN WITNESS WHEREOF, the parties hereto have executed this First Amendment as of the Effective Date.

**CONSULTANT: GREENVALLEY CONSULTING ENGINEERS**

By: \_\_\_\_\_  
Name:  
Title:  
Date: \_\_\_\_\_

**COUNTY: COUNTY OF SONOMA**

CERTIFICATES OF INSURANCE ON FILE WITH AN APPROVED AS TO SUBSTANCE FOR COUNTY:

By: \_\_\_\_\_  
Department Head  
Date: \_\_\_\_\_

APPROVED AS TO FROM FOR COUNTY:

**COUNTY COUNSEL**



By: \_\_\_\_\_  
Deputy County Counsel  
Date: \_\_\_\_\_

By: \_\_\_\_\_  
Chair, Board of Supervisors  
Date: \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_  
Clerk of the Board

# EXHIBIT B-1

SUPPLEMENTAL WORK ESTIMATE									
 <b>SONOMA COUNTY</b> DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS		<b>2010 PAVEMENT PRESERVATION PROGRAM -</b> County Project No. M10001 Federal Project STPL - 5920(123)					 GreenValley CONSULTING ENGINEERS <small>Restoring Yesterday...Creating Tomorrow</small>		
Task Information		Billing Classification							
Task	Task Information	Resident Engineer	Construction Inspector	Senior Construction Manager	Admin. Assistant	Direct Costs	Total Hours	Total Costs	Remarks
		\$125	\$115	\$140	\$80				
1	Claim Resolution Meetings	24		8	2		34	\$4,280	Based on 4 meetings
2	Claim Review & Analysis	24		8	2	\$100	34	\$4,380	
3	Calculations & Documentation	32		10	8	\$200	50	\$6,240	
4	Depositions	8	8	8			24	\$3,040	Based on 1 deposition each
5	Arbitration	24	16	16	8	\$400	64	\$8,120	Based on 1 day of Arbitration + preparation time
6	Final Change Order & Pay Estimate Preparation	8					8	\$1,000	
7	Federal Documentation and Project Closout	16			4	\$100	20	\$2,420	
8									
9									
10									
11									
12									
13									
14									
								\$0	
	<b>Total Hours</b>	136	24	50	24		<b>Project Total</b>		
		\$17,000	\$2,760	\$7,000	\$1,920	\$800	<b>\$29,480.00</b>		<b>TOTAL NOT-TO-EXCEED COST</b>

\*This extra work estimate shall be attached to our original proposal to account for the additional costs associated with claims review and resolution.



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 25**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Board of Supervisors

**Staff Name and Phone Number:**

Board of Supervisors (707) 565-2241

**Supervisorial District(s):**

**Title:** Minutes of March 11, 2014

**Recommended Actions:**

Approval.

**Executive Summary:**

Approval of Minutes of the Meeting of March 11, 2014 for the following: Agricultural Preservation and Open Space District, Community Development Commission, Sonoma County Water Agency, and Board of Supervisors.

**Prior Board Actions:**

None.

**Strategic Plan Alignment** Not Applicable

<b>Fiscal Summary - FY 13-14</b>			
<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>
<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
N/A			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
None			
<b>Attachments:</b>			
Minutes			
<b>Related Items "On File" with the Clerk of the Board:</b>			
None			

**ACTION SUMMARY**  
**BOARD OF SUPERVISORS**  
**SONOMA COUNTY**  
**575 ADMINISTRATION DRIVE, ROOM 102A**  
**SANTA ROSA, CA 95403**

**TUESDAY**

**MARCH 11, 2014**

**8:30 A.M.**

Susan Gorin	First District	Veronica A. Ferguson	County Administrator
David Rabbitt	Second District	Bruce Goldstein	County Counsel
Shirlee Zane	Third District		
Mike McGuire	Fourth District		
Efren Carrillo	Fifth District		

This is a simultaneous meeting of the Board of Supervisors of Sonoma County, the Board of Directors of the Sonoma County Water Agency, the Board of Commissioners of the Community Development Commission, the Board of Directors of the Sonoma County Agricultural Preservation and Open Space District, the Board of Directors of the Northern Sonoma County Air Pollution Control District, and as the governing board of all special districts having business on the agenda to be heard this date.

The Board welcomes you to attend its meetings which are regularly scheduled each Tuesday at 8:30 a.m. Your interest is encouraged and appreciated.

**AGENDAS AND MATERIALS:** Agendas and most supporting materials are available on the Board's website at <http://www.sonoma-county.org/board/>. Due to legal, copyright, privacy or policy considerations, not all materials are posted online. Materials that are not posted are available for public inspection between 8:00 a.m. and 5:00 p.m., Monday through Friday, at 575 Administration Drive, Room 100A, Santa Rosa, CA.

**SUPPLEMENTAL MATERIALS:** Materials related to an item on this agenda submitted to the Board after distribution of the agenda packet are available for public inspection in the Board of Supervisors office at 575 Administration Drive, Room 100A, Santa Rosa, CA, during normal business hours.

**DISABLED ACCOMMODATION:** If you have a disability which requires an accommodation, an alternative format, or requires another person to assist you while attending this meeting, please contact the Clerk of the Board at (707) 565-2241, as soon as possible to ensure arrangements for accommodation.

**Public Transit Access to the County Administration Center:**

Sonoma County Transit: Rt. 20, 30, 44, 48, 60, 62

Santa Rosa CityBus: Rt. 14

Golden Gate Transit: Rt. 80

For transit information call (707) 576-RIDE or 1-800-345-RIDE or visit or <http://www.sctransit.com/>.

***APPROVAL OF THE CONSENT CALENDAR***

The Consent Calendar includes routine financial and administrative actions, are usually approved by a single majority vote. There will be no discussion on these items prior to voting on the motion unless Board Members or the public request specific items be discussed and/or removed from the Consent Calendar.

***PUBLIC COMMENT***

Any member of the audience desiring to address the Board on a matter on the agenda: Please walk to the podium and after receiving recognition from the Chair, please state your name and make your comments. Closed session items may be added prior to the Board adjourning to closed session. In order that all interested parties have an opportunity to speak, please be brief and limit your comments to the subject under discussion. Each person is usually granted 3 minutes to speak; time limitations are at the discretion of the Chair. While members of the public are welcome to address the Board, under the Brown Act, Board members may not deliberate or take action on items not on the agenda, and generally may only listen.

8:33 A.M. CALL TO ORDER

8:33 A.M. Chairman Rabbitt called the meeting to order.

Supervisors Present: Susan Gorin, David Rabbitt, Shirlee Zane, Mike McGuire, Efren Carrillo

Supervisor Absent: Shirlee Zane

Staff Present: Veronica A. Ferguson, County Administrator and Bruce Goldstein, County Counsel

Chairman Rabbitt presiding.

PLEDGE OF ALLEGIANCE

I. APPROVAL OF THE AGENDA (Items may be added or withdrawn from the agenda consistent with State law)

Chairman Rabbitt made the following announcements:

The Resolution and Conditions of Approval for Consent Item #19 had been revised and the modified versions had been posted to the Board's website.

The hearing for the appeal of the approval of a request for a phased Use Permit for Windsor Oaks Winery File No. PLP12-0009 scheduled for today at 2:10 P.M. had been continued to March 25, 2014 at 2:10 P.M.

II. BOARD MEMBER ANNOUNCEMENTS

Supervisor Carrillo announced that he had attended the National Association of Counties (NACo) Annual Conference; participated in Capital Hill visits regarding the Biological Opinion with Sonoma County Water Agency staff; provided an update on the proposal for the Bodega Bay Harbor Dredging project; and participated in a Youth Promise Act presentation with Congressman Huffman and Congressman Scott.

Supervisor Gorin announced that she had participated in a Kenwood Town Hall meeting to discuss farmers market; attended the Wine Country weekend event; and participated in the NACo Annual Conference and Leadership Symposium.

Supervisor McGuire announced he will be meeting with Transportation and Public Works staff to discuss the Pedestrian and Safety Improvement plan in Fulton; provided an update on tree planting efforts along Highway 101 Airport Boulevard off ramp; attended the Regional Climate Protection Authority meeting; and invited members of the public to participate in the upcoming Windsor Senior Aquatic Fundraiser event.

Chairman Rabbitt announced that he had traveled to Sacramento to testify on behalf of Senator Wolk's Water Bond Bill, the Governor's Drought Response and had attended an Association of Bay Area Governments Legislative Workshop. He also stated that he had met with Marin County Supervisor Steve Kinsey to discuss agricultural issues; attended three

BOARD MEMBER ANNOUNCEMENTS (Continued)

Golden Gate Bridge Highway and Transportation Board meetings; the NACo Legislative Session; several meetings regarding Tribal relations; a meeting organized by Congressmen Huffman and Thompson with the USDA Inspector on Food Safety to speak to local ranchers regarding the meat recall; and spoke at the California Small Farm Conference. He requested the Board to approve a letter in support of the City of Petaluma Food Waste Energy Grant Proposal for the alternative and renewable fuel technology program.

III. CONSENT CALENDAR (Items 1 through 24)

PRESENTATIONS/GOLD RESOLUTIONS

(Items 1 through 8)

PRESENTATIONS AT BOARD MEETING

1. Adopt a Gold Resolution congratulating LandPaths Executive Director Craig Anderson on receiving Bay Nature's 2014 Local Hero Award for his work in Conservation Action. (First District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0073

2. Adopt a Gold Resolution proclaiming March 16 through March 22, 2014 as National Land Surveyor's week in Sonoma County. (Fourth District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0074

3. Adopt a Gold Resolution formally recognizing the week of March 1-7, 2014 as National Weights and Measures Week in Sonoma County. (Agricultural Commissioner)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0075

PRESENTATIONS AT DIFFERENT DATE

4. Adopt a Gold Resolution honoring Joseph D. Reed for achieving the rank of Eagle Scout. (Second District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0076

CONSENT CALENDAR (Continued)

5. Adopt a Gold Resolution honoring and congratulating Officer Brian Miller as 2013 Exchange Club Sonoma County Law Enforcement Officer of the Year. (Second District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0077

6. Adopt a Gold Resolution honoring and acknowledging Reverend Timothy P. Kellgren upon his retirement after thirty-seven years of outstanding community service as pastor of Elim Lutheran Church, Petaluma. (Second District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0078

7. Adopt a Gold Resolution commending Pedro Toledo on his selection as 2013 Líder of the Year, a national recognition for Latino Leaders. (Fifth District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0079

8. Adopt a Gold Resolution thanking Jim Sartain on his 28 years of service supporting Sonoma County youth programs. (Human Services)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0080

COMMUNITY DEVELOPMENT COMMISSION

(Commissioners: Gorin, Rabbitt, Zane, McGuire, Carrillo)

9. Bank Accounts for Village Green II - (A) Adopt five (5) Resolutions authorizing the Executive Director of the Sonoma County Community Development Commission to open accounts at Redwood Credit Union, Bank of the West, Wells Fargo Bank, Westamerica Bank, and Bank of America, to serve the Village Green II affordable housing development, including a security deposit trust account, a capital reserve account, and an operating account, and designating the authorized signatories on the accounts; and (B) Authorize the Commission's Executive Director to take all such actions as are required to complete the transfer of Village Green II funds from City of Sonoma to the new accounts. (First District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolutions No. 14-0081, 14-0082, 14-0083, 14-0084, 14-0085



CONSENT CALENDAR (Continued)

SONOMA COUNTY WATER AGENCY  
(Directors: Gorin, Rabbitt, Zane, McGuire, Carrillo)

10. Authorize General Manager of the Water Agency to execute an agreement with United States Geological Survey for a water resources investigation to evaluate riverbed sediments and water quality in the vicinity of the Wohler and Mirabel water supply facilities for the amount of \$124,900; agreement terminates on January 30, 2015.

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

AUDITOR-CONTROLLER-TREASURER-TAX COLLECTOR

11. Review and accept the audit report of the Sonoma County Treasury Treasurer Investment Pool for the quarter ended September 30, 2013.

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

12. Authorize the Auditor-Controller-Treasurer-Tax Collector to issue checks and Automated Clearing House (ACH) payments instead of warrants, to comply with current banking processes.

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

13. Authorize the Auditor-Controller Treasurer-Tax Collector to sign a 3 year renewal of the SunGard AvantGard LLC contract in an amount not to exceed \$30,533 plus Consumer Price Index in year one and each subsequent year thereafter for treasury accounting and portfolio services; and ratify a \$35,000 amendment for programming expenses related to the implementation of FAMIS/PeopleSoft conversion.

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

BOARD OF SUPERVISORS

14. Adopt a Resolution authorizing the Chair to execute Joint Powers Agreement between the County of Sonoma and the City of Sonoma continuing the Sonoma Valley Citizens Advisory Commission for a period of five (5) years from January 1, 2014, to December 31, 2018. (First District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0086

CONSENT CALENDAR (Continued)

COUNTY COUNSEL

15. Adopt a Resolution approving conflict of interest code amendment for the West County Transportation Agency.

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0087

GENERAL SERVICES

16. Authorize the Purchasing Agent to execute a Blanket Purchase Order with Cintas Corporation for confidential document shredding services effective April 1, 2014, through March 31, 2015, with the option to extend for two (2) additional one (1) year periods, providing that extensions are agreeable to both parties. The estimated cost of the Blanket Purchase Order is expected to be approximately \$32,622 per year.

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

GENERAL SERVICES / HUMAN SERVICES

17. Lease expansion for Human Service Department / Medi-Cal Eligibility and Hearings Staff - (A) Authorize the Clerk to publish a notice, declaring the Board's intention to execute a lease amendment with Parkway Properties 14, LLC, for approximately 7,281 sq. ft., in the building located at 520 Mendocino Avenue, Santa Rosa, for \$11,987 per month, or \$143,848 per year, for a term of six years, plus options, concurrent with the existing lease; and (B) Authorize the General Services Director to execute a letter-agreement with Parkway Properties 14, LLC, in advance of the execution of the proposed lease amendment by the Board, whereby County agrees to reimburse costs not to exceed \$15,000, if the proposed lease is not executed by April 16, 2014.

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

18. Lease expansion for Human Services Department / Employment & Training Division - (A) Authorize the Clerk to publish a notice, declaring the Board's intention to execute a lease amendment with SR Office Properties LLC, for premises located at 2227 Capricorn Way, Santa Rosa, and (B) Authorize the General Services Director to execute a letter-agreement with SR Office Properties LLC, in advance of the execution of the proposed amendment by the Board, whereby County agrees to reimburse costs not to exceed \$15,000, if the proposed lease amendment is not executed by April 22, 2014.

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

CONSENT CALENDAR (Continued)

PERMIT AND RESOURCE MANAGEMENT

19. Adopt a Resolution reflecting the Board's February 4, 2014 decision to deny the appeal and partially uphold the Board of Zoning Adjustments' approval of a Use Permit for a dog boarding, daycare, grooming, and training facility. The project is located at 6445 Highway 12, Santa Rosa; APN 030-110-036 (File No. PLP11-0042). (First District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0088

20. Adopt a Resolution authorizing the Chair to execute a replacement Land Conservation Act Contract for 24.2 acres requested by Ann Sandoval for Sandoval Vineyards Inc.; 1577 Grove Street, Sonoma; APN 133-050-034 (File No. AGP13-0013). (First District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0089

REGIONAL PARKS

21. Authorize the Chair to execute a Professional Services Agreement with ESP & Alarms for security services at Cloverdale River Park, Guerneville River Park, Maxwell Farms Regional Park, the Environmental Discovery Center at Spring Lake Park and other locations as needed for a total of \$70,000 from January 1, 2014 to December 31, 2016. (First, Fourth, and Fifth Districts)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

TRANSPORTATION AND PUBLIC WORKS

22. Approve and authorize the Chair to execute an agreement with LSA Associates, Inc. for a term through December 31, 2015 and not to exceed \$812,610 for environmental mitigation compliance services related to the Runway Safety Area Project. (Fourth District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

MISCELLANEOUS

23. Approval of Minutes - (A) Minutes of the Meeting of February 11, 2014 for the following: Agricultural Preservation and Open Space District, Occidental County Sanitation District, Russian River County Sanitation District, Sonoma County Water Agency, South Park County Sanitation District and Board of Supervisors, and (B) Minutes of the Meeting of February 25, 2014 for the following: Agricultural Preservation and Open Space District,

CONSENT CALENDAR (Continued)

Item #23 Continued

Community Redevelopment Agency, In-Home Supportive Services Public Authority, Northern Sonoma County Air Pollution Control District, Sonoma County Water Agency and Board of Supervisors, and (C) Minutes of the Meeting of February 11, 2014 and February 25, 2014 for the following: Sonoma Valley County Sanitation District.

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

APPOINTMENTS/REAPPOINTMENTS

(Item 24)

24. Appoint Archie Eckles to the Shiloh District Cemetery Board for a term of four years, the appointment will be as of March 1, 2014 and end February 28, 2018. (Fourth District)

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

IV. REGULAR CALENDAR (Item 25)

AGRICULTURAL PRESERVATION AND OPEN SPACE DISTRICT

(Directors: Gorin, Rabbitt, Zane, McGuire, Carrillo)

25. Adopt a Resolution approving the transfer to the State of California of the District's 50% undivided fee interest in the Wright Preservation Bank (a.k.a. Hall Road Unit of the Santa Rosa Plain Vernal Pool Ecological Reserve, A.P.N.'s 060-330-029 and 060-330-030), and authorizing the President of the Board of Directors to execute the related Quit Claim Deed and Conservation Easement agreement. (4/5 vote required) (Fifth District)

9:33 A.M.

Present: Misti Arias, Open Space District Program Manager and Stuart Martin, Open Space District Land Acquisition Specialist

Board Action: Approved as Recommended

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

Approved by Resolution No.14-0090

9:47 A.M. The Board recessed to Closed Session.

V. CLOSED SESSION CALENDAR (Items 26 through 27)

2:03 P.M. Counsel Goldstein reported on Closed Session Items #26-27.

26. The Board of Directors of the Sonoma County Water Agency will consider the following in closed session: Initiation of litigation - Name of Case: Filing of Petition with State Water Resources Control Board for Temporary Urgency Change in Sonoma County Water Agency's Water Rights Permits (Govt. Code Section 54956.9(d)(4)).

Board Action: The Board decided not to file a Petition, at this time, for a temporary urgency change in water rights to wait to see if effective agricultural water conservation strategies can be implemented to protect endangered species in the Russian River and related tributaries.

AYES: Susan Gorin, David Rabbitt, Mike McGuire, and Efren Carrillo.

ABSENT: Shirlee Zane.

27. The Board of Supervisors will consider the following in closed session: Potential initiation of litigation - Name of Case: Unfunded Landfill Liabilities (Govt. Code Section 54956.9(d)(4)).

Direction was given to Counsel and staff.

VI. REGULAR AFTERNOON CALENDAR (Items 28 through 31)

2:03 P.M. - RECONVENE FROM CLOSED SESSION

Supervisors Present: Susan Gorin, David Rabbitt, Mike McGuire, Efren Carrillo

Supervisor Absent: Shirlee Zane

Staff Present: Veronica Ferguson, County Administrator and Bruce Goldstein, County Counsel

28. Report on Closed Session.

2:03 P.M. Counsel Goldstein reported on Closed Session Items #26-27. See Section V.

29. PUBLIC COMMENT ON MATTERS NOT LISTED ON THE AGENDA (Comments are restricted to matters within the Board's jurisdiction. The Board will hear public comments at this time for up to thirty minutes. Please be brief and limit your comments to three minutes. Any additional public comments will be heard at the conclusion of the meeting. While members of the public are welcome to address the Board, under the Brown Act, Board members may not deliberate or take action on items not on the agenda, and generally may only listen.)

2:04 P.M. Public Comment Opened

Duane De Witt  
Mary Morrison  
Michelle Miller  
Richard Hannan  
John Jenkel  
Peter Tscherneff  
Deborah \_\_\_\_\_  
Colleen Fernald

2:34 P.M. Public Comment Closed

30. Permit and Resource Management Department: Review and possible action on the following:

- a) Acts and Determinations of Planning Commission/Board of Zoning Adjustments
- b) Acts and Determinations of Project Review and Advisory Committee
- c) Acts and Determinations of Design Review Committee
- d) Acts and Determinations of Landmarks Commission
- e) Administrative Determinations of the Director of Permit and Resource Management

2:34 P.M. No Acts or Determinations were acted on or reviewed.

31. ADJOURNMENTS

2:35 P.M. The Board adjourned the meeting in memory of Mabel Ellen "Madge" Ward, Jane Kunde, Orland "Bill" Bowen, Nathan Miron, Barbara Konicek, John Kramer, and Gene McKamey. The meeting was adjourned to March 18, 2014 at 8:30 A.M.

Respectfully submitted,

Michelle Arellano  
Chief Deputy Clerk of the Board





## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 26**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Human Services Department

**Staff Name and Phone Number:**

Oscar Chavez, 565-3812

**Supervisorial District(s):**

All

**Title:** Upstream Investments Portfolio Review Committee Appointments

**Recommended Actions:**

Appoint to the Upstream Portfolio Review Committee for a two year term ending April 8, 2016.

**Executive Summary:**

The Upstream Investments Policy, sponsored by the Sonoma County Board of Supervisors and widely supported throughout the community, seeks to eliminate poverty in Sonoma County and ensure equal opportunity for quality education and good health in nurturing home and community environments. The three primary strategies are:

- Invest Early: Whenever possible, dedicate funding and other resources to prevention-focused policies and interventions.
- Invest Wisely: Ensure that upstream policies and interventions have the highest possible likelihood of success by selecting those that are backed by sound evidence. Programs that meet the criteria for the Portfolio of Model Upstream Programs (the Portfolio) have demonstrated this commitment to evidence-informed practice.
- Invest Together: Focus community-wide upstream policies and interventions on preventing six targeted factors and improving 22 indicators of success to achieve the Upstream vision, mission, goals, and measureable impacts.

**Portfolio Review Committee Description and Responsibilities**

The purpose of the Portfolio Review Committee is to review submissions to the Portfolio of Model Upstream Programs in accordance with the Portfolio Review and Decision Process and to determine Tier Placement for each submission.

The Review Committee is also responsible for ensuring that the Portfolio Submission Criteria and the Portfolio Review and Decision Process continue to meet County policy and accepted industry practices related to evidence-based practice and to make recommendations for changes in both to the Upstream

Policy Committee when appropriate.

The Human Services Department recommends, and the Board appoints, members of the Portfolio Review Committee for a two year term. In March, 2012, the Board appointed the first 15 members of the Review Committee, representing the County Administrator’s Office, Sonoma County Health and Human Services Departments, Sonoma County Criminal Justice Departments, local early childhood development organizations, local education entities, local funders, and the community at large. In March 2013 the Board reappointed five members for a second term and appointed three new members to a two-year term. In February 2014 the Board reappointed 4 members for a second term and appointed two new members to a two-year term.

The following criteria are used for all Portfolio Review Committee membership appointments:

- Demonstrated experience with evidence-based practice in program design, implementation, and evaluation.
- Willingness to review six (6) Portfolio submissions each year within five (5) business days of receipt. Each review requires approximately one hour.
- Willingness to attend monthly meetings which are two to three (2-3) hours in duration.
- Willingness to attend one half day (4 hour) orientation.
- Availability to serve a two-year term.

**Membership Recommendations**

The Department recommends appointing the following 2 individuals for two-year terms ending 4/8/16.

<b><u>Category</u></b>	<b><u># of slots</u></b>	<b><u>Recommended Member</u></b>
Health and Human Services .....	Up to 4 .....	Ellen Bauer, Department of Health Services
Early Childhood Development.....	Up to 2 .....	Kathryn Pack, First 5 Sonoma County

**Recommended Member Qualifications**

**New appointments:** The following members are recommended as new members of the Portfolio Review Committee.

**Ellen Bauer** serves as the Public Health Division Director for the Department of Health Services. She is responsible for the day-to-day operations of the Public Health Division which consists of approximately 210 FTE. Previously Ms. Bauer served as the Heath Action Program Manager, Alcohol and Other Drug/HIV Prevention Program Manager, and a Program Planner Analyst.

**Kathryn Pack** serves as the Health Program Manager for First 5 Sonoma County. As a Program Planning and Evaluation Analyst with Sonoma County Department of Health Services she provided evaluation and

assistance to programs including the Field Nursing Program, READY, Cradle to Career, Community Corrections Partnership, Safe Routes to School, Healthy Eating Active Living, and Violence Prevention. Previously Ms. Pack served as a Program Manager at Applied Survey and Research where she co-managed an outcome evaluation for First 5 San Francisco's Preschool for All program. She earned a Ph.D. from the University of Illinois.

**Prior Board Actions:**

- February 2014 The Board of Supervisors approved agency representation for the Upstream Investments Policy Committee, reappointed four Portfolio Review Committee Members, appointed two new members to the Portfolio Review Committee, and approved the execution of a contract with Bischoff Performance Improvement Consulting to provide technical assistance and training.
- January 2014 The Board of Supervisors accepted the *Upstream Investments Progress Report and Next Steps for 2014 – 2016* and approved the recommendations for 2014 – 2016.
- March 2013 The Board of Supervisors appointed three new members to the Upstream Investments Portfolio Review Committee and reappointed five members to a second term.
- February 2013 the Board of Supervisors approved *The Upstream Investments Progress Report and Next Steps for 2013* and *Indicators of Success 2012 Update*.
- March 2012 the Board of Supervisors appointed the first 15 members of the Upstream Portfolio Review Committee.
- November 2011 the Upstream Ad Hoc Board Committee made a progress report to the Board that described the Upstream Ad Hoc Board Committees' accomplishments. The Board approved 10 next steps including convening the Upstream Investments Policy Committee for a two-year term (2012-2013) and appointing members to the Portfolio Review Committee for a one or two-year term (2012-2013).
- January 2011 the Upstream Ad Hoc Board Committee made a progress report to the Board. The Board approved the Upstream Logic Model and approved a pilot test of the Portfolio of Model Upstream Programs.
- January 2010 the Upstream Investments Team made a report to the Board that included seven recommendations to promote Upstream Investments in Sonoma County.
- July 2008 the Board of Supervisors chartered the Upstream Investments Project to understand the antecedents to criminal behavior and to identify upstream interventions that reduce downstream criminal justice costs.

**Strategic Plan Alignment**      Goal 3: Invest in the Future

The Upstream Investments Policy seeks to eliminate poverty in Sonoma County and ensure equal opportunity for quality education and good health in nurturing home and community environments.

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**  
 None

<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**  
 None

**Attachments:**  
 None

**Related Items "On File" with the Clerk of the Board:**  
 None



County of Sonoma  
Agenda Item  
Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 27**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** No Vote Required

**Department or Agency Name(s):** Board of Supervisors

**Staff Name and Phone Number:**

Supervisor David Rabbitt, 707/565-2241

**Supervisorial District(s):**

Second District

**Title:** Appointment

**Recommended Actions:**

Appoint J. Kevin Jones, Jr. to the Commission on Human Rights representing the second district for a term of two years expiring April 8, 2016.

**Executive Summary:**

**Prior Board Actions:**

**Strategic Plan Alignment** Not Applicable

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
<b>Related Items “On File” with the Clerk of the Board:</b>			



County of Sonoma  
Agenda Item  
Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 28**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):**

**Staff Name and Phone Number:**

Supervisor Shirlee Zane, (707) 565-2241

**Supervisorial District(s):**

Third District

**Title:** Appointment

**Recommended Actions:**

Approve appointment of Jennifer Adams to the Library Commission, representing the Third District for a term beginning April 8, 2014 and ending February 28, 2018. (Third District)

**Executive Summary:**

**Prior Board Actions:**

**Strategic Plan Alignment** Goal 4: Civic Services and Engagement

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
<b>Related Items “On File” with the Clerk of the Board:</b>			





County of Sonoma  
Agenda Item  
Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 29**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):**

**Staff Name and Phone Number:**

Supervisor Shirlee Zane, (707) 565-2241

**Supervisorial District(s):**

Third District

**Title:** Appointment

**Recommended Actions:**

Approve appointment of Richard Retecki to the Regional Parks Foundation, representing the Third District, for a term beginning April 8, 2014 and ending April 8, 2016.

**Executive Summary:**

**Prior Board Actions:**

**Strategic Plan Alignment** Goal 4: Civic Services and Engagement

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
<b>Related Items “On File” with the Clerk of the Board:</b>			



County of Sonoma  
Agenda Item  
Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 30**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):**

**Staff Name and Phone Number:**

Supervisor Shirlee Zane, (707) 565-2241

**Supervisorial District(s):**

Third District

**Title:** Appointment

**Recommended Actions:**

Approve appointment of Dee Swanhuysen to the Agricultural Preservation and Open Space District Advisory Committee, representing the Third District for a term of two years beginning April 8, 2014 and ending April 8, 2016. (Third District)

**Executive Summary:**

**Prior Board Actions:**

**Strategic Plan Alignment** Goal 4: Civic Services and Engagement

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
<b>Related Items “On File” with the Clerk of the Board:</b>			



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 31**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors of Sonoma County

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Sheriff's Office

**Staff Name and Phone Number:**

Heidi Keith 565-2812

**Supervisorial District(s):**

All

**Title:** Sheriff's Office Appointment of Retiree Extra Help

### **Recommended Actions:**

Pursuant to Government Code § 7522.56 approve the appointment of Ms. Vaughn as a Supervising Dispatcher Retiree Extra Help, Ms. Robinson as a Chef Retiree Extra Help, and Mr. Bob Zie as a Detention Assistant Retiree Extra Help, in order to fill a critically needed positions within 180 days of their retirement, with an appointment date as early as April 15, 2014.

### **Executive Summary:**

Pursuant to the California Public Employees' Pension Reform Act (PEPRA), Government Code §7522.56, an exception can be made to reappoint a retiree as extra-help provided the governing body certifies that the appointment is necessary to fill a critically needed position, in those circumstances where 180 days from the date of retirement has not yet passed. This approval must be in a noticed public meeting and not on a consent calendar. PEPRA includes other requirements in order for a retiree to be eligible for an Extra-Help appointment, such as not having accepted a retirement incentive and not having accepted unemployment arising out of prior public appointment. The individual and delegated department staff have completed the Retiree Extra-Help Compliance Form certifying the appropriateness of the appointment.

**Background:** On February 4, 2014 the Sheriff's Office presented a hiring update to the Board. The report made it apparent that the Sheriff's Office would likely continue to experience unusually high rates of turnover in the near future. The Office is continuing to face unprecedented levels of vacancies in deputy, correctional deputy, dispatch, and civilian support job classes. The high number of vacancies (33 positions Office-wide) continues to have direct impacts on both operations and employee health and wellness. High vacancy rates result in less staff available to provide relief in both the Law Enforcement and Detention Divisions. Operations units effectively experience further staffing shortages when staff are unavailable. Unavailable staff refers to employees who are filling allocations, but who are unable to work because of sickness, injury, or training (currently 70 positions unavailable Office-wide). This

condition is further exacerbated by the unique challenges of hiring and training Sheriff's Office staff. The Sheriff's Office adheres to the Commission on Peace Officer Standards and Training (POST) requirements for conducting background investigations. Investigations are labor and time intensive. Once hired, staff must be trained, and new employees in training shadow experienced staff for as many 24 weeks. As such, though hiring is complete, these individuals do not become solo working staff for some time, which effectively extends the hiring cycle. Projected mass turnover and the associated recruitment effort required to fill the extraordinary number of needed positions had overwhelmed existing Sheriff's Office Personnel Unit resources. With the Board's support, the Sheriff's Office has increased Personnel Unit staff in an attempt to handle the volume of recruitments, background investigations, and administrative activities necessary to fill current and anticipated vacancies.

In order to provide critical coverage while the Sheriff's Personnel Unit works to permanently fill the large number of vacancies and to reduce the level of mandatory overtime required of existing staff, the Sheriff is requesting Board support for allowing three recent retirees to return to work as extra help.

**Supervising Dispatcher:** The Sheriff's Office, Dispatch Bureau, has received retirement notice from Supervising Communications Dispatcher Nancy Vaughn, effective mid April 2014. This retirement will create a fourth vacancy in the Dispatch Bureau. In addition, the Dispatch Bureau has 1 dispatcher in training and 1 dispatcher on leave, bringing the total number of unavailable positions and shifts requiring backfill to 6 FTEs. Currently the average time required to recruit, background, hire, and train an emergency dispatcher is averaging 8-10 months. Given the length of the hiring process 1,600 backfill overtime hours would be necessary to fill Ms. Vaughn's vacancy alone. The time necessary to cover just the 4 vacant allocations equates to approximately 6,400 hours of backfill overtime. Backfill is provided with a combination of overtime and extra help hours when available.

The 6 unavailable allocations will have a significant impact on the remaining dispatch staff in terms of the amount of mandatory overtime required. Mandatory overtime for each member of the Dispatch Bureau is currently 26 hours per month. With Ms. Vaughn's retirement, the number of unavailable staff, and the overtime necessary to cover vacations and sick leave, we anticipate mandatory overtime to increase to a high of 40 hours per month per filled FTE. Ms. Vaughn's immediate return as extra help will eliminate the need for 6 hours of mandatory overtime per available dispatcher FTE per month. The need for dispatcher extra-help support will be on-going until such time as all 4 vacant allocations are filled. A dispatcher recruitment is underway, with several individuals currently in the background phase.

In addition to the Dispatch Bureau overtime issue, Ms. Vaughn's retirement creates a knowledge and oversight gap in the area of 9-1-1 services. In FY 11-12 the County's 9-1-1 Coordinator duties and responsibilities were shifted from the County Information Systems Department (ISD) to the Sheriff's Dispatch Bureau. Since February 2011 Ms. Vaughn has been responsible for these duties as a collateral assignment. The 9-1-1 Coordinator responsibilities include: maintaining County Public Safety Answering Point (PSAP) Master Street Address Guide (MSAG), educating and training County PSAP managers, and the County PSAP liaison with the State 9-1-1 Office. Ms. Vaughn's years of experience working with the State on the 9-1-1 County Coordinator's Task Force developing policy for future next generation 9-1-1 technology is essential to the County's future 9-1-1 operations. A replacement representative has been selected and training has begun. All of the above knowledge will require time to pass on to the new representative and cannot be adequately accomplished prior to her retirement.

**Chef:** The Sheriff is responsible for every aspect of inmate care while individuals are in custody at the County's Main Adult Detention Facility (MADF) and the North County Detention Facility (NCDF). Sheriff's staff within the detention facility kitchens provide approximately 1,000 + inmates with meals 3 times a day, 365 days a year. Providing this quantity of meals while remaining in compliance with Title 9 standards can be challenging even when the kitchens are fully staffed. The Sheriff's Office accomplishes this with only 15 FTE allocations including assistant cooks, cooks, and chefs. 3 of the 15 kitchen position allocations, are currently vacant. Chef Dolores Robinson's retirement will bring the total to 4 (27% vacancy rate). In order provide the required inmate meals and cover all shifts, kitchen staff are currently required to work 27 mandatory overtime hours each month.

Ms. Robinson has worked in the Sheriff's detention facility kitchens for 27 years and will retire in April, 2014. She has acted as one of two chefs for the past 16 years. The Chef position provides the only supervision of the cooks and assistant cooks, performs all scheduling, and complete all kitchen payroll duties. The Chef also works with the food contractor ARAMARK to plan menus and track food supplies. The other long time Chef retired in October 2013. The Sheriff's Office just recently filled this Chef position with an internal promotion. Ms. Robinson's immediate return as extra help is essential to ensure the supervision of kitchen staff as recruitment efforts to fill her position continue and allows for an experienced Chef to train and evaluate the newly promoted Chef.

**Detention Assistant:** Sheriff's Detention Assistant Mr. Bob Zie is retiring on March 31<sup>st</sup>, 2014 after 14 years of service. Detention assistant's job responsibilities include: ordering and delivery of office and operational supplies, processing and delivery of inmate commissary orders, preparing clothing for inmate clothing exchange, processing inmate clothing and processing bulk inmate property. Mr. Zie has successfully performed all of these assignments in the course of his tenure with the Sheriff's Office. All of these responsibilities are critical functions in the overall operation of the MADF and NCDF. These tasks are currently handled by a total of 18 allocations, including two supervisors. Prior to budgetary reductions, 22 allocations supported these tasks. Since the positions were eliminated the inmate population has grown from 927 to 1,110. Of the current 18 allocations, 1 is vacant and 3 more are unavailable due to medical leaves (22% unavailable). The situation is further exacerbated by the fact that existing Detention Assistant Extra Help employees have reached work hour limits and will be unable to work again until July, 2014. This high unavailability has resulted in 15 hours of mandatory overtime for remaining staff. If Mr. Zie is not allowed to return as extra help mandatory overtime is projected to increase to 30 hours per month. The need for detention assistant extra-help support will be on-going until such time as the 1 vacant allocation is filled and the 3 individuals on medical leave return to work. A detention assistant recruitment was initiated by the Sheriff's Office in mid-March.

The Sheriff's Office has consulted with the Human Resources Department which is supportive of the recommended action.

**Prior Board Actions:**

None

**Strategic Plan Alignment**      Goal 1: Safe, Healthy, and Caring Community

The certification of this request will allow the Sheriff's Office to continue to provide core Sheriff's emergency dispatch services and core services within the County's detention facilities thereby supporting the health and safety of inmates, employees, and community.

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$ 67,720	County General Fund	\$ 67,720
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$ 67,720</b>	<b>Total Sources</b>	<b>\$ 67,720</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

Supervising Dispatcher Extra, Chef, and Detention Assistant Extra Help expenditures will be offset by salary savings due to higher than anticipated number of staff vacancies in the Sheriff's Dispatch Bureau, Detention facilities kitchens, and other Detention Division vacancies. No additional appropriations are necessary.

**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
Supervising Communications Dispatcher – Extra Help	31.15 -37.87		
Chef – Extra Help	20.65 – 25.14		
Detention Assistant – Extra Help	19.12 – 23.24		

**Narrative Explanation of Staffing Impacts (If Required):**

These are Retiree Extra Help appointments; no permanent allocations are being added or changed.

**Attachments:**

None

**Related Items "On File" with the Clerk of the Board:**

None





## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 32**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Commissioners

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Sonoma County Community Development Commission

**Staff Name and Phone Number:**

James Hackett (707) 565-7520

**Supervisorial District(s):**

All

**Title:** Sonoma County Housing Authority Public Housing Agency Annual Plan

### **Recommended Actions:**

Resolution of the Sonoma County Community Development Commission, in its capacity as the governing body of the Sonoma County Housing Authority, approving the Sonoma County Public Housing Agency Annual Plan for the period of July 1, 2014 – June 30, 2015, and an amended Housing Choice Voucher Administrative Plan, and authorizing submission to the U.S. Department of Housing and Urban Development.

### **Executive Summary:**

The Sonoma County Housing Authority (SCHA) administers the Housing Choice Voucher Program under contract with the U.S. Department of Housing and Urban Development (HUD). The purpose of the Voucher Program is to assist very low-income households in obtaining decent, safe, and sanitary housing by providing rental subsidies.

Section 511 of the Quality Housing and Work Responsibility Act of 1998 requires that all housing authorities prepare a Public Housing Agency (PHA) Annual Plan for each year. The SCHA's PHA Plan provides a source for interested parties to locate basic PHA policies, rules, and requirements concerning the SCHA's operations, programs, and services, and informs HUD, families served by the PHA, and members of the public of the SCHA's mission and strategies for serving the needs of low-income and very low-income families. It is consistent with the HUD-required Five-Year Consolidated Plans of the County of Sonoma and the City of Petaluma, the two HUD entitlement jurisdictions in which the SCHA operates the Housing Choice Voucher Program.

A notice was published in the Press Democrat on February 22, 2014, informing the public that the Draft PHA Annual Plan was available for public review. The notice included the date that the required public hearing would be held before the Board of Commissioners, and stated that written comments would be considered until April 8, 2014. The Community Development Committee reviewed and recommended approval of the Draft PHA Annual Plan on February 11, 2014. The Plan will be submitted to HUD electronically by April 16, 2014.

The Housing Choice Voucher Administrative Plan is a required element of the PHA Plan and establishes the more detailed local policies for administration of the program. The SCHA is required by HUD to amend its Housing Choice Voucher Administrative Plan to reflect program changes and HUD requirements. The present Administrative Plan, approved on April 9, 2013, is being amended to clarify and update existing policies. Approval of the proposed changes, which are detailed in the attached red-lined excerpts from the Plan, would 1) incorporate new language from the Violence Against Women Reauthorization Act of 2013 (VAWA) adding sexual assault to the Act's protections and broadening those covered from family members to affiliated individuals, and 2) establish the criteria for staff to use when evaluating whether to grant a property owner's request to extend a Project-Based Voucher Housing Assistance Payments (HAP) contract providing rental subsidies dedicated to their property.

The attached Resolution, required by HUD, will approve the SCHA's amended Housing Choice Voucher Administrative Plan, approve the SCHA's PHA Annual Plan for 2014 - 2015, authorize the Chair of the Commission to sign the required certifications, and authorize the Executive Director to submit the PHA Plan to HUD.

**Prior Board Actions:**

04-09-13 Commission approved Resolution No. 13-0132 approving fiscal year 2013-2014 Annual PHA Plan and amended Housing Choice Voucher Administrative Plan.

03-27-12 Commission approved Resolution No. 12-0148 approving fiscal year 2012-2013 Annual PHA Plan and amended Housing Choice Voucher Administrative Plan.

4-05-11: Commission approved Resolution No. 11-0166 approving fiscal year 2011-2012 Annual PHA Plan and amended Housing Choice Voucher Administrative Plan.

4-06-10: Commission approved Resolution No. 10-0280 approving current PHA 5-year Plan.

**Strategic Plan Alignment**      Goal 1: Safe, Healthy, and Caring Community

The Sonoma County Housing Authority assists very-low income community members afford decent, safe and sanitary shelter.

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$ 25,930,707		\$
Add Appropriations Req'd.	\$	State/Federal	\$ 25,930,707
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$ 25,930,707</b>	<b>Total Sources</b>	<b>\$ 25,930,707</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

These funds from U.S. Dept. of Housing and Urban Development are included in the approved CDC budget for FY 13-14.

**Staffing Impacts**

Position Title (Payroll Classification)	Monthly Salary Range (A – I Step)	Additions (Number)	Deletions (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

No staffing impact.

**Attachments:**

1. Resolution.
2. Summary of Housing Choice Voucher Administrative Plan Changes.

**Related Items "On File" with the Clerk of the Board:**

1. 2014-2015 Annual PHA Plan.
2. PHA Certification of Compliance with the PHA Plan and Related Regulation form.
3. Proof of Publication of Public Notice



# County of Sonoma

## State of California

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Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

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4/5 Vote Required

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**Resolution Of The Sonoma County Community Development Commission, In Its Capacity As The Governing Body Of The Sonoma County Housing Authority, Approving The Sonoma County Public Housing Authority (PHA) 2014-2015 Annual Plan, Approving An Amended Housing Choice Voucher Administrative Plan, And Authorizing Submission To The U. S. Department Of Housing And Urban Development (HUD).**

**Whereas**, the Sonoma County Housing Authority currently administers a Housing Choice Voucher Program funded by the U. S. Department of Housing and Urban Development (HUD); and

**Whereas**, pursuant to the requirements of Section 511 of the Quality Housing and Work Responsibility Act (QHWRA) of 1998, the Sonoma County Community Development Commission (Commission) must approve a Public Housing Agency (PHA) Plan for the Sonoma County Housing Authority; and

**Whereas**, a notice was published in the Press Democrat informing the public that the Draft PHA Annual Plan was available for public review. The notice included the date that the required public hearing would be held before the Board of Commissioners, and stated that written comments would be considered until April 8, 2014; and

**Whereas**, the Sonoma County Housing Authority has amended its Housing Choice Voucher Administrative Plan to comply with HUD requirements and implement local options; and

**Whereas**, HUD requires that the Annual PHA Plan and amended Administrative Plan be formally approved by the Board of Commissioners.

**Now, Therefore, Be It Resolved**, by the Board of Commissioners that:

1. The Sonoma County Housing Authority Annual PHA Plan for fiscal year 2014-2015 and the amended Housing Choice Voucher Administrative Plan for the Sonoma County Housing Authority are hereby approved.

2. The Chair of the Board of Commissioners is hereby authorized and directed to execute the PHA Certifications of Compliance with the PHA Plan and Related Regulations form.
3. The Executive Director of the Commission is directed to submit to HUD the Annual PHA Plan.
4. The Executive Director is authorized and directed to submit to HUD a copy of this Resolution as evidence of formal action by the Commission.
5. The Executive Director is hereby authorized and directed to respond to requests for additional information from HUD as may be required to be in compliance with all applicable regulations.

**Be It Further Resolved**, this Resolution shall take effect immediately.

**Supervisors:**

Gorin:                      Zane:                      McGuire:                      Carrillo:                      Rabbitt:

Ayes:                                      Noes:                                      Absent:                                      Abstain:

**So Ordered.**



**SONOMA COUNTY HOUSING AUTHORITY**

**ADMINISTRATIVE PLAN**

**FOR THE**

**HOUSING CHOICE VOUCHER PROGRAM**

**EXCERPTED SECTIONS PROPOSED FOR REVISION**

**April 8, 2014**

## Summary of April 8, 2014 Sonoma County Housing Authority Section 8 Administrative Plan Changes

### Chapter 1

Section K – Updates Section 504 coordinator and adds language required by the Violence Against Women Reauthorization Act of 2013 (VAWA 2013).

### Chapter 13

Section A – Adds language required by the Violence Against Women Reauthorization Act of 2013 (VAWA 2013).

### Chapter 15

Section I – Updates protections and changes definitions as provided by the Violence Against Women Reauthorization Act of 2013 (VAWA 2013).

### Chapter 21

Section G – Adds evaluation criteria for request to extend Project-Based Voucher Housing Assistance Payments (HAP) contract.

The full text of the Sonoma County Housing Authority Housing Choice Voucher Administrative Plan can be found at: <http://www.sonoma-county.org/cdc/s8annualplan.htm>

## **I. PHYSICAL ACCESSIBILITY**

The PHA office is accessible to persons with disabilities. The PHA must comply with a variety of regulations pertaining to physical accessibility, including the following:

- PIH 2002-01 (HA), Accessibility Notice: this notice is posted in the HCV office in a conspicuous place and summarizes information about pertinent laws and implementing regulations related to non-discrimination and accessibility in federally-funded housing programs.
- Section 504 of the Rehabilitation Act of 1973
- The Americans with Disabilities Act of 1990
- The Architectural Barriers Act of 1968
- The Fair Housing Act of 1988

The person responsible to coordinate compliance with Section 504 is James Hackett, Housing Authority Manager~~the Community Development Commission Administrative Services Officer, Deborah Muchmore.~~ She may be reached at 707-565-7548/7520, or [james.hackett@sonoma-county.org](mailto:james.hackett@sonoma-county.org).

## **J. LIMITED ENGLISH PROFICIENCY (LEP)**

The PHA will take affirmative steps to communicate with people who need services or information in a language other than English. A person with Limited English Proficiency (LEP) is a person who does not speak English as their primary language and who has a limited ability to read, write, speak or understand English. This policy was developed to serve applicants, participants, and/or persons eligible for housing assistance.

The PHA analyzes the various kinds of contacts it has with the public; to assess language needs and decide what reasonable steps should be taken. In order to determine the level of access needed by LEP persons, the PHA will balance the following four factors:

- (1) the number or proportion of LEP persons eligible to be served or likely to be encountered by the HCV program;
- (2) the frequency with which LEP persons come into contact with the program;
- (3) the nature and importance of the program, activity, or service provided by the program to people's lives; and
- (4) the resources available to the PHA and costs.

Balancing these four factors will ensure meaningful access by LEP persons to critical services while not imposing undue burdens on the PHA.

The PHA has bilingual staff to assist non-English speaking families in Spanish. The PHA also translates documents into Spanish. Interpreter services will be provided on an as-needed



basis for clients who speak languages other than Spanish or English. Where LEP persons desire, they will be permitted to use, at their own expense, an interpreter of their own choosing, in place of or as a supplement to the free language services offered by the PHA or provided by an outside vendor. The interpreter may not be a child but may be a family member or friend. The PHA will analyze the various kinds of contacts it has with the public, to assess language needs and decide what reasonable steps should be taken. "Reasonable steps" may not be reasonable where the costs imposed substantially exceed the benefits. Where feasible and possible, the PHA will encourage the use of qualified community volunteers.

In determining whether it is feasible to translate documents into other languages, the PHA will consider the following factors:

- Number of applicants and participants who do not speak English and speak the other language.
- Cost to translate into the other languages.
- Evaluation of the need for translation by the bilingual staff and by agencies that work with non-English speaking clients.
- The availability of organizations to translate documents, letters and forms for non-English speaking families.
- Availability of bilingual staff to explain untranslated documents to clients.

#### **K. VIOLENCE AGAINST WOMEN ACT (VAWA)**

The Violence Against Women Act (VAWA) states that an incident or incidents of actual or threatened domestic violence, dating violence, sexual assault, or stalking will not be construed as a serious or repeated violation of the lease by the victim or threatened victim of that violence, and shall not be good cause for terminating the assistance, tenancy, or occupancy rights of the victim of such violence. The PHA will comply with VAWA. In addition, the PHA will provide resource information to HCV applicants and participants about the YWCA's programs for victims of domestic violence. See Chapter 13-1 and Chapter 15-12 for additional information about VAWA.

#### **L. MANAGEMENT ASSESSMENT OBJECTIVES**

The PHA operates its housing assistance program with efficiency and can demonstrate to HUD auditors that it is using its resources in a manner that reflects its commitment to quality and service. The PHA policies and practices are consistent with the areas of measurement for the following HUD Section 8 Management Assessment Program (SEMAP) indicators.

Selection from the Waiting List

Reasonable Rent

Determination of Adjusted Income

Utility Allowance Schedule

## Chapter 13

### MOVES WITH CONTINUED ASSISTANCE/PORTABILITY

[24 CFR 982.314, 982.353, 982.355(a)]

#### INTRODUCTION

HUD regulations permit families to move with continued assistance to another unit within the PHA's jurisdiction, or to a unit outside of the PHA's jurisdiction under Portability procedures. The regulations also allow the PHA the discretion to develop policies which define any limitations or restrictions on moves. This Chapter defines the procedures for moves, both within and outside of the PHA's jurisdiction, and the policies for restrictions and limitations on moves.

#### A. ALLOWABLE MOVES

A family may move to a new unit with continued assistance if:

The assisted lease for the old unit has terminated because the PHA has terminated the HAP contract for owner breach, or the lease was terminated by mutual agreement of the owner and the family.

The owner has given the family a notice to vacate, or has commenced an action to evict the tenant, or has obtained a court judgment or other process allowing the owner to evict the family. Families with owner notices undergo an eligibility review to determine program violations or ongoing eligibility.

The family has given proper notice of lease termination and the family has a right to terminate the lease under the terms of their lease.

The Violence Against Women Reauthorization Act of ~~2005~~ 2013 provides that a family may receive a voucher from a PHA and move to another jurisdiction under the HCV program if the family has complied with all other obligations of the program and has moved out of the assisted dwelling unit in order to protect the health or safety of an individual who is or has been a victim of domestic violence, dating violence, sexual assault, or stalking and who reasonably believed he or she was imminently threatened by harm from further violence if he or she remained in the assisted dwelling unit.

#### B. RESTRICTIONS ON MOVES [24 CFR 982.314, 982.552(a)]

The PHA may deny permission to move if:

The family has violated a Family Obligation (See Chapter 15 for a list of Family Obligations).

The family owes the PHA money. This may be due to a damage claim from a prior

04/089/20143 Sonoma County Housing Authority Admin Plan

## I. VIOLENCE AGAINST WOMEN ACT (VAWA) AND TERMINATION OF ASSISTANCE

~~An incident or incidents of actual or threatened Criminal activity directly relating to domestic violence, dating violence, sexual assault, or stalking that is engaged in by a member of a tenant's household or any guest or other person under the tenant's control shall will not be cause for termination of assistance, tenancy, or occupancy rights if the tenant or an affiliated individual of the tenant construed as a serious or repeated violation of the lease by is the victim or threatened victim of that the domestic violence, dating violence, sexual assault, or stalking and shall not be good cause for terminating the assistance, tenancy, or occupancy rights of the victim of such violence.~~

The PHA may terminate the assistance to remove a lawful occupant or tenant who engages in criminal activity directly relating to domestic s-or threatened-acts of violence, dating violence, sexual assault, or stalking to family members or others against an affiliated individual or other individual without terminating the assistance or evicting victimized lawful occupants. If such bifurcation occurs, and the removed tenant or lawful occupant was the sole tenant eligible to receive assistance under a covered housing program, the PHA shall provide any remaining tenant the opportunity to establish eligibility for the covered housing program. If the remaining tenant cannot establish eligibility, the PHA is required to provide the tenant with a reasonable time to find new housing or establish eligibility under another covered housing program.

The PHA may honor court orders regarding the rights of access or control of the property, and other orders issued to protect the victim which are used to address the distribution or possession of property among household members where the family "breaks up."

There is no limitation on the ability of the PHA to terminate assistance for other good cause unrelated to the incident or incidents of domestic violence, dating violence or stalking, other than the victim may not be subject to a more demanding standard than non-victims.

There is no prohibition on the PHA terminating assistance if it can demonstrate an actual and imminent threat to other tenants or those employed at or providing service to the property if that tenant's (victim's) assistance is not terminated.

Any protections provided by law which give greater protection to the victim are not superceded by these provisions.

The PHA may require certification by the victim of victim status on such forms as the PHA and/or HUD shall prescribe or approve.

### **Definitions**

The same definitions of "domestic violence," "dating violence," and "stalking," and of "immediate family member" are provided in Sections 606 and 607. While definitions of domestic and dating violence refer to standard definitions in the Violence Against Women Act, the definition of stalking provided in Title VI is specific to the housing provisions.

These are:

1. *Domestic Violence* – [as defined in Section 40002 of VAWA 1994] which states as follows: SEC 40002(a)(6) – “DOMESTIC VIOLENCE - The term ‘domestic violence’ includes felony or misdemeanor crimes of violence committed by a current or former spouse of the victim, by a person with whom the victim shares a child in common, by a person who is cohabiting with or has cohabited with the victim as a spouse, by a person similarly situated to a spouse of the victim under the domestic or family violence laws of the jurisdiction receiving grant monies, or by any other person against an adult or youth victim who is protected from that person’s acts under the domestic or family violence laws of the jurisdiction.”

2. *Dating Violence* – [as defined in Section 40002 of VAWA 1994] which states as follows: SEC 40002(a)(8) – “DATING VIOLENCE- The term ‘dating violence’ means violence committed by a person—

(A) who is or has been in a social relationship of a romantic or intimate nature with the victim; and

(B) where the existence of such a relationship shall be determined based on a consideration of the following factors:

(i) The length of the relationship.

(ii) The type of relationship.

(iii) The frequency of interaction between the persons involved in the relationship.”

3. *Stalking* – “means -

(A) (i) to follow, pursue, or repeatedly commit acts with the intent to kill, injure, harass, or intimidate another person; and (ii) to place under surveillance with the intent to kill, injure, harass or intimidate another person; and

(B) in the course of, or as a result of, such following, pursuit, surveillance or repeatedly committed acts, to place a person in reasonable fear of the death of, or serious bodily injury to, or to cause substantial emotional harm to –

(i) that person;

(ii) a member of the immediate family of that person; or

(iii) the spouse or intimate partner of that person; ...”

~~3. *Immediate Family Member* – “means, with respect to a person—~~

~~(A) a spouse, parent, brother, sister, or child of that person, or an individual to whom that person stands in loco parentis; or~~

~~(B) any other person living in the household of that person and related to that person by blood or marriage.”~~

Affiliated Individual means a spouse, parent, brother, sister or child of an individual, or an individual to whom that individual stands in loco parentis (in the place of a parent), or any individual, tenant, or lawful occupant living in the household of that individual.

## **G. OTHER PROGRAM GUIDELINES**

The following guidelines apply to all projects awarded with project-based assistance.

### **Contract Term**

The initial term of the Housing Assistance Payment Contract ~~will be 10~~ may be up to 15 years and is subject to future availability of appropriations and future availability of funding under the Housing Authority's Annual Contribution Contracts.

### **PBV HAP Contract Extension**

The PHA may agree to enter into an extension of the HAP contract at the time of the initial HAP contract execution or anytime before the expiration of the contract if the PHA determines an extension is appropriate to continue providing affordable housing for low-income families. The maximum term for an extension of the HAP contract is 15 years. The PHA may allow multiple extensions, however, such extensions shall not exceed 15 years, cumulatively. All extensions must be on the form and subject to the conditions prescribed by HUD at the time of the extension.

The PHA will provide the owner 12-month's notice of the expiration of the PBV HAP contract, and invite the owner to submit a letter requesting an extension. The PHA may extend the term of the contract administratively, without an open competition, for one or more additional terms of up to 15 years total if the PHA determines an extension is required for the project to continue providing housing for low-income families at or below 50% AMI.

Extension of PBV HAP contracts will be considered on a case by case basis, including whether (a) to extend for a full 15 years or a shorter timeframe, and (b) the project is able continue housing families at or below 50% AMI with a smaller number of PBVs than originally approved (i.e. reduce the number of PB units at the property). When determining whether or not to extend an expiring PBV contract, for how long, and the number of units, the PHA within its sole discretion will consider several factors including, but not limited to:

- The total HAP cost of the contract extension and the amount of available budget authority;
- The staffing capacity of the PHA to continue administering the PBV contract;
- The condition of the contract units;
- The owner's record of compliance with obligations under the HAP contract and lease(s);
- Whether the location of the units continues to support the goals of deconcentrating poverty and expanding housing opportunities;
- Evidence of financial needs of the property (including an examination of operating, reserve, and other budgets and financial documentation);
- Demonstrated need of the minimum number of project based vouchers required to achieve long-term affordability of the housing including (i) financing debt for rehabilitation activity, (ii) meeting the contractual obligation to rent to households at or below 50% of AMI, and (iii) covering a reasonable operating deficit;

- Current demand for the units by households with tenant based or project based assistance;  
and
- Whether the funding could better serve extremely low-income households at another property seeking PBV assistance (or new construction project), or in the tenant based voucher program.

### **Tenant Selection**

Many of the policies and provisions of the tenant-based voucher regulations also apply to the PBV program. This includes requirements related to determining eligibility and waiting list preferences. The PHA will use the same selection preferences that are used for the tenant-based voucher program. The provisions of the tenant-based voucher regulations that do not apply to the PBV program are listed at 24 CFR 983.2.

HUD regulations mandate that the Housing Authority apply income targeting requirements that require 75% of the families admitted to the Section 8 Housing Choice Voucher Program (including PBV) be families whose annual income does not exceed 30% of Area Median Income (AMI). Consequently, the Housing Authority may require the residents of units selected to be project-based to meet this income requirement.

Applicants who will occupy vacant or turnover units with PBV assistance are selected from the PHA's waiting list. The Housing Authority uses its existing Section 8 tenant-based waiting list to refer applicants for vacant project-based units.

Per HUD regulations, PHAs are permitted to maintain separate site-based waiting lists for PBV projects. The PHA must inform all waiting list applicants of the site-based lists and offer to place applicants who are listed on the waiting list for tenant-based assistance on the waiting list for PBV assistance.

When selecting families to occupy PBV units that have special accessibility features for persons with disabilities, the PHA will first refer families who require such features to the owner.

### **Moves**

#### **1. Overcrowded, Under-Occupied, and Accessible Units [24 CFR 983.259]**

If the PHA determines that a family is occupying a wrong size unit, based on the PHA's subsidy standards, or a unit with accessibility features that the family does not require, and the unit is needed by a family that does require the features, the PHA must promptly notify the family and the owner of this determination, and the PHA must offer the family the opportunity to receive continued housing assistance in another unit.

If the PHA offers the family a tenant-based voucher, the PHA must terminate the housing assistance payments for a wrong-sized or accessible unit at expiration of the term of the family's voucher (including any extension granted by the PHA).

If the PHA offers the family another form of assistance that is not a tenant-based voucher, such as another PBV unit, and the family does not accept the offer, does not move out of the PBV unit



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 33**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** County Administrator

**Staff Name and Phone Number:**

Veronica Ferguson

**Supervisorial District(s):**

All

**Title:** Board Ad Hoc Committee on Southwest Santa Rosa Annexation

### **Recommended Actions:**

Receive the Charter for the Board of Supervisor's Ad Hoc Committee on Southwest Santa Rosa Annexation

### **Executive Summary:**

At the December 9, 2013 Board of Supervisors meeting, the Chair formed a Southwest Santa Rosa Annexation Ad Hoc Committee. While the primary purpose of the Ad Hoc is to work with the City of Santa Rosa to develop a plan to annex the unincorporated islands located in Southwest Santa Rosa, the County recognizes that the annexation planning and application process will take an extended period of time to complete. To help the community thrive during that process, and in the event that annexation of all islands does not occur, the Committee is also to review ways to enhance the area by investing in the beauty and sustainability of the community.

The desired outcome of the Ad Hoc Committee's work will be to strengthen the resiliency of the Southwest Santa Rosa community, particularly including the facilitation of the annexation process of unincorporated islands. This will be accomplished by applying the values of equity and justice to services and infrastructure needed and provided. The Ad Hoc Committee has begun to hold meetings, and have engaged in meetings with an appointed Santa Rosa City Council committee.

Estimated staff time to conduct research and provide support necessary to develop the Ad Hoc Committee's recommendations for Board approval is 160-180 hours in the County Administrator's Office, totaling approximately \$17,000-\$20,000. This time will be covered within existing General Fund appropriations. It is anticipated that Departmental staff work during the planning phase will be covered within existing appropriations. However, as the activities of the ad hoc and Joint City/County Roseland Annexation Committee progress, there may be a need for additional appropriations for County Counsel, PRMD, and others whose may be called on to participate in the review of the community and the factors

impacting resiliency and the annexation process. As specific projects related to service and infrastructure needs are identified by the ad hoc, budgets for both planning and execution will be established and brought to the Board for consideration. The City and County will also reach agreement on tax and other financial implications of annexation, which will have significant fiscal impact.

**Prior Board Actions:**

**Strategic Plan Alignment**      Goal 4: Civic Services and Engagement

**Fiscal Summary - FY 13-14**

Expenditures		Funding Source(s)	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

Current identified costs will be covered by existing appropriations. Future fiscal impacts related to annexation will be brought forward for Board consideration as appropriate.

**Staffing Impacts**

Position Title (Payroll Classification)	Monthly Salary Range (A – I Step)	Additions (Number)	Deletions (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

**Attachments:**

Ad Hoc Committee Charter



<b>Related Items "On File" with the Clerk of the Board:</b>

**County of Sonoma**  
**Southwest Santa Rosa Annexation Ad-Hoc Committee**  
**Charter/Scope of Work**

At the December 9, 2013 Board of Supervisors meeting, the Chair formed a Southwest Santa Rosa Annexation Ad Hoc Committee. While the primary purpose of the Ad Hoc is to work in collaboration with the City of Santa Rosa to develop a plan to annex the unincorporated islands located in Southwest Santa Rosa, the County recognizes that the annexation planning and application process will take an extended period of time to complete. To help the community and the City of Santa Rosa thrive during that process, and in the event that annexation of all islands does not occur, the Committee is also to review ways to enhance the area by investing in the beauty, safety, and sustainability of the community.

**Committee Members**

Shirlee Zane, Board of Supervisors, Third District  
Efren Carrillo, Board of Supervisors, Fifth District

**County Department Resources**

Veronica Ferguson	County Administrator's Office
Peter Rumble	County Administrator's Office
Rebecca Wachsberg	County Administrator's Office

Subject matter experts from the Permit & Resource Management Department, Community Development Commission, Transportation & Public Works, the Sheriff's Office, Economic Development Board, and other departments as needed.

**Outcomes**

The desired outcome will be to strengthen the resiliency of the Southwest Santa Rosa community, particularly including the facilitation of the annexation process of unincorporated islands. This will be accomplished by applying the values of equity and justice to services and infrastructure needed and provided.

Primary to this facilitation, desired outcomes will include:

- Leading successful educational outreach on the annexation process with community members
- Accurately measuring community sentiment
- Identifying and establishing plans to address needs that will build resiliency and promote economic vitality in the community
- Supporting the successful completion of the Roseland Area Priority Development Area (PDA)
- Establishing an ideal timeline/process for annexation including successfully completing a Memorandum of Understanding that encompasses an agreement on cost sharing between the County and the City of Santa Rosa

**County of Sonoma**  
**Southwest Santa Rosa Annexation Ad-Hoc Committee**  
**Charter/Scope of Work**

**Budget**

Estimated staff time to conduct research and provide support necessary to develop the Ad Hoc Committee's recommendations for Board approval is 160-180 hours in the County Administrator's Office, totaling approximately \$17,000-\$20,000. This time will be covered within existing General Fund appropriations.

It is also anticipated that Departmental staff work during the planning phase will be covered within existing appropriations. However, as the activities of the ad hoc and Joint City/County Roseland Annexation Committee progress, there may be a need for additional appropriations for County Counsel, PRMD, and others whose may be called on to participate in the review of the community and the factors impacting resiliency and the annexation process. As specific projects related to service and infrastructure needs are identified by the ad hoc, budgets for both planning and execution will be established.

Outside support will likely be needed to conduct public education, outreach, and sentiment assessments. Several local non-profit organizations may be available to carry out this work at minimal costs. There may also be a need for minimal outside legal expertise. Estimated cost is between \$185-350 per hour, should legal consultant advice be warranted.

**Phases**

***Planning Phase***

Committee will review and evaluate:

- Efforts to date relative to prior SW Santa Rosa annexation efforts
- The annexation process specific to SW Santa Rosa islands
- Proposed framework for guiding Annexation discussions/negotiations with Santa Rosa
- Proposed annexation outreach plans from the Joint Committee and staff
- Proposed sentiment survey, and coordinate the performance of the survey with the City
- County costs related to current services provided in unincorporated islands in SW Santa Rosa
- County costs related to the annexation process
- Proposed projects in SW Santa Rosa that will enhance service and infrastructure levels and contribute to community resiliency
- Proposals for cost sharing between the County and City of Santa Rosa
- Directions for staff on further research/investigative efforts
- Prepare and present Board report

**Planning Phase Deliverables:**

- Reports to the full Board recommending projects for service and infrastructure development in SW Santa Rosa.

**County of Sonoma**  
**Southwest Santa Rosa Annexation Ad-Hoc Committee**  
**Charter/Scope of Work**

- A plan for the annexation of unincorporated islands in SW Santa Rosa, as appropriate, including a Memorandum of Understanding between the County and the City of Santa Rosa.

At the one year point the need for the Ad Hoc should be reviewed to determine if a more formal Board Committee should be established.

***Implementation Phase***

Work may include:

- Continue to work with the City to engage appropriate community stakeholders and residents in the impacted areas
- Receive staff updates on the progress of the implementation of the annexation plan, and provide direction to staff as needed
- Continue engagement with the City of Santa Rosa to support plan implementation

**This phase would conclude with the initiation of the annexation process with LAFCO.**

***Execution Phase***

Work may include:

- Continuing community engagement efforts in partnership with the City
- Provide support as needed for the LAFCO annexation process

**This phase would conclude with the completion of the annexation process.**

**Staff Contact**

Peter Rumble, Deputy County Administrator  
(707) 565-3771  
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Rebecca Wachsberg, Administrative Analyst  
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## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 34**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Commissioners

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Sonoma County Community Development Commission and Successor Agency for the Sonoma County Community Redevelopment Agency

**Staff Name and Phone Number:**

John D. Haig, 565-7508 and  
Kirsten Larsen, 565-7526

**Supervisorial District(s):**

5<sup>th</sup>

**Title:** Roseland Village Shopping Center

### **Recommended Actions:**

1. Resolution approving the plans and specifications for demolition and remediation of the former bowling alley at the Roseland Village Shopping Center, authorizing the Executive Director to publish, advertise, and otherwise invite bids for the work, to be received by 2:00 p.m. on May 5<sup>th</sup>, 2014, and authorizing the Executive Director to file a Notice of Determination and a Notice of Exemption.
2. Resolution authorizing the Executive Director to apply for grant funding from the Sonoma County Agricultural Preservation and Open Space Matching Grant Program for the development of a dedicated public place to be created at the Roseland Village Shopping Center and to execute and submit all documents to secure the grant award.

### **Executive Summary:**

This agenda item seeks Board approval of two actions relating to the development of Roseland Village Shopping Center property: the approval of the plans and specifications for demolition and remediation work at the Roseland Village Shopping Center Property, and authorization to advertise for bids; and the approval for the Executive Director to apply for grant funds for the development of a public place on the property from the Open Space District.

### **The Demolition and Remediation Project**

The Roseland Village Shopping Center property is now owned by the Sonoma County Community Development Commission (CDC), as governing body for the Sonoma County Housing Authority. The property was originally acquired using Sonoma County Community Redevelopment Agency funds, but is now held by the CDC on behalf of the Housing Authority as a redevelopment "housing asset." The property contains contaminated soil resulting from activities at the former Roseland Cleaners, and since

2002 has been the subject of monitoring and clean-up work ordered by the North Coast Regional Water Quality Control Board. Hazardous materials abatement and demolition of the former bowling alley on the property must be completed before the State-mandated environmental soil remediation can be performed.

The cost of performing remediation of the contaminated soil on the site has been approved by the State Department of Finance (DOF) as an enforceable obligation of the Successor Agency to the former Sonoma County Community Redevelopment Agency. However, use of cash balances held by the Successor Agency for this work is still being disputed by DOF, and those funds are therefore not yet available to pay for this work. To enable work to proceed while awaiting resolution of this dispute, funding from the Reinvestment and Revitalization fund was allocated by the Board of Supervisors as part of the Sonoma County FY 2013-14 Budget. On September 24, 2013, your Board approved and authorized the Executive Director of the CDC to execute an agreement for Professional Services with Harris and Lee Environmental Services in the amount of \$1,170,250 to perform environmental remediation, monitoring, testing, and related work for the Roseland Village Project. The Agreement provides up to \$320,250 for Harris and Lee to perform the following services under oversight of CDC staff: 1) continue on-going ground water monitoring and testing; 2) oversee the competitive bidding process that is required for this public works project and the abatement and demolition of one building as needed to excavate contaminated soil lying below; and 3) complete all required soil excavation, disposal, and confirmation sampling. The cost of the demolition work will also be paid through the Harris and Lee contract.

The Project consists of demolition of the former bowling alley building located in Roseland Village Shopping Center. Three additional buildings within Roseland Village, the former grocery store, warehouse, and gasoline station, are included in this scope of work as potential alternate add-on tasks ; however, there is no funding currently available for this work, which will have to be performed in the future as a precursor to redeveloping the site, and staff included the add-ons in order to gauge its expected cost. Demolition includes abatement and proper disposal of all hazardous materials on or in the building and the building's foundations. Harris and Lee will oversee and inspect the demolition work for the CDC and will pay the contractor through Harris and Lee's contract with the CDC. The project is categorically exempt from the California Environmental Quality Act, pursuant to Section 15330 of the CEQA Guidelines (Minor Actions to Prevent, Minimize, Stabilize, Mitigate or Eliminate the Release or Threat of Release of Hazardous Waste or Hazardous Substances). In addition, the environmental impacts of the Project were considered in connection with the Sonoma County Board of Supervisor's approval the Sebastopol Avenue Urban Vision Plan in 2007 and the Board of Supervisor's approval of a Mitigated Negative Declaration for the Urban Vision Plan project. The Urban Vision Plan contemplated a specific plan of redevelopment for the area in which the Roseland Village Shopping Center is located. Finally, as noted, demolition of the former bowling alley in order to remediate contaminated soil beneath the building has already been approved by your Board as part of the prior agreement with Harris & Lee.

Approval of the plans and specifications and authorization to issue the Notice Inviting Bids will allow the CDC to proceed with the demolition and hazardous materials abatement necessary for the State-mandated soil remediation to be completed by Harris and Lee. Bids are due by 2:00 p.m. on May 5<sup>th</sup>, 2014 and the staff expects to return to the Board for award of a contract for the work in June 2014. Demolition and remediation should be underway by July and completed by September 2014.

As part of the CDC's public outreach for the overall Roseland Village Shopping Center project, an informational sign will be erected on the site to inform the public of the demolition work schedule. Concurrent with advertising for bids, the CDC staff will begin an active communications effort with the public to provide information on the demolition schedule. As a condition of permitting, the contractor will be required to adhere to strict policies regarding safety, dust, and maintenance of public thoroughfares at and near the site, proactively addressing public concerns. The CDC also plans to work closely with the public to shape the long term future of the site. This will include formation of a Task Group comprised of community members appointed by the Executive Director of the CDC. A series of broader public meetings will also be held to help define the community vision for the site.

**Application for Grant Funds from Open Space District**

The Board of Supervisor's Sebastopol Road Urban Vision Plan includes a Neighborhood Center Concept, which included plans for a public plaza and mixed use development. (See attached Land Use Concept Plan, and the full Urban Vision Plan on file with Clerk of the Board.) The plaza was envisioned then as being flanked on three sides by mixed-use buildings, and situated in the Roseland Village Shopping Center property somewhere between West and Avalon Avenues, at the back of a new 15 foot sidewalk on Sebastopol Road. Participants in the Urban Vision Plan process expressed support for a wide variety of features in the public space, including a water feature, a bandstand, public seating, trees, lawn and garden areas, paved areas for a farmers' market, outdoor dining and outdoor vendors, public art, or a tower element. Public input will be sought and incorporated in the actual planning of the space.

The Sonoma County Agricultural Preservation and Open Space District (District) has issued a call for applications for its 2014 Matching Grant Program. This competitive grant program offers funding for land acquisition, development of recreational amenities, and restoration of open space within or near urban areas. It requires applicants to provide at least one-half of the project cost. The District anticipates awarding \$3 million countywide in Matching Grant Projects this year to cities, the County, other public agencies, and non-profit organizations. After discussions with the District's staff to confirm eligibility criteria and funding priorities, the CDC is proposing to submit an application in an amount up to \$500,000 for the development of a dedicated public space, such as a plaza, at the Roseland Village Shopping Center site. A resolution authorizing the grant application is required. This resolution would authorize the Executive Director of the CDC to conduct all negotiations and submit all documents to secure the grant award and complete the project. Funding previously approved by your Board for redevelopment of the Roseland Village Property would be used to provide the required match for the District grant. Should all funding be secured, construction of the plaza is likely to begin in 2015 with completion by 2016. If the CDC's request for District grant funding is not approved, all costs to plan and construct the public plaza could be paid from post-dissolution redevelopment funding upon successful resolution of litigation against DOF, or from Reinvestment and Revitalization funds if approved by the Board of Supervisors.

**Prior Board Actions:**

09/24/13 - Approved \$1,170,250 Environmental Remediation Contract for the Roseland Village Project.

01/18/11 – Approved \$6.92 million Public Improvements Agreement for the Roseland Redevelopment Project.

07/13/10 – Approved acquisition of the Roseland Village Shopping Center.

06/10/2013 – Board of Supervisors adopts the 2013-14 Budget which includes funds for Reinvestment and Revitalization program

05/14/13 – Board of Supervisors approves the concept of Reinvestment and Revitalization (R and R) funding and of the Roseland Village mixed use project as a priority project

01/18/11 – Board of Supervisors and Board of Commissioners approved \$6.92 million Public Improvements Agreement for the Roseland Redevelopment Project.

07/13/10 – Board of Commissioners approved acquisition of the Roseland Village Shopping Center.

6/5/07 – Board of Supervisors approved Sebastopol Road Urban Vision Plan

**Strategic Plan Alignment**      Goal 1: Safe, Healthy, and Caring Community

Environmental clean-up will both enhance the health and safety of residents in the former Roseland Redevelopment Project Area, and help to improve the environmental conditions of the area. A public gathering place in Roseland would meet the community goals of enhancing access to open space, creating opportunities for civic engagement, and providing an inviting and safe space for recreational and cultural activities.

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**



<b>Staffing Impacts</b>			
<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
<b>Attachments:</b>			
<ol style="list-style-type: none"> <li>1. Roseland Village Bowling Alley Demo Resolution</li> <li>2. Roseland Village APOSD Grant Resolution</li> <li>3. Neighborhood Center Land Use Concept Plan</li> </ol>			
<b>Related Items "On File" with the Clerk of the Board:</b>			
<ol style="list-style-type: none"> <li>1. Construction Agreement and Specifications;</li> <li>2. Notice of Exemption;</li> <li>3. Notice of Determination;</li> <li>4. 2007 Urban Vision Plan;</li> <li>5. 2007 Mitigated Negative Declaration for Urban Vision Plan</li> </ol>			



# County of Sonoma

## State of California

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Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

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4/5 Vote Required

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**Resolution Of The Board Of Commissioners Of The Sonoma County Community Development Commission, Approving The Roseland Village Shopping Center Demolition And Remediation Project, Approving Plans And Specification For The Project And Authorizing The Executive Director To Advertise The Project For Bids, Making Certain Findings In Connection With The Project, And Authorizing The Executive Director To File A Notice Of Determination Pursuant To The California Environmental Quality Act**

**Whereas**, the County of Sonoma has adopted the Sebastopol Road Urban Vision Plan (“Plan”), which provides land use development proposals and guidelines for properties adjoining Sebastopol Road in the Roseland Area; and

**Whereas**, the Plan contemplates the development and redevelopment of the area from its current land uses into new uses, including designations of Mixed Use, General Commercial, Medium Density Residential and Public Parks/Plaza, in order to 1) stimulate economic revitalization of the area by providing additional opportunities for a variety of commercial and residential uses, 2) provide more green spaces, 3) facilitate pleasant and safer pedestrian connectivity within and outside the area, including a greener streetscape, 4) help decongest traffic by introducing alternative traffic routes, and 5) provide public spaces for socializing, and a large community gathering space as a town square for special events.

**Whereas**, the Sonoma County Community Development Commission (“Commission”), as governing body for the Sonoma County Housing Authority, owns property at 665 Sebastopol Road (the “Property”), within the Plan area, which was acquired in order to further the purposes and goals of the Plan; and

**Whereas**, the Property contains several vacant buildings, including a former bowling alley, which the Plan contemplates will be demolished; and

**Whereas**, the Property is subject to a work plan approved by the North Coast Regional Water Quality Control Board, under which the Commission is carrying out and will carry out monitoring and mitigation activities in order to clean up contaminated soil resulting from the operation of a former dry-cleaning business on the Property; and

Resolution #

Date:

Page 2

**Whereas**, the Sonoma County Board of Supervisors adopted a Mitigated Negative Declaration in connection with its approval of the Plan, in which it evaluated the environmental impacts of the Plan; and

**Whereas**, Commission staff have prepared plans and specifications for the demolition and remediation of the bowling alley building, and wish to obtain Board approval for the plans and specifications and advertise for bids;

**Now, Therefore, Be It Resolved**

1. The foregoing recitals are true and correct.
2. The Board approves the plans and specifications for the Project and authorizes the Executive Director to publish and advertise an invitation for bids for the work, to be received by 2:00 p.m. on May 5th, 2014.
3. The Board has reviewed and considered the Mitigated Negative Declaration prepared for the Plan, and has considered the facts and the evaluation contained in the staff report presented to this Board. The Board finds and determines that no subsequent Environmental Impact Report or Mitigated Negative Declaration is required under Section 15162 of the California Environmental Quality Act Guidelines; that no Supplemental Environmental Impact Report or Mitigated Negative Declaration is required under Section 15163 of those Guidelines; and that no Addendum to those documents is required under Section 15164 of those Guidelines. Specifically, the Board finds and determines:
  - a. No substantial changes are proposed which will require major revisions of the Mitigated Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
  - b. No substantial changes have occurred with respect to the circumstances which will require major revisions of the previous Mitigated Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
  - c. No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous Mitigated Negative Declaration was adopted, shows any of the following:
    - i. The project will have one or more significant effects not discussed in the previous Mitigated Negative Declaration; or
    - ii. Significant effects previously examined will be substantially more severe than shown in the previous Mitigated Negative Declaration; or
    - iii. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of

Resolution #

Date:

Page 3

the project, but the project proponents decline to adopt the mitigation measure or alternative; or

- iv. Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

4. The Board finds and determines that with the mitigation measures set forth in the Mitigated Negative Declaration, the Project will not have a significant effect on the environment.
5. The Board finds and determines that the mitigation measures specified in the Mitigated Negative Declaration are not applicable to the Project, in that such mitigation measures involve impacts that are not within the jurisdiction of the Commission.
6. The Board finds and determines that the Project is also exempt under Section 15330 of the CEQA Guidelines (Minor Actions to Prevent, Minimize, Stabilize, Mitigate or Eliminate the Release or Threat of Release of Hazardous Waste or Hazardous Substances).
7. The Executive Director is authorized and directed to file a Notice of Determination and Notice of Exemption with the County Clerk.

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

Ayes:

Noes:

Absent:

Abstain:

**So Ordered.**



# County of Sonoma

## State of California

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Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

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4/5 Vote Required

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**Resolution Of The Sonoma County Community Development Commission Authorizing The Executive Director To Apply For Grant Funding From The Sonoma County Agricultural Preservation And Open Space Matching Grant Program For The Development Of A Dedicated Public Place To Be Created At Roseland Village Shopping Center And To Execute And Submit All Documents To Secure The Grant Award And Complete The Project.**

**Whereas**, creating a dedicated public space at the Roseland Village site qualifies for funding under the Sonoma County Agricultural Preservation and Open Space District 2014 Matching Grant Program; and

**Whereas**, the Sonoma County Agricultural Preservation and Open Space District is accepting applications for the 2014 Matching Grant Program; and

**Whereas**, the Sonoma County Community Development Commission intends to submit a funding application to the Matching Grant Program for the development of a public space such as a plaza at Roseland Village Shopping Center; and

**Whereas**, the grant program requires a resolution from the Applicant's governing body authorizing submission of the application and delegating authority to conduct negotiations and submit documents necessary for project completion.

**Now, Therefore, Be it Resolved** that the Board of the Commission hereby finds, determines, declares and orders as follows:

1. Authorizes the Executive Director of the Commission to apply for grant funding under the Matching Grant Program, for the development of a dedicated public space at Roseland Village Shopping Center; and
2. Certifies that the project is consistent with the County of Sonoma General Plan; and
3. Certifies that said applicant has or will have available, prior to commencement of any work on the project included in this application, the required match and sufficient funds to complete the project; and
4. Certifies that said applicant has or will have available sufficient fund to operate and maintain the project; and
5. Certifies that the applicant has reviewed, understands, and agrees to the provisions contained in the Program guidelines; and

Resolution #

Date:

Page 2

6. Certifies that the project will comply with all applicable Federal, State, and local laws, ordinances, rules, regulations, and guidelines; and,
7. Authorizes the Executive Director of the Commission to conduct all negotiations, and submit all documents, including, but not limited to applications, matching grant agreement, conservation easement, recreation covenant, irrevocable offer(s) of dedication, amendments, reimbursement requests and so on, which may be necessary for the completion of the project.

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

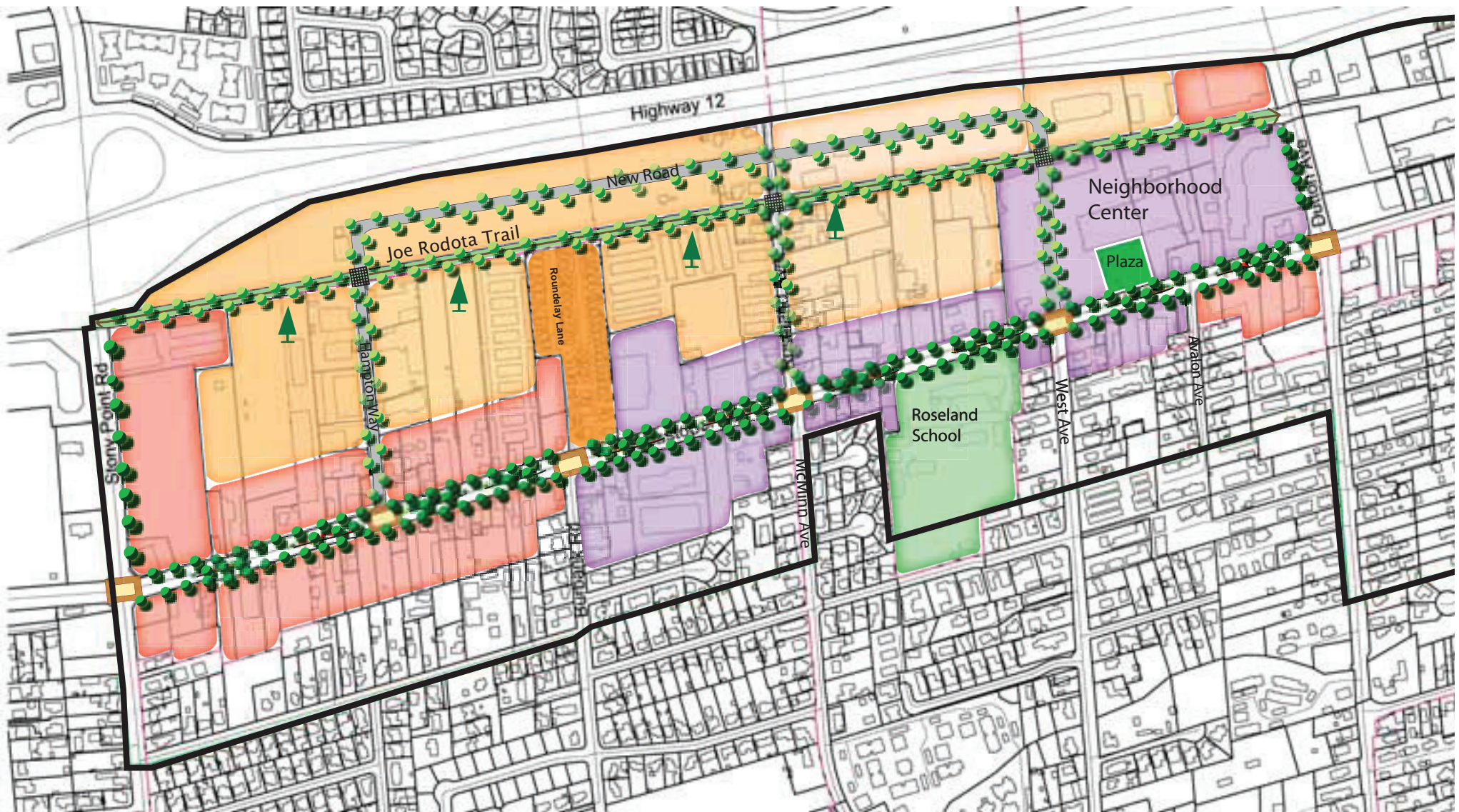
Ayes:

Noes:

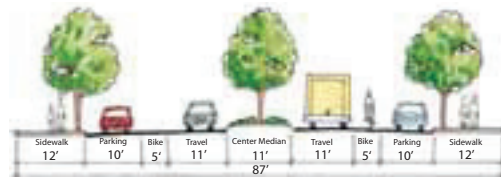
Absent:

Abstain:

**So Ordered.**



Sebastopol Road - New Streetscape Plan



Sebastopol Road - New Street Section

Legend

- Plaza
- New Parks
- Multifamily
- Mixed-Use;  
Stores/offices/housing
- Commercial  
Stores, restaurants, offices,  
auto sales & service, storage, etc
- Mobile Homes
- Enhanced Crosswalks
- Marked Trail Intersection
- Enhanced Redota Trail



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 35**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):**

**Staff Name and Phone Number:**

Caryl Hart – (707) 565-2041

**Supervisorial District(s):**

5<sup>th</sup>

**Title:** District Matching Grant Program application.

### **Recommended Actions:**

Authorizing the Director of Regional Parks to apply for the Agricultural Preservation and Open Space District's Matching Grant Program for Moorland Park project and authorizing the Director of Regional Parks to execute all documents which may be necessary to carry out and administer the grant.

### **Executive Summary:**

The Agricultural Preservation and Open Space District ("District") has issued a call for applications for the 2014 Matching Grant Program. The District anticipates awarding \$3 million countywide in Matching Grant Projects this year to cities, the County, other public agencies, and non-profit organizations. This competitive grant program provides funding for land acquisition, restoration and improvements for urban open space projects, and recreation projects within or near incorporated areas or other urbanized areas of Sonoma County. The District also seeks projects that can be completed in a timely manner.

Regional Parks is now requesting the Board's support to apply for \$1,125,000 from the District's Matching Grant Program to create a park in the Moorland Avenue neighborhood. As reported to the Board in January, Regional Parks is seeking funding from multiple sources to acquire and develop a much needed park in this area.

The preliminary estimated cost to secure and develop two identified properties (approximately 4.18 acres) that would be most desirable for the Moorland Avenue neighborhood park is \$2 - \$3,000,000. Park development and its annual operations and maintenance costs will be dependent on the improvements to be included in the park. The improvements will be based on results of an extensive community engagement process to best capture the values and needs of the Moorland community. Funding availability as well as the site's opportunities and constraints will also guide the improvement possibilities.

The Matching Grant Program requires a dollar for dollar matching contribution of which 50% must be in



cash and the remaining funds can be in-kind contributions from the agency and community partners. Regional Parks proposes using funding from several sources to achieve this match. With Board support, Regional Parks has submitted a \$471,300 Housing-Related Parks Program grant application in January to the California Department of Housing and Community Development. The amount of funding to be awarded from this grant will be announced in June 2014. Three years of operations and maintenance costs, estimated as \$100,000 a year, will be eligible for a match because they are anticipated to occur within the five year matching grant term. The remaining cash and in-kind funds are proposed to come from an extensive fundraising campaign, volunteer efforts, material donations and/or future requests of the County General Fund.

On January 14, 2014, Regional Parks provided a progress report on creating a Moorland Avenue Neighborhood Park. Regional Parks will continue to update the Board in the future as appropriate, based on new developments in the project.

The District requires that all applicants include a resolution from their governing body authorizing grant application (Attached). This resolution also authorizes the Director of Regional Parks to conduct all negotiations and submit all necessary documents for this grant. Acceptance into the Matching Grant Program by the District’s Board of Directors is anticipated within six to eight months after the April 11 application deadline. If awarded, Regional Parks will incorporate the grant award and expenditures associated with the acquisition, development and maintenance of the park in future budgetary requests.

**Prior Board Actions:**

January 14, 2013 accepted a report on progress creating a Moorland Avenue neighborhood park and by Reso. No. 14-0028 authorizing application for Housing Related Parks grant toward acquisition and development of a park in the Moorland neighborhood.

**Strategic Plan Alignment**      Goal 2: Economic and Environmental Stewardship

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$		\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

If approved, this funding and the related expenditures will be included in the FY 2014-2105 budget.

**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary</b> <b>Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

**Attachments:**

Resolution

**Related Items "On File" with the Clerk of the Board:**



County of Sonoma  
State of California

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Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

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4/5 Vote Required

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**Resolution Of The Board Of Supervisors Of The County Of Sonoma, State Of California, Authorizing The Director Of Regional Parks To Apply For Grant Funding From The Agricultural Preservation And Open Space District Matching Grant Program For Moorland Park, And To Execute And Submit All Documents To Secure The Grant Awards And Complete The Project.**

**Whereas**, the Sonoma County Agricultural Preservation and Open Space District is accepting applications for the 2014 Matching Grant Program; and

**Whereas**, the Sonoma County Regional Parks Department intends to submit funding application to the Matching Grant Program for the Moorland Park project; and

**Whereas**, the grant program requires a resolution from the Applicant's governing body authorizing submission of the applications and delegating authority to conduct negotiations and submit documents necessary for project completion.

**Now, Therefore, Be It Resolved** that the Board of Supervisors hereby finds, determines, declares and orders as follows:

1. Authorizes the Director of Regional Parks to apply for grant funding under the Matching Grant Program, for the Moorland Park project; and
2. Certifies that said applicant has or will have available, prior to commencement of any work on the project included in these applications, the required match and sufficient funds to complete the project; and
3. Certifies that the applicant has or will have sufficient funds to operate and maintain the project; and
4. Certifies that the applicant has reviewed, understands, and agrees to the provisions contained in the Program guidelines; and
5. Certifies that the projects will comply with any laws and

Resolution #

Date:

Page 2

regulations including, but not limited to, the California Environmental Quality Act (CEQA), legal requirements for building codes, health and safety codes, disabled access laws, and, that prior to commencement of construction, all applicable permits will have been obtained; and,

6. Authorizes the Director of Regional Parks to conduct all negotiations, and submit all documents, including, but not limited to applications, agreements, amendments, reimbursement requests and so on, which may be necessary for the completion of the project.

**Supervisors:**

Gorin:

Zane:

McGuire:

Carrillo:

Rabbitt:

Ayes:

Noes:

Absent:

Abstain:

**So Ordered.**



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 36**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):**

**Staff Name and Phone Number:**

Efren Carrillo 565-2241

**Supervisorial District(s):**

Fifth

**Title:** Sponsorship of the Cinco de Mayo 2013 Community Event

**Recommended Actions:**

Approve a contribution, in the amount of \$5,000, to Cinco de Mayo Santa Rosa Festival

**Executive Summary:**

The Cinco de Mayo Santa Rosa Committee has requested the County and the City of Santa Rosa each contribute \$5,000 for the multicultural Roseland Cinco de Mayo community event.

The Committee which is comprised of representatives from the community, the County and the City, is diligently working to raise funds in preparation for this year's event. As in previous years, the event will showcase the Southwest Santa Rosa Community and will include ethnic food vendors, entertainment for children and adults and information booths representing various entities and services.

The Cinco de Mayo celebration provides a positive, safe, family friendly event for the entire community. Whereas historically Cinco de Mayo presented challenges for the community and law enforcement, this organized event enjoy broad support.

**Prior Board Actions:**

The County and City have historically provided annual contributions of \$5,000 towards the event.

**Strategic Plan Alignment** Goal 1: Safe, Healthy, and Caring Community

The County's contribution to the Cinco de Mayo event helps to provide a safe, family friendly, and organized way for the Community to celebrate this important date

**Fiscal Summary - FY 13-14**

<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$ 5,000		\$ 5,000
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>

**Narrative Explanation of Fiscal Impacts (If Required):**

FY 2013-14 contains sufficient expenditure appropriations to fund the requested sponsorship support.

**Staffing Impacts**

<b>Position Title</b> (Payroll Classification)	<b>Monthly Salary Range</b> (A – I Step)	<b>Additions</b> (Number)	<b>Deletions</b> (Number)

**Narrative Explanation of Staffing Impacts (If Required):**

None.

**Attachments:**

None.

**Related Items "On File" with the Clerk of the Board:**

None.



## County of Sonoma Agenda Item Summary Report

Clerk of the Board  
575 Administration Drive  
Santa Rosa, CA 95403

**Agenda Item Number: 45**  
(This Section for use by Clerk of the Board Only.)

**To:** Board of Supervisors

**Board Agenda Date:** April 8, 2014

**Vote Requirement:** Majority

**Department or Agency Name(s):** Permit and Resource Management Department

**Staff Name and Phone Number:**

Cynthia Demidovich 565-1754

**Supervisorial District(s):**

Fifth

**Title:** Appeal of a Board of Zoning Adjustments approval of a Use Permit; Ratna Ling Retreat Center, c/o Jack Petranker, applicant; Ward Anderson, appellant; PLP08-0021.

### **Recommended Actions:**

Adopt a Resolution denying an appeal of a Board of Zoning Adjustment's decision to approve a Use Permit revising the master plan for the Ratna Ling Retreat Center located at 35755 and 36000 Hauser Bridge Road, Cazadero; APN 109-230-024 and -018.

### **Executive Summary:**

#### **Action Requested of the Board of Supervisors:**

Your Board is requested to conduct a public hearing on the appeal. At the conclusion of the hearing your Board can decide whether to deny the appeal and uphold the Board of Zoning Adjustment's (BZA) decision to adopt the Subsequent Mitigated Negative Declaration and approve the Use Permit for a master plan for the Ratna Ling Buddhist retreat center, or uphold the appeal and deny the Use Permit, or otherwise modify the project. Staff recommended approval of the project to the BZA, and recommends that your Board deny the appeal.

#### **Project Description, Background, Location, and Zoning:**

The applicant is requesting a Use Permit for a revised Master Plan to expand the Ratna Ling Buddhist retreat center to include the following:

1. 5-bedroom retreat/house;
2. Seasonal campground;
3. Increase the maximum occupancy on the site at any one given time from 67 to 122 persons;
4. Permit 40,560 square feet of sacred text storage buildings;
5. Increase the maximum occupancy of the press facility from 27 to 94 persons;
6. Eliminate the current limitation on sacred text production and instead limit truck traffic

- associated with text and non-textual production; and
- 7. Terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism.

On June 7, 2012, the BZA, with a 5-0 vote, adopted the Mitigated Negative Declaration and approved the request by Ratna Ling Retreat Center for a Use Permit (PLP08-0021) to modify the master plan for the facility. An appeal was filed by Ward Anderson that same day. The appellant objected to the printing facility as an ancillary use and objected to the conversion of 40,560 square feet of temporary membrane structures for permanent storage of sacred texts, and further alleged that their industrial and commercial use did not comply with the General Plan and current codes. The appellant further argued that the proposed project involves a religious organization that is not subject to property or transient occupancy taxes and therefore would not cover ongoing fire fighting operating costs over the years. The appellant also noted the current operation produces and sells artifacts that are not consistent with non-commercial use. Finally, the appellant further argues that an Environmental Impact Report (EIR) should be required.

The project site includes two parcels of 112 acres and 13 acres located on the edge of clearings in an otherwise densely forested area. The site is situated on the top of the first ridge east of the coast line. Hauser Bridge Road traverses through the project site, dividing it in half.

The zoning is RRD (Resources and Rural Development), with a 240 acre density. The parcels located to the west and south are zoned RRD (Resource and Rural Development); the parcels located to the east are zoned RRD and TP (Timber Production); and the parcel located to the north is zoned TP. The surrounding parcels are predominately forest and grassland and either vacant or developed with single family dwelling units. Located to the west is a several hundred acre parcel in a Timber Preserve, to the south are parcels over 100 acres in a Timber Preserve, to the north and east are parcels approximately 100 acres in size with grazing.

Please see the attached Board of Supervisors Memo dated April 8, 2014, for further information.

<b>Prior Board Actions:</b>	
None.	
<b>Strategic Plan Alignment</b>	Goal 2: Economic and Environmental Stewardship
The preparation of the Subsequent Mitigated Negative Declaration and the Project conditions of approval further the goal of supporting uses as defined in the Zoning Code and the goal of protecting the environment by identifying ways to mitigate project impacts.	



<b>Fiscal Summary - FY 13-14</b>			
<b>Expenditures</b>		<b>Funding Source(s)</b>	
Budgeted Amount	\$	County General Fund	\$
Add Appropriations Req'd.	\$	State/Federal	\$
	\$	Fees/Other	\$
	\$	Use of Fund Balance	\$
	\$	Contingencies	\$
	\$		\$
<b>Total Expenditure</b>	<b>\$</b>	<b>Total Sources</b>	<b>\$</b>
<b>Narrative Explanation of Fiscal Impacts (If Required):</b>			
This is an At-Cost project and all fees are paid by the applicant.			
<b>Staffing Impacts</b>			
Position Title (Payroll Classification)	Monthly Salary Range (A – I Step)	Additions (Number)	Deletions (Number)
<b>Narrative Explanation of Staffing Impacts (If Required):</b>			
Not applicable.			
<b>Attachments:</b>			
Draft Board of Supervisors Resolution EXHIBIT A: Draft Conditions of Approval EXHIBIT B: Appeal Form dated June 7, 2012 and Amendment dated October 4, 2012 EXHIBIT C: Board of Zoning Adjustment's Staff Report dated April 5, 2012 EXHIBIT D: Board of Zoning Adjustment's Minutes dated April 5, 2012 EXHIBIT E: Board of Zoning Adjustment's Resolution No. 12-010 EXHIBIT F: Board of Zoning Adjustment's Minutes dated June 7, 2012 EXHIBIT G: Board of Zoning Adjustment's Memo dated June 7, 2012 EXHIBIT H: Updated Proposal Statement for Ratna Ling Master Use Permit Application (PLP08-0021), March 26, 2013 EXHIBIT I: Recognized Environmental Expertise, Gene Gretchen EXHIBIT J: Revised Site Plan dated May 23, 2013 EXHIBIT K: Memo from Ben Neuman to Cynthia Demidovich, dated April 9, 2012 EXHIBIT L: Email from Roberta MacIntyre, Fire Marshal, to Ben Neuman dated May 18, 2012			

EXHIBIT M:	Letter from Clement, Fitzpatrick & Kenworthy, with attached percolation tests, requesting a reduction from 6 to 5 bedrooms for the additional residence dated July 9, 2013
EXHIBIT N:	Letter from Clement, Fitzpatrick & Kenworthy attaching photographs of Ratna Ling dated June 20, 2013
EXHIBIT O:	Letter from DeWayne Starnes, Interim Director of PRMD and Chief Building Official for Sonoma County regarding Administrative Determination and Clarification dated October 10, 2013
EXHIBIT P:	Sonoma County Mutual Aid Agreement
EXHIBIT Q:	Letter/Email from Fire Marshal MacIntyre dated December 13, 2013
EXHIBIT R:	Letter and Certificate from Clement, Fitzpatrick & Kenworthy regarding Ratna Ling Membrane Structures Documentation dated December 13, 2013
EXHIBIT S:	Memo from Fire Marshal MacIntyre dated February 12, 2014
EXHIBIT T:	Memo from DeWayne Starnes, Chief Building Official for Sonoma County dated February 14, 2014
EXHIBIT U:	Letter from Clement, Fitzpatrick & Kenworthy regarding number of retreats in 2012, dated July 11, 2013
EXHIBIT V:	Correspondence from Fire Marshal MacIntyre dated June 22, 2012
EXHIBIT W:	Correspondence from Fire Marshal MacIntyre dated July 5, 2011
EXHIBIT X:	Correspondence from Fire Marshal MacIntyre dated December 9, 2013
EXHIBIT Y:	Memo from Ben Neuman to Cynthia Demidovich dated July 17, 2013
EXHIBIT Z:	Letter to DeWayne Starnes, Chief Building Official for Sonoma County, from Michael (Zippy) Singer, Chief, Timber Cove Fire Protection District, dated December 2, 2013
EXHIBIT AA:	Letter to DeWayne Starnes, Chief Building Official for Sonoma County, from Michael (Zippy) Singer, Chief, Timber Cove Fire Protection District dated December 11, 2013
EXHIBIT BB:	Memo from Ben Neuman to Cynthia Demidovich dated March 19, 2014
EXHIBIT CC:	Public Comment Letters of Support
EXHIBIT DD:	Public Comment Letters of Opposition
EXHIBIT EE:	Mitigated Negative Declaration dated February 10, 2011
EXHIBIT FF:	Subsequent Mitigated Negative Declaration dated February 28, 2014
<b>Related Items "On File" with the Clerk of the Board:</b>	
None	



# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

**DATE:** April 8, 2014 at 2:10 p.m.

**TO:** Board of Supervisors

**FROM:** Cynthia Demidovich, Project Planner

**SUBJECT:** Hearing to consider an appeal of the Board of Zoning Adjustment's approval of a Use Permit. Application No. PLP08-0021; Ratna Ling Retreat Center c/o Jack Petranker, applicant; Ward Anderson, appellant. Fifth District.

### Action Requested of the Board of Supervisors:

Your Board is requested to conduct a public hearing on the appeal. At the conclusion of the hearing your Board can decide whether to deny the appeal and uphold the Board of Zoning Adjustment's (BZA) decision to adopt of the Subsequent Mitigated Negative Declaration and approve the Use Permit for the Ratna Ling Buddhist retreat center, or uphold the appeal and deny the Use Permit, or otherwise modify the project. Staff recommended approval of the project to the BZA, and recommends that your Board deny the appeal.

### Prior Actions:

At its regularly scheduled meeting on September 9, 2004, the Board of Zoning Adjustments (BZA), with a 5-0 vote, approved a Use Permit (UPE04-0032) and adopted a Mitigated Negative Declaration for a Buddhist retreat center with an accessory non-profit printing facility. On the east side of Hauser Bridge Road, the Use Permit allowed the construction of nineteen new cabins, library, healing center (now known as the wellness center), and therapeutic pool. An existing lodge was converted to a meditation hall with a kitchen and dining facilities and one existing cabin was designated to be use by the retreat facility. The Buddhist retreat center has been in operation since February 21, 2006, when eight retreat cabins were constructed with approved Building Permits.

On the west side of Hauser Bridge Road the Use Permit allowed a new 18,750 square foot religious printing facility to be constructed and use of structures for the religious printing facility operations. The press facility was increased in size from 18,750 square feet to 21,234 square feet in size as a minor modification approved by the director. The existing structures included several storage buildings, and a 1,250 square-foot office. In addition, nine 420 square-foot cabins, two 1,500 square-foot single family dwellings, a 1,700 square-foot caretaker's residence, and a 1,012 square-foot commons building were also approved for housing volunteer workers for the print operations.

The purpose of the printing facility was to restore the sacred texts of the Tibetan Buddhist tradition that were destroyed after China invaded Tibet. The sacred texts are being produced but cannot be shipped to Tibet as yet. The applicant's goal is to preserve the sacred texts until they can be restored to Tibet. The applicant ships some of the sacred texts annually to India and other countries. The need for the printing facility was found to be directly related to the religious practice of preparing, printing, handling and storage of the sacred texts. The printing facility has been in operation since August 17, 2005. The BZA made the finding that the printing press facility was accessory to the primary use of the property as

a Buddhist retreat center and is a non-profit organization directly related to the doctrine of the religious organization.

On February 26, 2008, the applicant applied for a General Plan Amendment, Special Area Policy, and a Use Permit (PLP08-0021) to construct two large underground caves for sacred text storage and an exhibition/assembly hall for exhibition of religious materials and assemblies of religious people and scholars.

On March 26, 2008, the Permit and Resource Management Department (PRMD) approved a Zoning Permit (ZPE08-0074) to allow construction of two temporary storage structures of 6,000 and 2,560 square feet in size for the sacred texts. On April 21, 2008, PRMD revised the Zoning Permit approval to allow two additional temporary storage structures of 14,000 and 18,000 square feet in size to be constructed on existing tennis courts as "sacred text treasuries" for a three year period. On March 25, 2011, the Zoning Permit expired and PRMD approved a one-year time extension for the storage structures constructed on October 24, 2008. The larger sacred text treasuries located on the east side of Hauser Bridge Road are slightly visible from Hauser Bridge Road and are visible at a distance from King Ridge Road. The structures are approximately 40 feet high and the height limit in the RRD zoning district is 35 feet. An increase in height is allowed when Design Review is conducted. Staff conducted Administrative Design Review along with approval of ZPE08-0074 and determined that existing trees and shrubs provide sufficient screening of the structures as viewed from Hauser Bridge Road.

On August 1, 2007, PRMD approved Zoning Permit ZPE07-0164 for a small residential care facility which is not yet built for up to six persons, which is allowed by right in all zoning districts pursuant to State law.

On August 22, 2008, PRMD approved a Use Permit UPE07-0089 and adopted a Mitigated Negative Declaration for a 20 acre-foot reservoir and a modification to the wellness center by increasing the square footage previously approved with UPE04-0032.

On February 20, 2009, the applicant requested the proposed cave project be placed on hold in order to prepare a revised application submittal. On May 11, 2011, the applicant submitted a revised Use Permit (PLP08-0021) application and proposal statement, deleting the proposed underground caves. On December 20, 2011, the applicant submitted another revised proposal statement and included the following information: a description of how the press facility was an ancillary use, how the storage facilities are conforming, the energy efficiency of the project site, how hazardous materials are stored, and the new exterior colors of the storage facilities; with this information, staff deemed the project complete for processing.

On April 5, 2012, the Board of Zoning Adjustments (BZA), with a 5-0 straw vote, tentatively approved the proposed Use Permit, and continued the hearing requesting additional information from the applicant including: 1) the total maximum tonnage for the 24-foot long trucks; 2) a supplemental proposal statement identifying how production of artifacts can be limited; and 3) consult with the Fire Marshal regarding converting the temporary Sacred Text Treasury storage structures to permanent storage structures and compliance with the Building Code requirements. The BZA also directed staff to add the following additional conditions of approval: 1) the Use Permit shall be subject to a three-year review at a noticed public hearing; 2) the use of the press shall be limited to printing of Tibetan Buddhist text; and 3) Condition of Approval No. 82 shall be modified to require the applicant to register and remain current on all transient occupancy taxes for the retreat/camping use. However, the Assessor determined that the retreat use was exempt from paying transient occupancy tax as a religious retreat,

and the condition was revised accordingly to require a fee in-lieu of transient occupancy tax, and agreed to by the applicant.

On June 7, 2012, the BZA, with a 5-0 vote, adopted the Mitigated Negative Declaration and approved the request by Ratna Ling Retreat Center for a Use Permit (PLP08-0021) to modify the master plan for the facility. Also on June 7, 2012, an appeal of the decision was filed with the Board of Supervisors by Ward Anderson. The appeal states the violation complaint submitted to the PRMD in 2010 was not resolved and the Mitigated Negative Declaration did not address CEQA regulations.

On October 5, 2012, Rose M. Zoia submitted an amendment to the appeal stating the approved Use Permit violated the General Plan, Zoning Ordinance and CEQA regulations because an Environmental Impact Report was not prepared for the proposed project.

On March 26, 2013, the applicant submitted the following new documents to staff for review and are attached to the Subsequent Mitigated Negative Declaration:

- 1) Geologic Report for General Plan Policy WR-2e, EBA Engineering, Mike Delmanowski, P.G.,C.E.G., C.Hg., March 26, 2013;
- 2) Response to Lamman Hydrology Letter, EBA Engineering, Mike Delmanowski, P.G.,C.E.G., C.Hg., March 26, 2013;
- 3) Response to comments from Andrew R. Kluter of TJKM Transportation Consultants, W-Trans, Darlene J. Whitlock, PE, PTOE, January 10, 2013;
- 4) Vegetation Communities: Status and Anticipated Impacts, Ted Winfield & Associates, Ted P. Winfield, PhD., March 13, 2013;
- 5) Updated Proposal Statement for Ratna Ling Master Use Permit Application (PLP08-0021), March 26, 2013;
- 6) Recognized Environmental Expertise, Gene Gretchen, not dated; and
- 7) Revised Site Plan dated March 26, 2013.

The applicant's representative submitted correspondence dated June 20, 2013, which included photos of the project site as viewed from Hauser Bridge Road.

The applicant's representative submitted correspondence dated July 9, 2013, amending the applicant's March 26, 2013, proposal statement by reducing the size of the six-bedroom dwelling on the adjacent parcel to the north (APN 109-230-018) from six bedrooms to five bedrooms.

The appeal hearing before the Board of Supervisors was scheduled for August 20, 2013. On July 15, 2013, the applicant's representative requested the hearing be continued off the calendar. Ben Neuman, Manager of the Building and Safety Division, submitted a memo dated April 9, 2012, to the Project Planner, indicating that the tent membrane structures are not subject to the compliance with the 2010 California Building Code and wildfire exposure provisions as identified in Chapter 7A. DeWayne Starnes, Interim Director of the Permit and Resource Management Department, submitted correspondence dated October 10, 2013, to the applicant's representative. The correspondence

provides clarification of the memo dated April 9, 2012, from Ben Neuman to the Project Planner, and provides a formal determination that the membrane structures are required to comply with the 2007 California Building Code's requirements and not the 2010 California Building Code requirements as identified in Chapter 7A.

On November 18, 2013, the applicant's representative submitted the Sonoma County Mutual Aid Agreement and correspondence identifying the fire apparatus response list for the project site.

On December 2, 2013, the Timber Cove Fire Protection Chief, Michael (Zippy) Singer, submitted correspondence to DeWayne Starnes, Interim Director of PRMD and Chief Building Official for Sonoma County. The correspondence states that the four tent membrane structures are not in compliance with the current codes and a certification of compliance had not been submitted.

Roberta MacIntyre, Fire Marshal, submitted correspondence dated December 9, 2013, to the applicant's representative identifying four conditions of approval that have not been met by the applicant and requested proof that the membrane structure(s) meet the non-combustibility requirements.

On December 13, 2013, the applicant's representative submitted a "Certificate of Flame Resistance" for the tent membrane structures. The purpose of the certificate is to provide proof that the membrane structures meet the National Fire Protection Association (NFPA) 701 standards, as required by Section 3102 of the California Building Code. Staff determined that certificate only applied to one of the four tent membrane structures.

The PRMD scheduled a public hearing for the proposed project with the Board of Supervisors on January 28, 2014. On December 23, 2013, the applicant's representative requested the hearing be continued off the calendar.

On January 21, 2014, the applicant's representative submitted additional documentation to the PRMD for review including: "Certification of Flame Resistance" for membrane structures 2, 3, and 4.

Roberta MacIntyre, Fire Marshal, submitted correspondence dated February 12, 2014, to the Project Planner. After reviewing the documentation submitted by the applicant's representative on January 21, 2014, the Fire Marshal determined that sufficient evidence was provided to prove that the membrane structures are in compliance with the requirements for membrane structures per section 3102 of the 2007 California Building Code.

DeWayne Starnes, Chief Building Official for Sonoma County, submitted correspondence dated February 14, 2014. After reviewing the documentation submitted by the applicant's representative on January 21, 2014, the Chief Building Official determined that sufficient evidence was provided to prove that the membrane structures are in compliance with the building code. The Chief Building Official also stated the tent structures are defined as accessory structures, and are not required to comply with Chapter 7A of the 2007 California Building Code which governs materials and construction methods for exterior wildfire exposure for structures located in a Wildland-Urban Interface (WUI) fire area.

**Location, Zoning and Project Description:**

The subject property is located at 35755 and 36000 Hauser Bridge Road, Cazadero; APN's 109-230-024 and -018. The base zoning district is RRD (Resources and Rural Development), B6-240 acre density.

**Project Description:**

The proposed project is a request for a Use Permit for a revised Master Plan to expand the Ratna Ling Buddhist retreat center to include:

- 1) A seasonal campground with eight tent structures with a maximum occupancy of 24 persons to be constructed on the west side of Hauser Bridge Road south of the existing reservoir. The seasonal campground may be used from May 1st through October 30th. The seasonal tents will be constructed on wooden platforms and have electrical hook-ups;
- 2) An increase to the maximum occupancy on the project site (APN 109-230-024, and -018) at any one given time from 67 to 122 persons;
- 3) Production of non-textual sacred objects;
- 4) Construction of 4,080 square feet of residential storage in five buildings;
- 5) Elimination the current limitation of 100,000 books per year including text and non-textual production and instead limit truck traffic to an average of one truck round trip per day on an annual basis. The size of trucks traveling to and from the project site shall not exceed 24 feet in length;
- 6) A condition to terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism;
- 7) Allowance of permanent storage of sacred texts in the existing 40,560 square feet of temporary membrane structures;
- 8) An increase to the maximum occupancy of the existing press building from 27 to 94 persons; and
- 9) Construction of a 3,000 square foot five-bedroom retreat/house at 36000 Hauser Bridge Road, APN 109-230-018, for use by retreat visitors or volunteers as needed with a maximum occupancy of 12 persons.

**ISSUES RAISED AT THE HEARING**

**Issue #1:** Conversion of Temporary Storage to Permanent Storage

The appellant related that the membrane structures were originally approved in 2008 by an administrative decision without a public hearing or CEQA analysis. The membrane structures were allowed a Categorical Exemption based on the fact they were constructed over former tennis courts on a site that was previously developed. The appellant states that they are being granted permanent use

without the usual regulatory scrutiny. A determination should be made about the appropriateness for allowing such as use in a high fire zone. Whether to allow book storage of this scale in the Resource and Rural Development zoning district is a policy decision for the Board.

The applicant is proposing to convert 40,560 square feet of existing temporary membrane structures to permanent storage for sacred texts. No new construction is proposed with the conversion to permanent membrane storage.

The appellant states that the Sacred Text Treasury storage structures present an industrial fire hazard. They also related that the local fire department is equipped to fight wildland and structure fires, not industrial fires, and firefighting would be limited to protecting nearby property. The appellant emphasized the temporary membrane structures do not belong in a rural high hazard fire area, and should be located in an urban area with better emergency resources. They related that at the BZA public hearing on April 5, 2012, the BZA was going to give the temporary membrane structures permanent status, but wanted assurance the membrane structures met fire code.

#### Resolution

The BZA revised condition number 43 to read: *“The subject property must currently be in full compliance with Zoning regulations, Building Code regulations, Hazardous Materials regulations, and Fire Code Regulations. Prior to vesting this use for book storage the Fire Marshal and local Fire Chief shall inspect the facility. The Fire Marshal may impose additional requirements.”*

Sonoma County’s Chief Building Official provided a formal determination that the membrane structures are required to comply with the 2007 California Building Code and not the 2010 California Building Code as identified in Chapter 7A. The Chief Building Official also stated the tent structures are defined as accessory structures, and are not required to comply with Chapter 7A of the 2007 California Building Code which governs materials and construction methods for exterior wildfire exposure for structures located in a Wildland-Urban Interface (WUI) fire area.

Since the BZA approval the Fire Marshal inspected and requested proof that the membrane structures meet the fire safety requirements. The applicant’s representative submitted “Certificates of Flame Resistance” for all four of the membrane structures. The Sonoma County Fire Marshal determined that sufficient evidence was provided to prove that the membrane structures are in compliance with the requirements for membrane structures per section 3102 of the 2007 California Building Code. DeWayne Starnes, Chief Building Official for Sonoma County, determined that sufficient evidence was provided to prove that the membrane structures are in compliance with the applicable building code.

#### Issue #2:      Transient Occupancy Taxes

The appellant stated that the use at the project site was a religious organization and was not subject to pay property taxes or transient occupancy taxes. They further stated that in 2009 the land and structures were valued at \$26 million, and property taxes would have been \$26,000 a year for a normal landowner, but the actual taxes paid by the applicant were \$875. The appellant indicated the applicant paid \$75 to Timber Cove Fire Department and donated a \$300,000 fire engine. The appellant asserts that these measures will not mitigate for ongoing fire fighting operating costs over the years.



### Resolution

The BZA revised condition number 82 to read: *“Prior to vesting of this use permit or issuance of building permits the applicant/operator shall enter into an agreement with the County to pay an annual fee equal to and in lieu of transient occupancy tax for the retreat/camping use.”* The applicant has agreed with the condition.

### **Issue #3:** Artifacts

The appellant stated that the current operation produces and sells artifacts that were not approved with the 2004 use permit. Dharma Press internet website sells wrapping paper, notebooks, bookmarks, calendars, reading and note card, altars, mantras, mandalas, meditation cushions, prayer flags, and other items. The internet store is based at Ratna Ling and the orders shipped will impact the road according to the appellant. The petition also states this type of use is not ancillary to printing and is not allowed in the RRD zone.

The prior approved Use Permit (UPE04-0032) project description included a request to produce Tibetan books, prayer wheels, and art prints that will be donated at no charge to Tibetan refugees living in India and Nepal. BZA approved the proposed use on September 4, 2009. However, there was no mention of allowing this use in the final conditions of approval other than in the proposal statement which was listed in condition number 38. In addition, there was no condition limiting the production of artifacts in the final conditions of approval. The applicant now requests clarification to allow production of Tibetan books, prayer wheels, art prints, and other artifacts reflected in the conditions of approval.

### Resolution

The BZA revised condition number 59 to read: *“Production or assemblage of the sacred objects are limited to 10% of the printing facility floor area and storage of the non-textual objects shall be limited to the book storage structures (“sacred text treasuries”).”* *“Non-textual sacred objects are defined as: prayer wheels, calendars, cards, wrapping paper, art prints, thankas, malas, prayer flags, meditation cushions and similar objects subject to approval by the Director of PRMD.”*

## **ISSUES RAISED WITH APPEAL**

### **Issue #1:** General Plan Consistency

The appeal states: “The Board of Zoning Adjustments (BZA) approved the Use Permit in violation of the General Plan and Zoning Ordinance because the proposed project is inconsistent with the General Plan and Zoning”.

### Staff Comments

#### General Plan Consistency

The General Plan land use designation and zoning of the subject parcels are RRD (Resource and Rural Development) with a residential density of 240 acres per unit. The RRD zoning regulation implements the General Plan RRD land use designation, and permits uses or activities associated with natural resource production and protection, and rural uses that have a minimal impact on the environment. Lodges and clubs, including the proposed use, which is similar to a lodge or club, are

allowed in the RRD Zoning district with approval of a Use Permit provided they do not interfere with, or detract from, the purposes of this district.

The use of membrane structures and printing facility is not merely printing, storage and commercial warehousing of finished books but an integral part of the Tibetan Buddhist religious practice which requires the participation of volunteers and retreat guests in the production of sacred text and objects. The printing facility and membrane structures were permitted only as an accessory use to the religious facility retreat center and are not allowed as a primary use in the Resource and Rural Development zone.

Places of religious worship, lodges, schools, and hospitals are uses allowed in the RRD land use designation with a use permit. In approving the 2004 Use Permit, the BZA determined that the Buddhist retreat center is an allowable use in the RRD designation and would not interfere with the resource of this site as it would not involve the loss of timber; would not interfere with geothermal resource production; the site is not identified as an aggregate resource site in the Aggregate Resources Management Plan; and watersheds, fish, and wildlife habitat will be protected. The sacred text storage and press facility use is accessory to the primary use of the retreat center. Generally storage is limited on resource lands to the minimum necessary. The 21,234 square foot press facility and the 40,560 square foot book storage facility (61,794 square foot total) are an integral part of their retreat purpose and spiritual practice. The storage is very low intensity in that it does not generate significant traffic, water use, noise, or odors. With strict limitations storage size and truck trips for import and export of the books, the use as a printing and storage facility would be subordinate and incidental to the primary use as a retreat center. No further expansion of the printing or storage facility is allowed per condition of approval number 56(c) and 65.

The BZA determined the proposed project is consistent with the General Plan designation of Resource and Rural Development and made the following findings:

*The use, as conditioned, is consistent with the RRD (Resource and Rural Development) General Plan land use designation and the zoning district regulations as a Tibetan Buddhist retreat center, an accessory non-profit press facility and reservoir, as it would not detract from or impinge upon lands used for timber, geothermal and mineral resource production or natural resource conservation, and watersheds, fish, and wildlife habitat will be protected.*

In addition, as proposed, the BZA found the project compatible with the surrounding neighborhood. Existing structures are either not visible or are screened from public roads; no exterior noise is generated by operating the press machines; and traffic is reduced as volunteers and retreat guests would remain on-site rather than travel to and from the site on a daily basis.

### Zoning Consistency

The project site is zoned RRD (Resource and Rural Development), B6 260 acre density. Lodges and campgrounds are an allowed use subject to an approved Use Permit provided that lands needed for commercial timber production, geothermal production, aggregate production, lands needed for protection of watershed, fish and wildlife habitat, biotic resources, and agricultural production activities are protected. Accessory structures for storage are also allowed in the RRD zoning district. The maximum lot coverage on parcels greater than 20 acres in size is limited to 85,000 square feet or five percent whichever is greater. The retreat center, membrane structures and press facility are located on APN 109-230-014 which is 112 acres in size. The maximum allowed lot coverage on this parcel is 5.6

acres. The lot coverage for all existing and proposed structures will result in lot coverage of approximately 3.3 acres. The proposed project also meets the zoning standards for setbacks as they are located over 150 feet from all property boundary lines. The intensity of the sacred text storage is a very low intensity compared to the retreat center.

The five room retreat/house is a stand-alone structure on a separate 13 acre legal parcel and meets all setbacks, height, and lot coverage requirements.

The two existing 14,000 square foot and 18,000 square foot sacred text treasuries located on the east side of Hauser Bridge Road are slightly visible from Hauser Bridge Road and are visible at a distance from King Ridge Road. These storage structures are approximately 40 feet in height; the height limit in the RRD zoning district is 35 feet. An exception to the height limit is allowed when Design Review is conducted. Administrative Design Review was conducted along with approval of ZPE08-0074 and it was determined that existing trees and shrubs provide sufficient screening of the structures as they are viewed from Hauser Bridge Road. In addition, most of the previous exterior white color materials have been re-painted with tan, green, and blue, in efforts to provide compatibility with surrounding vegetation as viewed from King Ridge Road. The structures were not included in the prior Use Permit approval. However, in approving this Use Permit the BZA affirmed that the structures are allowed as an accessory use and upheld staff's design review determination.

The BZA determined the proposed project is consistent with the Zoning Code designation of Resource and Rural Development and made the following finding:

*The use is consistent with the intent and purpose of the RRD zoning district because it is a lodge that is an allowed use in the General Plan and zoning code.*

**Issue #2:** Environmental Review

The appeal states: *"The BZA violated CEQA in approving a Mitigated Negative Declaration and by not requiring the preparation of an Environmental Impact Report (EIR)".*

**Staff Comments**

The BZA adopted a Mitigated Negative Declaration, dated July 21, 2004, in approving the original Use Permit. Another Mitigated Negative Declaration dated August 22, 2008, was administratively approved using the Use Permit waiver process. Potential impacts related to the proposed project were identified and analyzed in the previously adopted MNDs and the impacts were determined to be less than significant with the incorporated mitigation measures and monitoring program, the threshold in determining whether an EIR is necessary. The applicant agreed to all the mitigation measures, and a mitigation monitoring program was incorporated into the conditions of approval for the project.

Staff prepared a Subsequent Mitigated Negative Declaration (SMND) to assess the potential environmental effects related to the new information. The SMND is only required to address the new information related to the project and not to re-evaluate the environmental impacts already analyzed by the prior MNDs. Nevertheless, to address concerns about the project raised by neighbors after the BZA had adopted the Mitigated Negative Declarations, the applicant submitted new reports and documentation regarding biological resources, groundwater resources, hazards, and traffic (see attachments in Subsequent Mitigated Negative Declaration). These additional reports provide substantial evidence confirming the conclusions of the original MNDs that the proposed Ratna Ling

facility will not have significant impacts on the environment that will not be mitigated to a level of less than significant with identified mitigation measures. No new impacts have been identified and there are no changes in the conditions of approval. There is no new information indicating potential for an impact that was not previously analyzed. As a result, the proposed project is in compliance with requirements of CEQA.

### **STAFF RECOMMENDATION**

Staff recommends that the Board hold a public hearing to consider the appeal and at the conclusion of the hearing your Board may take a straw vote providing direction to staff and continue the item to the consent calendar for a final Resolution.

The Board may either:

- 1) Deny the appeal and uphold the BZA's approval of the Use Permit, with or without modifications to the Conditions of Approval; or
- 2) Uphold the appeal and deny the BZA's approval of the Use Permit

### **List of Attachments:**

Draft Board of Supervisors Resolution

EXHIBIT A: Draft Conditions of Approval

EXHIBIT B: Appeal Form dated June 7, 2012 and Amendment dated October 4, 2012

EXHIBIT C: Board of Zoning Adjustment's Staff Report dated April 5, 2012

EXHIBIT D: Board of Zoning Adjustment's Minutes dated April 5, 2012

EXHIBIT E: Board of Zoning Adjustment's Resolution No. 12-010

EXHIBIT F: Board of Zoning Adjustment's Minutes dated June 7, 2012

EXHIBIT G: Board of Zoning Adjustment's Memo dated June 7, 2012

EXHIBIT H: Updated Proposal Statement for Ratna Ling Master Use Permit Application (PLP08-0021), March 26, 2013

EXHIBIT I: Recognized Environmental Expertise, Gene Gretchen

EXHIBIT J: Revised Site Plan dated May 23, 2013

EXHIBIT K: Memo from Ben Neuman to Cynthia Demidovich, dated April 9, 2012

EXHIBIT L: Email from Roberta MacIntyre, Fire Marshal, to Ben Neuman dated May 18, 2012

EXHIBIT M: Letter from Clement, Fitzpatrick & Kenworthy, with attached percolation tests, requesting a reduction from 6 to 5 bedrooms for the additional residence dated July 9, 2013

EXHIBIT N: Letter from Clement, Fitzpatrick & Kenworthy attaching photographs of Ratna Ling dated June 20, 2013

EXHIBIT O: Letter from DeWayne Starnes, Interim Director of PRMD and Chief Building Official for Sonoma County regarding Administrative Determination and Clarification dated October 10, 2013

EXHIBIT P: Sonoma County Mutual Aid Agreement

EXHIBIT Q: Letter/Email from Fire Marshal MacIntyre dated December 13, 2013

EXHIBIT R: Letter and Certificate from Clement, Fitzpatrick & Kenworthy regarding Ratna Ling Membrane Structures Documentation dated December 13, 2013

EXHIBIT S: Memo from Fire Marshal MacIntyre dated February 12, 2014

EXHIBIT T: Memo from DeWayne Starnes, Chief Building Official for Sonoma County dated February 14, 2014

- EXHIBIT U: Letter from Clement, Fitzpatrick & Kenworthy regarding number of retreats in 2012, dated July 11, 2013
  - EXHIBIT V: Correspondence from Fire Marshal MacIntyre dated June 22, 2012
  - EXHIBIT W: Correspondence from Fire Marshal MacIntyre dated July 5, 2011
  - EXHIBIT X: Correspondence from Fire Marshal MacIntyre dated December 9, 2013
  - EXHIBIT Y: Memo from Ben Neuman to Cynthia Demidovich dated July 17, 2013
  - EXHIBIT Z: Letter to DeWayne Starnes, Chief Building Official for Sonoma County, from Michael (Zippy) Singer, Chief, Timber Cove Fire Protection District, dated December 2, 2013
  - EXHIBIT AA: Letter to DeWayne Starnes, Chief Building Official for Sonoma County, from Michael (Zippy) Singer, Chief, Timber Cove Fire Protection District dated December 11, 2013
  - EXHIBIT BB: Memo from Ben Neuman to Cynthia Demidovich dated March 19, 2014
  - EXHIBIT CC: Public Comment Letters of Support
  - EXHIBIT DD: Public Comment Letters of Opposition
  - EXHIBIT EE: Mitigated Negative Declaration dated February 10, 2011
  - EXHIBIT FF: Subsequent Mitigated Negative Declaration dated February 28, 2014
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County of Sonoma  
State of California

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Date: April 8, 2014

Item Number: \_\_\_\_\_

Resolution Number: \_\_\_\_\_

PLP08-0021 Cynthia Demidovich

4/5 Vote Required

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**Resolution Of The Board Of Supervisors Of The County Of Sonoma, State Of California,  
Denying The Appeal , Thereby Adopting A Subsequent Mitigated Negative Declaration And  
Granting A Use Permit For A Revised Master Plan For A Retreat Center On Property Located  
At 35755 And 36000 Hauser Bridge Road, Cazadero; APNs 109-230-024 And -018.**

**Whereas**, the applicant, Ratna Ling Retreat Center c/o Jack Petranker, filed a Use Permit application with the Sonoma County Permit and Resource Management Department for a Master Plan for the Ratna Ling Buddhist Monastery expanding an existing retreat center with an accessory non-profit Tibetan Buddhist printing facility for property located at 35755 and 36000 Hauser Bridge Road, Cazadero; APN 109-230-024 and -018; Zoned RRD (Resources and Rural Development), 240 acre density; Fifth District (“the Project”); and

**Whereas**, a Mitigated Negative Declaration was prepared for the Project and noticed and made available for agency and public review in accordance with the California Environmental Quality Act (“CEQA”) and the State and County CEQA Guidelines; and

**Whereas**, at its regularly scheduled meeting on April 5, 2012, the Board of Zoning Adjustments took a 5-0 straw vote to approve the project and continued the matter to June 7, 2012, for final decision, and

**Whereas**, in accordance with applicable provisions of law, the Board of Zoning Adjustments held a public hearing on June 7, 2012, at which time the Board of Zoning Adjustments heard and received all relevant testimony and evidence presented orally or in writing regarding the Mitigated Negative Declaration and the Project. All interested persons were given an opportunity to hear and be heard regarding the Mitigated Negative Declaration and the Project; and

**Whereas**, at its regularly scheduled meeting on June 7, 2012, the Board of Zoning Adjustments with a 5-0 vote approved the request, subject to conditions; and

**Whereas**, on June 7, 2012, Ward Anderson filed an appeal of the decision with the Board of Supervisors; and

**Whereas**, a Subsequent Mitigated Negative Declaration was prepared and circulated to

the state clearinghouse on February 28, 2014, and made available for agency and public review in accordance with the California Environmental Quality Act ("CEQA") and the State and County CEQA Guidelines; and

**Whereas**, the Board of Supervisors has had an opportunity to review this Resolution and finds that it accurately sets forth the intentions of the Board regarding the Subsequent Mitigated Negative Declaration and the Project; and

**Whereas**, in accordance with the provisions of law, the Board of Supervisors held a public hearing on April 8, 2014, at which time all interested persons were given an opportunity to be heard on the project.

**Now, Therefore, Be It Resolved** that the Board of Supervisors makes the following findings:

1. The use, as conditioned, is consistent with the RRD (Resource and Rural Development) General Plan land use designation and the zoning district regulations as a Tibetan Buddhist retreat center, an accessory non-profit press facility and reservoir, as it would not detract from or impinge upon lands used for timber, geothermal and mineral resource production or natural resource conservation, and watersheds, fish, and wildlife habitat will be protected.
2. The use is consistent with the intent and purpose of the RRD zoning district because it is a lodge that is an allowed use in the General Plan and zoning code.
3. Based upon the whole record (including the Initial Study and all comments received) there is no substantial evidence that the Project will have a significant environmental effect. Changes or alterations have been required in, or incorporated into, the Project through the Conditions of Approval imposed herein that avoid or substantially lessen the potentially significant environmental effects of the Project. These changes or alterations have been agreed to by the applicant. The Subsequent Mitigated Negative Declaration has been completed in compliance with CEQA State and County guidelines, and the information contained therein has been reviewed and considered.
4. The establishment, maintenance or operation of the use for which application is made will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such use, nor be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the area. The particular circumstances in this case are:
  - a. A Traffic Study dated July 29, 2011, was prepared for the proposed project by W-Trans. The study determined that according to design standards published

by AASHTO both Hauser Bridge Road and Seaview Road currently meet the low-volume criterion and are projected to continue to meet this criterion under future conditions. The study concluded that there was no evidence of a site-specific safety problem attributed to inadequate sight distance. However, the study did recommend that a curve warning sign with a supplemental 15 mph advisory speed limit sign be installed on Hauser Bridge Road near the intersection of Seaview Road to warn drivers of the road conditions. The Sonoma County Department of Public Works reviewed the Traffic Study prepared by W-trans and conditioned the proposed project to place pavement markers along the center of the pavement at one location to separate opposing traffic along the vertical curve in the road alignment at post mile 6.82.

b. A Greenhouse Gas Analysis dated January 18, 2012, was prepared for the proposed project by URS Corporation. The analysis found that the proposed project would not have a significant impact on GHG emissions. However, additional reductions in green house gas emissions are required as a condition of approval to meet the County General Plan objectives.

c. The new five-guest room retreat/house will be visible from Hauser Bridge Road, however existing trees and shrubs provide some screening between the proposed six-guest room retreat/house and Hauser Bridge Road. The seasonal campground is not visible from Hauser Bridge Road.

d. The five-guest room retreat/house and a campground will not generate hazardous materials as the use is residential in nature. The existing operation of the accessory press facility generates minimal amounts of hazardous materials. The accessory press facility has a Hazardous Materials Business Plan approved and on file with the Sonoma County Hazmat/Fire Division.

e. An existing 20 acre-foot reservoir previously approved is located on the project site and has the capacity to provide water to the existing facility, the proposed six-guest room retreat/house, and the eight-tent campground.

f. The press and book storage is an integral part of their retreat purpose, spiritual practice, and not a commercial or warehousing of finished books. The storage is very low intensity in that it does not generate significant traffic, water use, noise, or odors. With strict limitations on the size of the storage and limiting the number of truck trips for import and export of the books, the use as a printing and storage facility can be made subordinate and incidental to the primary use. No further expansion of the print storage facility is allowed.

**Be It Further Resolved** that the Board of Supervisors hereby adopts the Subsequent Mitigated Negative Declaration and Mitigation Monitoring Program set forth in the Conditions of Approval. The Board of Supervisors certifies that the Subsequent Mitigated Negative Declaration has been completed, reviewed, and considered, together with comments received



Resolution #  
Date: April 8, 2014  
Page 4

during the public review process, in compliance with CEQA and State and County CEQA Guidelines, and finds that the Subsequent Mitigated Negative Declaration reflects the independent judgment and analysis of the Board.

**Be It Further Resolved** that the Board of Supervisors denies the appeal thereby upholding the Board of Zoning Adjustments decision and approving the Use Permit subject to the conditions in Exhibit "A", attached hereto.

**Be It Further Resolved** that the Board of Supervisors designates the Clerk of the Board as the custodian of the documents and other material which constitute the record of proceedings upon which the decision herein is based. These documents may be found at the office of the Clerk of the Board, 575 Administration Drive, Room 100-A, Santa Rosa, California 95403.

**Supervisors:**

Gorin:	Zane:	McGuire:	Carrillo:	Rabbitt:
Ayes:	Noes:	Absent:	Abstain:	

**So Ordered.**

**SONOMA COUNTY BOARD OF SUPERVISORS**

**Conditions of Approval  
Exhibit A**

**Date:** April 8, 2014 **File No.:** PLP08-0021  
**Applicant:** Ratna Ling Retreat Center **APN:** 109-230-024 and -018  
c/o Jack Petranker  
**Address:** 35755 and 36000 Hauser Bridge Road, Cazadro

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**Project Description:** Request for a Use Permit for a revised Master Plan to expand the Ratna Ling Buddhist retreat center and an existing 21,234 square foot accessory non-profit Tibetan Buddhist printing facility to include: 1) the construction of a 3,000 square foot six-bedroom residential facility at 36000 Hauser Bridge Road, APN 109-230-018 with a maximum occupancy of 12 persons; 2) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons is allowed to be constructed on the west side of Hauser Bridge Road south of the existing reservoir consistent with the project proposal statement and approved site plan. The seasonal campground may be used from May 1st through October 30th. The seasonal tents will be constructed on wooden platforms and have electrical hook-ups; 3) allow the maximum occupancy on the project site (APN 109-230-024, and -018) at any one given time to be 122 persons; 4) make non-textual sacred objects; 5) construct 4,080 square feet of residential storage in five buildings; 6) eliminate the current limitation on sacred text production and instead limit truck traffic associated with text and non-textual production; 7) terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism; 8) permit 40,560 square feet of sacred text storage buildings located in existing on-site buildings; and 9) change the maximum occupancy of the existing press building from 27 to 94 persons.

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**BUILDING:**

1. The applicant shall apply for and obtain building related permits from the Permit and Resource Management Department (PRMD). The necessary applications appear to be, but may not be limited to, site review, building permit, and grading permit.
2. Prior to initiation of the approved use, the project shall comply with the accessibility requirements set forth in the most recent California Building Code (CBC), as determined by the PRMD Building Division. Such accessibility requirements shall apply to all new construction and remodeling and, where required by the CBC, to retrofitting of the existing structure.

**HEALTH:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

PRIOR TO BUILDING PERMIT AND VESTING THE USE PERMIT:

Water:

3. Prior to building permit issuance and vesting the Use Permit, the applicant shall have the water supply system evaluated by a licensed civil engineer experienced in water supply systems. The evaluation shall calculate if there is sufficient water supply to meet both the Maximum Day Demand and the average demand for the entire year (annual water balance). The report shall be submitted to the California Department of Public Health, Division of Drinking Water and Environmental Management (CDPH-DDWEM) and to the Project Review Health Specialist at PRMD for review and approval.
4. Prior to building permit issuance, the applicant shall provide the Project Review Health Specialist with the bacteriological (E. Coli and total coliform) arsenic and nitrate analysis results of a sample of the well water tested by a California State-certified lab. If the analysis shows contamination, the applicant will be required to treat the well per County requirements and re-test the well. If the

contamination cannot be cleared from the well, destruction under permit of this department may be required. Copies of all laboratory results must be submitted to the Project Review Health Specialist.

5. Prior to the issuance of any building permit, an easement is required to be recorded for this project to provide Sonoma County personnel access to any on-site water well serving this project and any required monitoring well to collect water meter readings and groundwater level measurements. Access shall be granted Monday through Friday from 8:00 a.m. to 5:00 p.m. All easement language is subject to review and approval by PRMD-Project Review and County Counsel prior to recordation.

Septic:

6. Prior to building permit issuance and vesting the Use Permit, the applicant shall obtain a permit for the construction of a six bedroom residential facility on APN 109-230-018 the sewage disposal system. The system may require design by a Registered Civil Engineer or Registered Environmental Health Specialist and both soils analysis, percolation and wet weather testing may be required. The sewage system shall meet peak flow discharge of the wastewater from all sources granted in the Use Permit and any additional sources from the parcel plumbed to the disposal system, and shall include the required reserve area.

If a permit for a standard, innovative or experimental sewage disposal system sized to meet all peak flows cannot be issued, then the applicant shall revise the project (fees apply and a hearing may be required) to amend the Use Permit to a reduced size, not to exceed the on-site disposal capabilities of the project site and attendant easements. The Project Review Health Specialist shall receive a final clearance from the Well and Septic Section that all required septic system testing and design elements have been met.

7. Prior to building permit issuance and vesting the Use Permit, the applicant shall have a capacity/wastewater flow analysis and proper functioning of the wastewater system inspection completed by a Registered Civil Engineer or Registered Environmental Health Specialist regarding the existing septic system's ability to accommodate the peak flows from the seasonal campground with eight tent structures with a maximum occupancy of 24 persons, Health Clinic, Senior Center and all other sources granted in the Use Permit and any additional sources from the parcel that are plumbed to this septic system.

Any necessary system expansion or modifications, and demonstration of reserve areas, shall be done under permit and the current standards from the PRMD Well and Septic Section and may require both soils analysis, groundwater and percolation testing. If a permit for a standard, innovative or experimental sewage disposal system sized to meet all peak flows cannot be issued, then the applicant shall revise the project (fees apply and a hearing may be required) to amend the Use Permit to a reduced size, not to exceed the on-site disposal capabilities of the project site and attendant easements. The Project Review Health Specialist shall receive a final clearance from the Well and Septic Section that all required septic system testing and design elements have been met.

8. In-room Jacuzzi tubs, hot tubs or any other over-size tub designed for use by two or more persons, or any common area Jacuzzi or hot tub, or Vichy Shower shall not be allowed unless they are specified in the septic system analysis and additional capacity in the septic system is allocated for their use.
9. Application for wastewater discharge requirements shall be updated (the current permit is WDID NO. 1B00162RSON, issued on May 20, 2005) by the applicant with the North Coast Regional Water Quality Control Board. Documentation of acceptance of a complete application with no initial objections or concerns by the Regional Water Quality Control Board shall be submitted to Project Review Health prior to building, grading for ponds or septic permit issuance (If the

Regional Water Board Water Resource Engineer or Environmental Specialist have objections or concerns then the applicant shall obtain Waste Discharge Requirements prior to building permit issuance). A copy of the waste discharge permit shall be submitted to Project Review Health prior to issuance of a certificate of occupancy or project operation. An application may be printed from: <http://www.waterboards.ca.gov/northcoast/geninfo/genwinerywdr/wine.html>

10. For multi-unit projects served by septic systems, a final summary submittal must be provided by the consultant. It must include the following for each occupied structure and tent structures in an organized booklet format: percolation test(s), hydrometer test(s), ground water test(s) results, and septic system designs including a site map that shows the septic system in relation to the structures and wells on the property.
11. Prior to the issuance of building permits and the start of any construction, plans and specifications for any public swimming pool or spa must be submitted to, and approved by, the Environmental Health Division of the Health Services Department. This condition also applies to restrooms, showers, equipment rooms and fences associated with the pools or spa. Contact the Environmental Health Division at 565-6544 for information. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the State of California regulations on public swimming pools and spas.

Vector Control:

12. A Mosquito and Vector Control Plan acceptable to the Marin-Sonoma Mosquito and Vector Control District (telephone 707-285-2200) shall be submitted prior to the construction of any ponds. The Project Review Health Specialist shall receive a copy of the Vector Control Plan and an acceptance letter from the Marin-Sonoma Mosquito and Vector Control District.

PRIOR TO OCCUPANCY:

13. A separate, dedicated monitoring well is required to be drilled for this project. The monitoring well is required to be drilled under permit of this Department and shall be of a depth, screening and development comparable to the supply well. The monitoring well shall be located as far away from other wells, ponds and wastewater disposal fields as is consistent with being in the same geologic formation as the primary well and being accessible by street vehicle. The monitoring well location shall be approved by PRMD in advance of construction. The monitoring well shall be marked with a water level measuring reference point, and the GPS coordinates (in NAD83 California State Plane II or WGS 84 lat./long.) of the monitoring well shall be submitted to PRMD.

OPERATIONAL REQUIREMENTS:

Water:

14. A safe, potable water supply shall continue to be provided and maintained.
15. The location of the wells, and groundwater elevations and quantities of groundwater extracted for this use shall continue to be monitored quarterly and reported to PRMD in January of the following year pursuant to Section WR-2d of the Sonoma County General Plan and County policies. Annual monitoring fees shall be paid at the rate specified in the County Fee Ordinance. If the County determines that groundwater levels are declining in the basin, then the applicant shall submit and implement a Water Conservation Plan, subject to review and approval by PRMD.
16. Required water meters shall be calibrated, and copies of receipts and correction factors shall be submitted to PRMD Project Review staff at least once every five years.

17. Groundwater elevations and quantities of groundwater extracted for this site shall be monitored and reported to PRMD pursuant to section RC-3b of the Sonoma County General Plan and County policies.
18. Provide one lifeboat kept in good repair, fully equipped with oars, oarlocks, at least two life jackets, two life preserver rings and two hundred feet of rope stationed near the reservoir. The word "LIFEBOAT" shall be plainly painted on both sides of the boat, and the boat shall only be used for emergencies upon the reservoir.

The requirement for emergency equipment does not imply or authorize recreational use of the reservoir, it only acknowledges the general presence of the public and staff at this facility.

Septic:

19. Maintain the Annual Operating Permit for any alternative (mound or pressure distribution) or experimental sewage disposal system installed per Sonoma County Code 24-32, and all applicable waste discharge requirements set by the Regional Water Quality Control Board.
20. Use of the on-site wastewater disposal system shall be in accordance with the design and approval of the system.
21. All future sewage disposal system repairs shall be completed in the Designated Reserve areas and shall meet Class I Standards. Alternate reserve areas may be designated if soil evaluation and testing demonstrate that the alternative reserve area meets or exceeds all of the requirements that would have been met by the original reserve area. If wastewater ponds or a package treatment plant are needed, then a modification of the Use Permit may be required, as determined by PRMD.

Consumer Protection:

22. Obtain and maintain all required Food Industry Permits from the Sonoma County Environmental Health Division prior to serving any food.
23. Maintain all required Food Industry Permits.
24. Prior to the issuance of building permits and the start of any construction, plans and specifications for any retail food facility must be submitted to, and approved by, the Environmental Health Division of the Health Services Department. Contact the Environmental Health Division at 565-6544 for information. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the California Uniform Retail Food Facility Law (CURFFL).
25. Prior to the operation of any public swimming pool or spa, a Swimming Pool Permit must be obtained from the Environmental Health Division of the Health Services Department. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the State of California regulations on public swimming pools and spas.
26. Maintain all required Public Swimming Pool or Spa Permits.

Noise:

27. Noise shall be controlled in accordance with Table NE-2 (or an adjusted Table NE-2 with respect to ambient noise as described in General Plan 2020, Policy NE-1c,) as measured at the exterior property line of any affected residential or sensitive land use:

TABLE NE-2: Maximum Allowable Exterior Noise Exposures

Hourly Noise Metric <sup>1</sup> , dBA	Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
L50 (30 minutes in any hour)	50	45
L25 (15 minutes in any hour)	55	50
L08 (5 minutes in any hour)	60	55
L02 (1 minute in any hour)	65	60
<sup>1</sup> The sound level exceeded n% of the time in any hour. For example, the L50 is the value exceeded 50% of the time or 30 minutes in any hour; this is the median noise level. The L02 is the sound level exceeded 1 minute in any hour.		

28. If noise complaints are received from nearby residents, and they appear to be valid complaints in PRMD's opinion, then the applicant shall conduct a Noise Study to determine if the current operations meet noise standards and identify any additional noise Mitigation Measures if necessary. A copy of the Noise Study shall be submitted to the Project Review Health Specialist within sixty days of notification from PRMD that a noise complaint has been received. The owner/operator shall implement any additional Mitigation Measures needed to meet noise standards.

Solid Waste:

29. All garbage and refuse on this site shall accumulate or be stored in non-absorbent, water-tight, vector resistant, durable, easily cleanable, galvanized metal or heavy plastic containers with tight fitting lids. No refuse container shall be filled beyond the capacity to completely close the lid. Garbage and refuse on this site shall accumulate or be stored for no more than seven calendar days, and shall be properly disposed of at a County Transfer Station or County Landfill before the end of the seventh day. Please note that the Local Enforcement Agency (at Environmental Health) bills at an hourly rate for enforcement of violations of the solid waste requirements.

Medical Waste:

30. Maintain all required Medical Waste Permits.

Hazardous Materials Program:

31. Comply with applicable hazardous waste generator, underground storage tank, above ground storage tank and AB2185 (hazardous materials handling) requirements and maintain any applicable permits for these programs from the Hazardous Materials Division of Sonoma County Department of Emergency Services.

**TRANSPORTATION AND PUBLIC WORKS:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

32. Upon approval of this application by the authorizing body, the Department of Transportation and Public Works (DTPW) will place raised pavement markers along the center of the pavement at one location in order to separate opposing traffic along the vertical curve in the road alignment (post mile 6.82). The DTPW will bill the Applicant for the labor and materials cost of the marker installation. Payment to DTPW is required prior vesting this Use Permit and prior to issuance of building permits for the residential facility and tent platforms.

33. Prior to issuance of a building permit for any new building or prior to any new use of an existing building, the Applicant shall pay Traffic Mitigation fees to the County of Sonoma, as required by Section 26, Article 98 of the Sonoma County Code.

34. All improvements shall be constructed in accordance with the Department of Transportation and Public Works Road Policy.
35. The applicant shall contact the Sonoma County Department of Transportation and Public Works and have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive.

Mitigation Monitoring: The applicant shall contact the Sonoma County Department of Public Works and pay to have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive prior to issuance of building/grading permits.

36. Pavement markers shall be placed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment prior to issuance of building/grading permits.

Mitigation Monitoring: The pavement markers shall be installed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment subject to review and approval by Department of Public Works and prior to building/grading permits.

#### **GRADING AND STORM WATER:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

37. Prior to issuance of a grading or building permit, the applicant shall submit for review and approval the grading and drainage improvement plans necessary for the proposed project. Drainage improvements shall be designed in accordance with the Sonoma County Water Agency Flood Control Design Criteria and shall maintain sheet flow or existing drainage patterns to the maximum extent practicable. The Improvement Plans shall also include erosion prevention/sediment control measures, details, notes, and specifications to prevent damages and minimize adverse impacts to the environment.
38. The design engineer shall include a grading plan which clearly shows all existing and proposed land features, excavation spoils sites, roads, driveways, buildings, finish floor elevations and drainage facilities such as swales, channels, closed conduits, or drainage structures.
39. The design engineer shall include an erosion prevention/sediment control plan which clearly shows all best management practices (BMP's), pertinent details, notes, and specifications to prevent damage and minimize adverse impacts to the environment.
40. A drainage report/analysis for the proposed project shall be prepared by a civil engineer and be submitted with the grading and/or building permit application. The drainage report shall include, at a minimum, a project narrative, on- & off-site hydrology maps, hydrologic calculations, hydraulic calculations, and an analysis for all pertinent existing and proposed drainage facilities.
41. Drainage improvements shall be designed by a civil engineer in accordance with the Sonoma County Water Agency Flood Control Design Criteria, be shown on the improvement plans, and be submitted to the Drainage Review Section of the Permit and Resource Management Department for review and approval. Drainage improvements shall maintain sheet flow, maintain existing drainage patterns, or convert concentrated flow to sheet flow to the maximum extent practicable.
42. A setback line along the waterway shall be measured from the toe of the stream-bank outward, a distance of 2 ½ times the height of the stream-bank plus 30 feet, or 30 feet outward from the top of the stream-bank whichever distance is greater.

**FIRE AND EMERGENCY SERVICES:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

43. The subject property must currently be in full compliance with Zoning regulations, Building Code regulations, Hazardous Materials regulations, and Fire Code Regulations. Prior to vesting this use for book storage the Fire Marshal and local Fire Chief shall inspect the facility. The Fire Marshal may impose additional requirements.
44. A building permit shall be obtained for the construction of any new structures, the addition or remodeling of any existing structure, or any change in the use or character of a building that will place it in a different occupancy group:
  - a. If the proposed six-bedroom residential facility is intended to house occupants who are primarily transient in nature, the building shall be constructed as an R-1 Occupancy as defined in the 2010 California Building Code.
  - b. The maximum area of an accessory use structure associated with a residential use of a property is 3,000 sq. ft. (including structures used for storage). The proposed 4,080 sq. ft. "residential storage building" shall be treated as a structure with a commercial use.
45. This facility requires an annual fire safety inspection. The county or fire district which inspects the facility may charge and collect a fee for the inspection from the owner of the facility in an amount, as determined by the county or fire district, sufficient to pay its costs of that inspection.
46. Facility operator shall develop (or update) an emergency response plan consistent with Chapter 4 of the 2010 California Fire Code as adopted and amended by Sonoma County Code. Fire safety plans, emergency procedures, and employee training programs shall be approved by the fire code official.
47. Applicable Fire Code operational permits shall be obtained prior to the initiation of any activity where an operational permit is required by the California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Operational Permit may be required at this facility:
  - a. Private educational facility
  - b. Hazardous material: storing, transporting on site, dispensing, using or handling hazardous materials
  - c. Hazardous Production Materials facility
  - d. High-piled storage exceeding 500 square feet
  - e. LP-gas Storage and use over 500 gallons water capacity and Operation of cargo tankers that transport LP-gas
  - f. Open flames and candles in connection with an assembly area, dining area of a restaurant or drinking establishment
  - g. Organized camp
  - h. Place of assembly
  - i. Residential occupancy housing 10 or more occupants



- j. Special events
  - k. Temporary membrane structures, tents with an area in excess of 400 square feet
48. Applicable Fire Code construction permits shall be obtained prior to any construction that would require such permit required by California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Construction Permits may be required for this project:
- a. Automatic fire-extinguishing system
  - b. Fire alarm and detection systems and related equipment
  - c. Fire pumps and related equipment
  - d. Private fire hydrant
49. To facilitate locating an emergency and to avoid delays in response; all existing and newly constructed or approved roadways and buildings whether public or private shall provide for safe access for emergency fire apparatus and civilian evacuation concurrently, and shall provide unobstructed traffic circulation during an emergency, and shall be constructed and maintained as required by Sonoma County Fire Safe Standards and the California Fire Code, as adopted and amended by Sonoma County Code:
- a. All roadways shall provide year-round unobstructed access to conventional drive vehicles, including sedans and fire engines as required by Sonoma County Fire Safe Standards.
  - b. All existing roadway structures, such as bridges and crossings, that are part of an emergency access shall have their allowable weight limit (as determined by an engineer qualified to evaluate roadway structures) posted as required by the California Fire Code as adopted and amended by Sonoma County Code.
  - c. All roadways shall be identified by approved road names posted on signs clearly visible and legible from the roadway and at interchanges, as required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - d. All buildings shall be identified by approved address numbers, posted on signs clearly visible and legible from the roadway and at interchanges, as required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - e. Any newly created or approved roadways, newly constructed roadways, extended roadways, and reconstructed or improved roadways shall be constructed and maintained in compliance with the California Fire Code, as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - f. An affirmative covenant, that includes a road maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.
  - g. Individual parcels, buildings, or groups of buildings served by a private driveway or similar roadway system, shall be provided with an address directory as determined by the County Fire Marshal. The address directory shall be placed at the intersection of those roads, streets and/or private lanes. The directory shall be maintained by the property owner, Homeowner's Association, or other individual or group in charge of the property.

50. Emergency water supply for fire protection shall be available and accessible in locations, quantities and delivery rates as specified in the California Fire Code as adopted and amended by Sonoma County Code:
  - a. Fire hydrants shall be installed as required by the California Fire Code as adopted and amended by Sonoma County Code.
  - b. Emergency water supply for fire suppression may be provided in a naturally occurring or manmade containment structure for projects not served by a municipal water system, as long as the specified quantity and delivery rate is immediately provided.
  - c. An affirmative covenant, that includes an emergency water system maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.
  
51. To reduce the intensity of a wildfire by reducing the volume and density of flammable vegetation, the strategic siting of fuel modification and greenbelts shall provide (1) increased safety for emergency fire equipment and evacuating civilians; and (2) a point of attack or defense from a wildfire, and shall be in accordance with the California Fire Code as adopted and amended by Sonoma County Code and Sonoma County Fire Safe Standards:
  - a. On each parcel, building setbacks shall be in compliance with the California Fire Code and California Building Code as adopted and amended by Sonoma County Code, and Sonoma County Fire Safe Standards Section 13-55.
  - b. All existing buildings shall meet the requirements of: California Code of Regulations, Title-19, Division-1, Section 3.07(b); Chapter 3 of the California Fire Code as adopted and amended by Sonoma County Code; and Chapter 49 of the California Fire Code as adopted and amended by Sonoma County Code.
  - c. Any development which designates a facility or land use as a greenbelt shall locate the greenbelt strategically, as a separation between wildland fuels and buildings. The Director of Permit and Resource Management shall approve the location of any greenbelt.
  - d. Building setbacks shall be in compliance with Sonoma County Fire Safe Standards Section 13-55.
  - e. In areas designated as high- or very-high fire severity areas, an approved a vegetation management plan and agreement to perform annual maintenance shall be provided by the applicant and approved by the County Fire Marshal.
  - f. An affirmative covenant, that includes a vegetation management maintenance agreement approved by the County Fire Marshal, which shall run with the land in perpetuity, shall be provided.
  
52. Existing buildings shall be brought into compliance with the requirements of Chapter 46 of the California Fire Code as adopted and amended by Sonoma County Code.
  
53. Fire protection systems shall be installed within buildings and structures in compliance with California Fire Code as adopted and amended by Sonoma County Code.
  
54. Emergency responder radio coverage system shall be provided in compliance with Section 510 of the California Fire Code as adopted and amended by Sonoma County Code.
  
55. Prior to occupancy, written approval that the required improvements have been installed shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.

**PLANNING:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

56. This Use Permit approves a Master Plan for the Ratna Ling Buddhist Retreat Center with an accessory non-profit printing facility allowing the following existing and proposed structures and uses on the 112 acre parcel APN 109-230-024:

Existing Structures located on the East Side of Hauser Bridge Road:

- |                                 |  |
|---------------------------------|--|
| a) Lodge                        | 13, 844 square feet, plus 1/2 footprint basement |
| b) Meditation Hall              | 2,025 square feet, plus full basement            |
| c) Conference and Library       | 2,010 square feet                                |
| d) Cart Barn                    | 1,320 square feet                                |
| e) Cottage 1                    | 1,400 square feet                                |
| f) Cottages 2-14                | 1,010 square feet each                           |
| g) Water Treatment              | 1,200 square feet                                |
| h) Water Storage Area           | 1,320 square feet                                |
| i) Water Storage Area Buildings | 352, 304, 60, 224 square feet                    |
| j) Misc. Storage Buildings      | 120, 80, 400, 110, 400 square feet               |
| k) Pump House                   | 60 square feet                                   |

Existing Structures on the West Side of Hauser Bridge Road:

- |   |                      |
|---|----------------------|
| a) Cabins 1-9   | 420 square feet each |
| b) Commons Building                                     | 1,012 square feet    |
| c) Single Family Dwelling                               | 1,500 square feet    |
| d) Single Family Dwelling                               | 1,500 square feet    |
| e) Linen Storage Building(3)                            | 110 square feet each |
| f) Garden Shed  | 980 square feet      |
| g) Garden Shed  | 700 square feet      |
| h) Single Family Dwelling<br>(aka Caretakers Residence) | 1,700 square feet    |
| i) Office   | 1,250 square feet    |
| j) Single Family Dwelling<br>(aka Cooks House)          | 3,133 square feet    |
| k) Storage Building                                     | 100 square feet      |
| l) Storage Building                                     | 100 square feet      |
| m) Press Building                                       | 21,234 square feet   |
| n) 20 acre foot Reservoir for domestic water purposes   |                      |

Structures previously approved but not yet constructed on the East Side of Hauser Bridge Road:

- |                                     |                        |
|-------------------------------------|------------------------|
| a) Cottage 15-20                    | 1,010 square feet each |
| b) Wellness Center                  | 9,900 square feet      |
| c) Senior Residential Care Facility | 5,900 square feet      |

This Use Permit modification allows for expansion of the Ratna Ling Buddhist Retreat Center to include:

- a) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons is allowed to be constructed on the west side of Hauser Bridge Road south of the existing reservoir consistent with the project proposal statement and approved site plan. The seasonal campground may be used from May 1st through October 30th. The seasonal tents will be constructed on wooden platforms and have electrical hook-ups;

- b) construct 4,080 square feet of residential storage in four buildings;
  - c) The four existing 14,400, 16,000, 2,870, and 6,000, square-foot "Sacred Text Treasury" structures are permitted as permanent book and sacred object storage facilities. The total square footage for all four structures shall not exceed 40,560 square feet in size. No additional storage or accessory uses shall be allowed at this site, including underground storage.
  - d) the construction and operation of a 3,000 square foot six-guestroom retreat/house at 36000 Hauser Bridge Road on a 13 acre parcel, APN 109-230-018, with a maximum occupancy of 12 persons. The use of the house as a retreat is permitted only in conjunction with the retreat center.
57. The total maximum occupancy at any one given time on the project site (35755 and 36000 Hauser Bridge Road) is 122 persons (i.e. residents, retreat guests, workers, and printing press volunteers).
58. The retreat center hours of operation are 24 hours a day, seven days a week. The retreat center is limited to 120 retreats per year as allowed previously by Use Permit UPE04-0032 and described in the Proposal Statement dated May 6, 2004.
59. The accessory press facility hours of operation are from 7:00 a.m. to 10:00 p.m., seven days a week. The printing press facility is an ancillary use to the retreat center. A commercial printing press facility is not allowed as part of this Use Permit. The maximum occupancy in the non-profit Tibetan Buddhist printing press facility is 94 persons and shall be included in the total maximum occupancy of 122 persons.
- Production or assemblage of the sacred objects are limited to 10% of the printing facility floor area and storage of the non-textual objects shall be limited to the book storage structures ("sacred text treasuries"). "Non-textual sacred objects are defined as: prayer wheels, calendars, cards, wrapping paper, art prints, thankas, malas, prayer flags, meditation cushions and similar objects subject to approval by the Director of PRMD.
60. The use shall be operated in accordance with the proposal statements dated March 15, 2011 and December 19, 2011, and site plan dated March 10, 2011, located in File No. PLP08-0021 as modified by these conditions. This Use Permit (PLP08-0021) shall supersede all prior Use Permits/Zoning Permits (UPE99-0152, UPE04-0032, UPE07-0089, and UPE99-0152).
61. Book production shall be limited to generating an average of one truck round trip per day on an annual basis. Truck trips associated with the printing facility include delivery of supplies and transport of finished books and non-textual sacred objects off-site. The size of trucks traveling to and from the project site shall not exceed 24 feet in length.
- Mitigation Monitoring: The operator shall maintain records of truck deliveries and exports and provide annual reports to PRMD staff on the total number of trips.
62. The height of the two existing book storage structures 14,400 sf and 16,000 sf located on the east side of Hauser Bridge Road shall not exceed 40 feet, provided that they are maintained with non-reflective materials to blend in color with the surrounding vegetation.
63. Retreat guests and printing press volunteers may occupy and utilize all structures on-site as described on the project site plan dated March 10, 2011, by Sherwood Design Engineers.
64. All buildings on the project site are restricted to the designated areas on the site plan dated

March 10, 2011, by Sherwood Design Engineers.

65. The applicant shall record a deed restriction, subject to approval by the Director of PRMD and County Counsel indicating that in the event the property is conveyed to a party not affiliated with the traditions and practices of Tibetan Buddhism, the printing press equipment shall be dismantled and removed prior to conveying the property to the new owner. The accessory use of the printing facility and associated storage shall no longer be permitted accessory uses. The deed restriction shall be recorded prior to commencing this use and prior to vesting this Use Permit.
66. Grading and removal of nesting trees in the vicinity of the proposed 6-guest room retreat/house and tent platforms should be conducted outside the nesting season which occurs between approximately February 15 and August 15.

If grading before February 15 is infeasible and groundbreaking must occur within the breeding season, a pre-construction nesting bird survey of the grasslands and adjacent trees shall be performed by a qualified biologist. If no nesting birds are observed, no further action is required and grading shall occur within one week of the survey to prevent "take" of individual birds that could begin nesting after the survey.

If birds are observed on site after February 15 it will be assumed that they are nesting on site or adjacent to the site and ground breaking shall be delayed until after the young have fledged, as determined by bird surveys by a qualified biologist, or after the nesting season.

Mitigation Monitoring: If construction should occur between February 15 and August 15 the issuance of grading or building permit for the project will not be approved by the Project Review Division until the required pre-construction nesting bird survey is performed by a qualified biologist and approved by the CDFG.

67. A bat habitat assessment shall be conducted by a biologist possessing a Scientific Collection Permit and Memorandum of Understanding with the CDFG for work with bats 45 days prior to commencement of construction to determine presence or absence of the species in the vicinity of the proposed new 6-guest house retreat/house and previously approved Wellness Center (UPE07-0089). Trees containing suitable cavities for roosting bats located in the vicinity of the proposed new 6-guest retreat/house shall be identified. If retention of these trees is not feasible to accomplish the project objectives, removal must occur under consultation and supervision of a qualified bat biologist, only during seasonal periods of bat activity (Feb. 15 - April 15, and Aug. 31 - October 15).

Mitigation Monitoring: Prior to issuance of a grading or building permit the applicant shall submit to the Project Review Division and the CDFG a bat habitat assessment conducted by a qualified bat biologist. The bat habitat assessment shall be approved by the CDFG.

68. Prior to issuance of any building permit, the permit holder shall submit to PRMD a plan to eliminate any increase in greenhouse gas emissions from project construction and operation through all feasible strategies of carbon off-sets chosen by the permit holder, and to further reduce greenhouse gas emissions to meet Policy 7.1 of the General Plan Open Space & Resource Conservation Element by reducing their greenhouse gas emission by 25% below 1990 levels by 2015. The plan shall include but not limited to, use of more fuel efficient trucks, use of alternative energy resources to offset increased demand, reduced truck idling times, sequestration agreements, purchase of carbon credits, off-site mitigation, and/or other measures allowed by law. The plan shall be subject to review and approval by PRMD and shall quantify the project's annual emissions and expected reductions and be verified and certified by a qualified, independent entity approved by the County. The actions specified in the approved plan shall be implemented by the permit holder as set forth in the plan.

69. All new construction shall be constructed using the Sonoma County Green Building Program Standards.
70. The Use Permit shall be subject to a review of approval three years after this approval. The applicant shall submit deposit for such as part of the conditions of compliance which will provide for modification or revocation of the permit. The three year review shall be a noticed a public hearing and shall include larger area of notification than the normal 300 foot range.

71. All light fixtures in new 6-guest room retreat/house and storage buildings shall be fitted with low energy bulbs such as fluorescent or L.E.D. bulbs, consistent with Sonoma County's Green Building Standards and energy efficiency ordinance.

Mitigation Monitoring: The PRMD Building Division shall not issue a building permit unless the project conforms to all current Green Building Standards, including lighting.

72. Ultra low flow water usage appliances and fixtures shall be installed in the new 6-guest room retreat/house located on APN 109-230-018. The applicant shall supply a specification sheet and certification that fixtures and appliances meet EPA water sense standards.

Mitigation Monitoring: PRMD Building Division will not issue a building permit unless the project conforms to all current Green Building Standards.

73. Prior to issuance of building permits, an exterior lighting plan shall be submitted for review and approval by the Design Review Committee or the Project Planner. Exterior lighting shall be low mounted, downward casting and fully shielded to prevent glare. Lighting shall not wash out structures or any portions of the site. Light fixtures shall not be located at the periphery of the property and shall not spill over onto adjacent properties or into the night sky. Flood lights are not permitted. Exterior lighting shall not exceed 100 watts or equivalent lumens.

74. All building and/or grading permits shall have the following note printed on plan sheets:

"In the event that archaeological resources such as pottery, arrowheads, midden or culturally modified soil deposits are discovered at any time during grading, scraping or excavation within the property, all work shall be halted in the vicinity of the find and County PRMD - Project Review staff shall be notified and a qualified archaeologist shall be contacted immediately to make an evaluation of the find and report to PRMD. PRMD staff may consult and/or notify the appropriate tribal representative from tribes known to PRMD to have interests in the area. Artifacts associated with prehistoric sites include humanly modified stone, shell, bone or other cultural materials such as charcoal, ash and burned rock indicative of food procurement or processing activities. Prehistoric domestic resources include hearths, firepits, or house floor depressions whereas typical mortuary resources are represented by human skeletal remains. Historic artifacts potentially include all by-products of human land use greater than fifty (50) years of age including trash pits older than fifty (50) years of age. When contacted, a member of PRMD Project Review staff and the archaeologist shall visit the site to determine the extent of the resources and to develop and coordinate proper protection/mitigation measures required for the discovery. PRMD may refer the mitigation/protection plan to designated tribal representatives for review and comment. No work shall commence until a protection/mitigation plan is reviewed and approved by PRMD - Project Review staff. Mitigations may include avoidance, removal, preservation and/or recordation in accordance with California law. Archeological evaluation and mitigation shall be at the applicant's sole expense.

"If human remains are encountered, all work must stop in the immediate vicinity of the discovered remains and PRMD staff, County Coroner and a qualified archaeologist must be notified immediately so that an evaluation can be performed. If the remains are deemed to be Native American, the Native American Heritage Commission must be contacted by the Coroner so that a "Most Likely Descendant" can be designated and the appropriate provisions of the California

Government Code and California Public Resources Code will be followed.”

Mitigation Monitoring: Building/grading permits shall not be approved for issuance by Project Review staff until the above notes are printed on the building, grading and improvement plans.

75. The project shall comply with all provisions of the County Low Water Use Landscaping Ordinance. A Water Conservation Plan shall be submitted for all landscaping prior to building permit issuance, subject to PRMD review and approval. The Water Conservation Plan shall comply with all provisions of the County Water Efficient Landscaping Ordinance. Verification from a qualified irrigation specialist that landscaping complies with the County Ordinance shall be provided prior to building permit issuance. The measures in the plan shall be implemented and verified by PRMD staff prior to Certificate of Occupancy.

76. All grading and development on site shall be done in compliance with the County Tree Protection Ordinance, including protection of trees during construction with a chain link fence at the dripline, and replacement of damaged or removed trees. The project's grading and landscape plans shall detail all tree protection implementation measures.

Mitigation Monitoring: PRMD shall not sign off the grading or building permit for issuance until the project grading and landscape construction documents clearly show all tree protection measures (as required in the County Tree Protection Ordinance). PRMD shall not sign off the grading or building permit for occupancy until a site inspection has been conducted, and the applicant has provided written verification from the project's landscape architect or contractor, that the tree protection measures were complied with.

77. The permit holder shall be responsible for controlling dust and debris during all construction phases. The following dust control measures shall be followed during construction:
- a. Water or dust palliative shall be sprayed on unpaved construction and staging areas during construction as necessary to control dust.
  - b. Trucks hauling soil, sand and other loose materials over public roads will cover the loads, or will keep the loads at least two feet below the level of the sides of the container, or will wet the load sufficiently to prevent dust emissions.
  - c. Paved roads will be swept as needed to remove soil that has been carried onto them from the project site.
  - d. Water or other dust palliative will be applied to stockpiles of soil as needed to control dust.

Mitigation Monitoring: Building or grading permits shall not be issued for construction activities until the above notes are printed on construction plans. PRMD shall conduct an on-site investigation if dust complaints are received. If determined complaints are warranted, the Permit Holder shall implement greater dust control measures or PRMD may issue a stop work order.

78. Development on this parcel is subject to the Sonoma County Fire Safe Standards and shall be reviewed and approved by the County Fire Marshal/Local Fire Protection District. Said plan shall include, but not be limited to: emergency vehicle access and turn-around at the building sites), addressing, water storage for fire fighting and fire break maintenance around all structures. Prior to occupancy, written approval that the required improvements have been installed shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.

79. The applicant shall include these Conditions of Approval on a separate sheet(s) of plan sets to be submitted for building and grading permit applications.

80. Within five working days after project approval, the applicant shall pay a mandatory Notice of

Determination filing fee of \$50.00 (or latest fee in effect at time of payment) for County Clerk processing, and \$2,101.50 (or latest fee in effect at time of payment) because a Mitigated Negative Declaration was prepared, for a total of \$2,151.50 made payable to Sonoma County Clerk and submitted to PRMD. If the required filing fee is not paid for a project, the project will not be operative, vested, or final and any local permits issued for the project will be invalid (Section 711.4(c)(3) of the Fish and Game Code.) NOTE: If the fee is not paid within five days after approval of the project, it will extend time frames for CEQA legal challenges.

81. The applicant shall pay all applicable development fees prior to issuance of building permits.
82. Construction of new or expanded non-residential development on each lot shall be subject to Workforce Housing Requirements pursuant to 26-89-045 of the Sonoma County Code.
83. Prior to vesting of this Use Permit or issuance of building permits, the applicant/operator shall enter into an agreement with the County to pay an annual fee equal to and in lieu of transient occupancy taxes for the retreat/camping use.
84. This use shall be constructed, maintained, and operated in conformance with all applicable county, state, and federal statutes, ordinances, rules, and regulations. A violation of any applicable statute, ordinance, rule or regulation shall be a violation of the Use Permit, subject to revocation.
85. At the time of submitting a building permit application, the applicant shall submit to PRMD a Condition Compliance Review fee deposit (amount to be determined consistent with the ordinance in effect at the time). In addition, the applicant shall be responsible for payment of any additional compliance review fees that exceed the initial deposit (based upon hours of staff time worked) prior to final inspection being granted.
86. This "At Cost" entitlement is not vested until all permit processing costs are paid in full. Additionally, no grading or building permits shall be issued until all permit processing costs are paid in full.
87. Any proposed modification, alteration, and/or expansion of the use authorized by this Use Permit shall require the prior review and approval of PRMD or the Board of Zoning Adjustments, as appropriate. Such changes may require a new or modified Use Permit and additional environmental review.
88. The Director of PRMD is hereby authorized to modify these conditions for minor adjustments to respond to unforeseen field constraints provided that the goals of these conditions can be safely achieved in some other manner. The applicant must submit a written request to PRMD demonstrating that the conditions is infeasible due to specific constraints (e.g. lack of property rights) and shall include a proposed alternative measure or option to meet the goal or purpose of the condition. PRMD shall consult with affected departments and agencies and may require an application for modification of the approved permit. Changes to conditions that may be authorized by PRMD are limited to those items that are not adopted standards or were not adopted as mitigation measures or that were not at issue during the public hearing process. Any modification of the permit conditions shall be documented with an approval letter from PRMD, and shall not affect the original permit approval date or the term for expiration of the permit.

The owner/operator and all successors in interest, shall comply with all applicable provisions of the Sonoma County Code and all other applicable local, state and federal regulations.

89. This permit shall be subject to revocation or modification by the Board of Zoning Adjustments if:  
(a) the Board finds that there has been noncompliance with any of the conditions or (b) the Board finds that the use for which this permit is hereby granted constitutes a nuisance. Any such revocation shall be preceded by a public hearing noticed and heard pursuant to Section 26-92-



120 and 26-92-140 of the Sonoma County Code.

In any case where a Use Permit has not been used within two (2) year after the date of the granting thereof, or for such additional period as may be specified in the permit, such permit shall become automatically void and of no further effect, provided however, that upon written request by the applicant prior to the expiration of the two year period the permit approval may be extended for not more than one (1) year by the authority which granted the original permit pursuant to Section 26-92-130 of the Sonoma County Code.

**Planning Commission/Board of Zoning Adjustments  
Appeal Form**

PJR-021

To: Board of Supervisors  
County of Sonoma, State of California

File # PL08-0021

Appeal is hereby made by: WARD ANDERSON  
Please Print

Mailing Address: P.O. Box 7  
STEWARTS POINT, CA 95480

Phone: 707-884-3949 Email: wanderso@mcn.org

The Sonoma County Planning Commission (Board of Zoning Adjustments) (circle one) on

JUNE 7, 2012, approved/denied (circle one) a request by

RATNA LING RETREAT CENTER for USE PERMIT

located at 35755 and 36000 HAUSER BRIDGE ROAD, CAZADERO

APN 109-230-018<sup>024</sup> Zoned RD-BL-240 Supervisorial District 5

This appeal is made pursuant to Sonoma County Code Chapter 26 Section 26-92-160 for the following specific reasons:

LAND USE  
OUR COMPLAINT OF VIOLATIONS SUBMITTED TO PRMD FILED IN 2010  
HAS NOT BEEN RESOLVED AND WAS NOT PRESENTED TO BZA, AND OUR  
COMPREHENSIVE REbuttALS TO THE IS AND MND WITH SIGNIFICANT  
FAILURES TO CEQA REGULATIONS WERE NOT EVEN ADDRESSED.

Date: 6-7-2012 Appellant: [Signature]  
Signature

Appeal Fee: See current PRMD Project Review Fee Schedule

DO NOT WRITE BELOW THIS LINE - To Be Completed by PRMD Staff

This appeal was filed with the Permit and Resource Management Department on the 7<sup>th</sup> day  
of JUNE, 2012, receipt of which is hereby acknowledged.

[Signature]  
PRMD Staff

Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue ♦ Santa Rosa, CA ♦ 95403-2829 ♦ (707) 565-1900 ♦ Fax (707) 565-1103

# Law Office of Rose M. Zoia

50 Old Courthouse Square, Suite 401  
Santa Rosa, California 95404  
707.526.5894 . fax 267.381.6097  
rzoia@sbcglobal.net

*via email and USPS*

Sonoma County Permit and  
Resource Management Department  
2550 Ventura Avenue  
Santa Rosa, CA 95403

RE: Ratna Ling Retreat Center  
Sonoma County File No. PLP08-0021  
AMENDMENT TO APPEAL FILED BY WARD ANDERSON

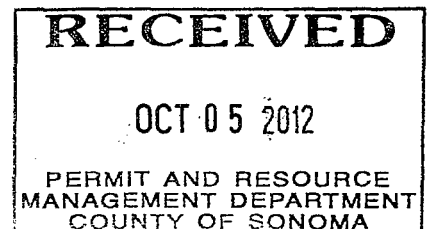
By this amendment, the above-referenced appeal filed on June 7, 2012, is modified to include the following grounds for appeal:

- The Board of Zoning Adjustments (BZA) approved the Use Permit in violation of the General Plan and Zoning Ordinance because the proposed project is inconsistent with the General Plan and Zoning.
- The BZA violated CEQA in approving a Mitigated Negative Declaration and by not requiring the preparation of an Environmental Impact Report (EIR).

Dated: October 4, 2012



Rose M. Zoia  
Attorney for Coastal Hills  
Rural Preservation





# Sonoma County Board of Zoning Adjustments STAFF REPORT

## Sonoma County Permit and Resource Management Department

2550 Ventura Avenue, Santa Rosa, CA 95403

(707) 565-1900 FAX (707) 565-1103

**FILE:** PLP08-0021  
**DATE:** April 5, 2012  
**TIME:** 1:05 p.m.  
**STAFF:** Cynthia Demidovich

Appeal Period: 10 calendar days

### SUMMARY

**Applicant/Owner:** Ratna Ling Retreat Center c/o Jack Petranker

**Location:** 35755 and 36000 Hauser Bridge Road, Cazadero  
APN 109-230-024, and -018 Supervisorial District No. 5

**Subject:** Use Permit

**PROPOSAL:** Request for a Use Permit modifying the Master Plan for the Ratna Ling Buddhist retreat center to allow 8 seasonal tent cabins, 40,560 square feet of accessory sacred text storage buildings, four additional accessory storage buildings for the residential cabins, on 112 acre parcel and one 6-guest room retreat/house on a separate 13 acre parcel.

**Environmental Determination:** Mitigated Negative Declaration

**General Plan:** Resources and Rural Development, 240 acre density

**Ord. Reference:** Section 26-10-020(t), & 26-10-020(cc)

**Zoning:** RRD (Resources and Rural Development), B6-240 acre density

**Application Complete for Processing:** December 20, 2011

**RECOMMENDATION:** Adopt the Mitigated Negative Declaration and approve the Use Permit as conditioned.

### ANALYSIS

#### Background:

At its regularly scheduled meeting on September 9, 2004, the Board of Zoning Adjustments (BZA), with a 5-0 vote, approved a Use Permit (UPE04-0032) and adopted a Mitigated Negative Declaration for a Buddhist retreat center with an accessory non-profit printing facility. On the east side of Hauser Bridge Road the Use Permit allowed the construction of nineteen new cabins, library, healing center (now known

as the wellness center), and therapeutic pool. An existing lodge was converted to a meditation hall with a kitchen and dining facilities and one existing cabin was designated to be use by the retreat facility. The Buddhist retreat center has been in operation since February 21, 2006, when eight retreat cabins were constructed with approved Building Permits. On the west side of Hauser Bridge Road the Use Permit allowed a new 18,750 square foot religious printing facility to be constructed and use of structures for the religious printing facility operations. The existing structures included several storage buildings, and a 1,250 square foot office. In addition, nine 420 square foot cabins, two 1,500 square foot single family dwellings, a 1,700 square foot caretaker's residence, and a 1,012 square foot commons building were also approved for housing volunteer workers for the print operations. The purpose of the printing facility was to restore the sacred texts of the Tibetan Buddhist tradition that were destroyed after China invaded Tibet. The need for the printing facility was demonstrated to be directly related to the religious practice of preparing, printing, handling and storage of the sacred texts. The printing facility has been in operation since August 17, 2005. The BZA made the finding that the printing press facility was accessory to the primary use of the property as a Buddhist retreat center and is a non-profit organization directly related to the doctrine of the religious organization.

On March 26, 2008, the Permit and Resource Management Department (PRMD), approved a Zoning Permit (ZPE08-0074) to allow construction of two temporary sacred text storage structures of 6,000 and 2,560 square feet in size. On April 21, 2008, PRMD revised the Zoning Permit approval to allow two additional sacred text storage structures of 14,000 and 18,000 square feet in size. On March 25, 2011, the Zoning Permit expired and a one-year time extension was approved by PRMD. The larger sacred text treasuries located on the east side of Hauser Bridge Road are slightly visible from Hauser Bridge Road and are visible at a distance from King Ridge Road. The structures are approximately 40 feet high and the height limit in the RRD zoning district is 35 feet. An increase in height is allowed when Design Review is conducted. Administrative Design Review was conducted with along with approval of ZPE08-0074 and it was determined that existing trees and shrubs provide some screening of the structures as viewed from Hauser Bridge Road.

On August 1, 2007, PRMD approved Zoning Permit ZPE07-0164 for a small residential care facility for up to six persons, which is allowed by right in all zoning districts pursuant to State law.

On August 22, 2008, PRMD approved a Use Permit UPE07-0089 and adopted a Mitigated Negative Declaration for a 20 acre-foot reservoir and a modification to a wellness center previously approved with UPE04-0032.

On February 26, 2008, the applicant applied for a General Plan Amendment, Special Area Policy, and a Use Permit to construct two underground caves for sacred text storage and an exhibition/assembly hall for exhibition of religious materials and assemblies of religious people and scholars.

On February 20, 2009, the applicant requested the proposed cave project to be placed on hold in order to prepare a revised application submittal. On May 11, 2011, the applicant submitted a revised Use Permit application and proposal statement, deleting the proposed underground construction. On December 20, 2011, the applicant submitted another revised proposal statement and the project was deemed complete for processing.

#### **Project Description:**

This is a request for a Use Permit to amend the approved a Master Plan for the Ratna Ling Buddhist retreat center by the expanding retreat center and modifying production limitations for the existing printing facility. Proposed new construction includes:

1. A new 3,000 square foot 6-guest room retreat/house to be constructed at 36000 Hauser Bridge Road, APN 109-230-018, with a maximum occupancy of 12 persons. The retreat/house is a stand-alone structure on a separate legal parcel.

2. Four new residential storage buildings (total square footage for all four storage buildings not to exceed 4,080 square feet in size).
3. An eight-tent seasonal campground with a maximum occupancy of 24 persons is proposed to be constructed on the west side of Hauser Bridge Road south of the existing reservoir. The seasonal campground is proposed to be used by retreat guests and printing press volunteers from May 1st through October 30th. The seasonal tents would be constructed on wooden platforms and have an electrical hookup.

The proposed project also includes elimination of the current Use Permit condition limiting the number of books produced on an annual basis, and instead proposes to limit the book production by limiting the number of truck trips serving the facility. The applicant proposes allowing an average of one truck trip per day on an annual basis (730 truck trips per year). This includes delivery of supplies and transport of the finished books to be shipped off-site. Trucks would be no more than 24 feet long. No physical changes are proposed to the accessory printing press facility; the only changes are in the production limits.

The applicant is proposing that in the event the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism, the printing facility use will be terminated prior to conveyance of the project site to the new owner.

The four existing temporary "Sacred Text Treasury" structures previously approved by Zoning Permit (ZPE08-0074) are proposed to be converted to permanent "Sacred Text Treasury" storage structures, and the total square footage for all four structures is proposed to remain at 40,560 square feet. Non-textual sacred objects which are used as part of the Tibetan Buddhist tradition for devotional and practice purposes are also currently produced on-site as allowed by the current Use Permit (UPE04-0032). The applicant is proposing to continue to produce these sacred objects and store them in the sacred text treasuries until such a time as they can be distributed to Tibet. The sacred texts cannot be distributed to Tibet at the present time due to China's policies.

The maximum occupancy at any one time on the project site (35755 and 36000 Hauser Bridge Road) is proposed to increase from 67 persons to 122 persons (i.e., residents, retreat guests, and printing press volunteers). This includes increasing the maximum occupancy from 27 persons to 94 persons at the existing printing facility. The retreat center would keep the existing hours of operation, and operate seven days a week, 24 hours a day. The press facility would keep the existing hours of operation, and operate seven days a week from 7:00 a.m. to 10:00 p.m. The retreat center would keep the same number of retreats, 120 per year as allowed by Use Permit (UPE04-0032) and described in the 2004 Proposal Statement dated May 6, 2004.

See Exhibit B for additional Use Permit project details for existing and proposed structures.

#### **Site Characteristics:**

The project site includes two parcels of 112 acres and 13 acres in size and are located on the edge of clearings in an otherwise densely forested area. The site is situated on the top of the first ridge east of the coast line. Hauser Bridge Road traverses through the project site, dividing it in half. The proposed project is not located within the Coastal Zone. The topography ranges from relatively flat to steep slopes. The site has native and non-native grasslands in the open areas. A mixed evergreen forest community is the dominant vegetation within the entire site. The subject site is uphill from the South Fork of the Gualala River, and the seasonal and intermittent streams on the property flow directly into the river. The site is served by several septic systems, several wells, and a 20 acre-foot reservoir.

#### **Surrounding Land Use and Zoning:**

The parcels located to the west and south are zoned RRD (Resource and Rural Development); the parcels located to the east are zoned RRD and TP (Timber Production); and the parcel located to the

north is zoned TP. The surrounding parcels are predominately forest and grassland and either vacant or developed with single family dwelling units. Located to the west is a several hundred acre parcel in a Timber Preserve, to the south are parcels over 100 acres in a Timber Preserve, to the north and east are parcels approximately 100 acres in size with grazing.

### DISCUSSION OF ISSUES

**Issue #1:** General Plan and Zoning Consistency

The General Plan land use designation and zoning of the subject parcels are RRD (Resource and Rural Development) with a residential density of 240 acres per unit. The General Plan states the purpose of this land use designation and zoning is to:

- (1) *Protect timberlands needed for commercial timber production under the California Timberland Productivity Act,*
- (2) *Protect lands needed for geothermal resource production,*
- (3) *Protect lands for aggregate resource production as identified in the Aggregate Resources Management Plan,*
- (4) *Protect natural resource lands including, but not limited to watershed, fish and wildlife habitat and biotic areas,*
- (5) *Protect against intensive development of lands constrained by geologic hazards, steep slopes, poor soils or water, fire and flood prone areas, biotic and scenic areas, and other constraints,*
- (6) *Accommodate agricultural production activities but limit such activities on timberland, or,*
- (7) *Protection of county residents from proliferation of growth in areas where there are inadequate public services and infrastructure, including water supply and safe wastewater disposal.*

The RRD zoning regulation implements the General Plan RRD land use designation, and permits uses or activities associated with natural resource production and protection, and rural uses that have a minimum impact on the environment. Lodges and clubs, including the proposed use, which is similar to a lodge or club, are allowed in the RRD Zoning district with approval of a Use Permit provided they do not interfere with or detract from the purposes of this district.

#### Accessory Press Facility

The existing 21,234 square foot accessory non-profit press facility produces Tibetan books, prayer wheels, and art prints which are donated at no charge to Tibetan refugees living in India and Nepal. Buddhist materials are also translated and printed specifically for the Western audiences and sold to the general public. The accessory press facility includes a press, cutter, folder, collator and a binder. The work also requires considerable space for hand assembly, wrapping and packing the books and related sacred objects. The accessory printing press operation generates minimal amounts of hazardous waste as various measures are currently used to reduce their production, such as the use of vegetable-based inks and a water-based plate-making process.

The applicant describes the spiritual practice at the printing facility as follows:

### **3. Daily work-practice schedule**

#### **3.1 Morning practice at the Press**

*Producing sacred texts is referred to as “work practice.” As it is an intrinsically spiritual activity. The volunteers chosen to do this practice arrive at the Press at 8 am every morning, Monday through Saturday, after the group morning meditation and breakfast. From 8:00 am to 8:15 everybody assembles in a circle to chant traditional Buddhist prayers in the Tibetan language. By repeating the refuge prayer three times all participants vow to practice the Buddhist teachings as best they can during the day. During a moment of silent meditation everyone renews their intention to put their meditation instruction into practice while they perform their work.*

*Following the silent meditation, one of the supervisors reads aloud a passage from a sutra, or teaching of the Buddha. Whenever possible, the reading relates to the books being worked on at the time, so that the volunteers can connect heart and mind with the work they will be doing. This is followed by a brief exercise drawn from the tradition of Tibetan yoga (kum nye), used to relax body and mind, focus intention, and prepare for the work-day.*

*While most volunteers start work at 8:25 am, two volunteers take care of the traditional water and incense offerings. After filling seven offering bowls with clean water and placing them on the altar that stands at the center of the Press, they light frankincense and sandalwood incense, place it in a metal incense burner similar to those used in Catholic cathedrals, and carry it throughout the building while chanting sacred mantras. This serves both to purify the space and as an offering.*

#### **3.2 Spiritual dimensions of work practice**

*After working for two hours, at 10:30 am all volunteers assemble to review a daily practice to be done during work. The practices are taken from Buddhist teachings called “skillful means,” which integrate traditional Buddhist practices into everyday activities. Skillful Means practices encourage the volunteers to be mindful in all their interactions, attuned to their bodies and minds, and committed to cultivating awareness, concentration, and energy. The goal of the practice is to use every situation as a means of spiritual growth. During the rest of the day, a volunteer rings a bell periodically to remind all participants of the daily practice.*

*Volunteers also chant mantras while they work, either silently or aloud. The mantras, consisting of sacred seed syllables, invoke specific qualities of the Buddhas and Enlightened Masters. Apart from this, everyone is encouraged to work in silence and to use only essential speech, which supports individual practice and limits outside distraction. Playing music is not allowed.*

#### **3.3 Closing prayers**

*At 5:30 pm all volunteers assemble in a circle to read two pages from the Manjusrinamasamgiti, and important Buddhist work. After this, the traditional dedication prayer is chanted in Tibetan. By doing this, all the virtue accumulated during the meritorious act of book making is dedicated to the well-being of others. As a conclusion the Om ye dharma mantra is chanted three times. Some workers who are on a different schedule continue their work into the evening.*

*At 6:00 pm the volunteers leave for dinner, followed by required classes in Buddhist history, meditation, Tibetan yoga, or language. One volunteer stays behind and empties the seven bowls on the altar, following a prescribed ritual.*

The printing facility would not be permitted as a stand-alone use, or with any other non-religious use. However, as described above it is an integral part of the Tibetan Buddhist religious practice which



includes the participation of volunteers and retreat guests. As such staff recommends that it be considered an accessory use to the religious retreat facility.

Press Facility Activities and Operations

The proposed project also includes revising the current Use Permit (UPE04-0032) restrictions limiting the number of books produced on an annual basis, and instead limit the book production through a restriction on truck trips, as described earlier. The 2004 book storage limitation was described in the April 15, 2004 proposal statement and was not specified in the conditions of approval. The elimination of the book count is requested since in the Tibetan Buddhist tradition, a “book” can refer to an aggregated number of volumes that might be numbered separately from a Western viewpoint; or as with the Bible, several “books” can be found in a single volume. No physical changes are proposed to the accessory printing press facility, the only changes are in how the production limits are measured. While staff has concerns with using traffic counts to limit land use intensity, staff agrees that truck size and number of trips should be limited and that book counts are equally difficult to enforce. Staff also recommends limiting the size and height of structures and the number of persons working at the press facility as additional means of limiting the intensity of the use.

To approve the Use Permit, a finding must be made that the printing facility is an accessory use to the existing Ratna Ling retreat facility. The printing facility includes the storage of the sacred text in the sacred text treasuries. The press produces sacred text that cannot be delivered to the Tibetan Buddhist in China and they must be handled in accordance with Tibetan Buddhist spiritual practices. Section 26-02-140 of the Zoning Code defines an accessory use as a use of land or a building that is related to and subordinate to the primary use of the land or building located on the same lot. The press and book storage is an integral part of the retreat purpose and spiritual practice. The storage is very low intensity in that it does not generate significant traffic, water use, noise, or odors. With strict limitations on the size of the storage and limiting the number of truck trips for import and export of the books, the use as a printing and storage facility will be subordinate and incidental to the primary use as a retreat center.

The intensity of the press facility use should also be considered in relation to the intensity of the retreat use. The retreat center held 105 retreats in 2011, that also includes Buddhist history, Tibetan yoga, and Tibetan language. The following chart depicts various metrics for determining use intensity and shows the percent devoted to the retreat center and the accessory printing facility. These metrics further demonstrate that the print facility is already subordinate and incidental to the primary use as a retreat center.

Measurable Components	Retreat Center	Accessory Printing Press Facility
Septic Utilization	95%	5%
Water Use	97.5%	2.5%
Energy Use (electricity & gas)	76%	24%
Business Property Value	63%	37%
Hours of Operation	24 hours a day 7days a week	7 a.m. to 10:00 p.m. seven days a week
Traffic (based on estimated vehicle trips per day)	94.27%	5.72%

Once approved, the Use Permit runs with the land and a new owner could utilize the facility for lodging purposes but would not be able to use the printing building as a separate use or as a press facility. However, in the event the property is conveyed to a party not affiliated with the traditions and practices of Tibetan Buddhism the applicant is proposing to dismantle and remove the printing equipment prior to

conveying the property. The print building is a shell building which could be an accessory structure for a variety of permitted uses. The recommended Conditions of Approval #65 require the printing facility authorization to cease if the Ratna Ling Buddhist Retreat Center vacates or transfers the project site. A condition of approval clarifies the intent is for the accessory printing facility to run with the owner and terminate upon sale or transfer without the need for revocation.

The press facility is compatible with the surrounding area in that it is not visible from Hauser Bridge Road, no exterior noise is generated by operating the press machines, truck traffic is limited to an average of one round trip per day, and volunteers and retreat guests reside on-site to further limit traffic impacts.

#### Sacred Text Storage Structures

The applicant describes the spiritual practice at the sacred text storage structures as follows:

*“Completed or partially completed texts and art are not simply stored but reverentially deposited and placed in a Sacred Text Treasury. Texts are brought to and placed in the Treasury in a very specific manner and the treasury itself is prepared to receive the texts. Tibetan Buddhists believe that texts and art are manifestations of enlightened body, speech and mind.*

*The following is a description of the practice of placing texts or art in the Sacred Text Treasury:*

*In each treasury, there is an altar adorned with flowers, incense, and water bowls, honoring the Buddha. Twice a day, water and incense are offered in a ceremony that includes aspirations to enlightenment for the sake of all beings, and the chanting of mantras of purification. The ceremony concludes with a mantra that dedicates the benefit accumulated to the welfare of all beings. These ceremonies activate the blessings and protection of the enlightened ones. The daily honoring of the enlightened ones wherever texts and art are stored purifies the space, making it a fit receptacle for these manifestations of sacredness. It is critical for the smooth operation and success of the project of preserving this precious spiritual tradition, dedicated to the well-being of all, and it is also valuable for spiritual growth of the individual participants and strengthens the community of practitioners. This profoundly beneficial action is an essential daily part of our tradition.”*

As demonstrated above, the sacred text storage building is not merely storage or commercial warehousing of finished books but an integral part of the Tibetan Buddhist religious practice which includes the participation of volunteers and retreat guests. Storage in the sacred text storage building shall be limited by size, floor area, height, scale, and intensity. As such it is considered accessory to the religious facility retreat center and would not be allowed as a stand alone separate use.

#### General Plan Consistency

Places of religious worship, lodges, schools, and hospitals are uses allowed in the RRD land use designation. In approving the 2004 Use Permit, the BZA has already determined that the Buddhist retreat center is an allowable use in the RRD designation and would not interfere with the resource of this site as it would not involve the loss of timber; would not interfere with geothermal resource production; the site is not identified as an aggregate resource site in the Aggregate Resources Management Plan; and watersheds, fish, and wildlife habitat will be protected. The sacred text storage and press facility use is accessory and incidental to the primary use. Generally storage is limited on resource lands to the minimum necessary. While the press facility is 21,234 square feet in size and the book storage facility is 40,560 square feet in size for a total of 61,794 square feet, which might otherwise overshadow the retreat use. In this case, the press and book storage is an integral part of their retreat purpose and spiritual practice. The storage is very low intensity in that it does not generate significant traffic, water use, noise, or odors. With strict limitations on the size of the storage and limiting the number of truck trips for import and export of the books, the use as a printing and storage facility can be made subordinate and incidental to the primary use. No further expansion of the print storage facility is allowed.

As proposed, the project is compatible with the surrounding neighborhood. Existing structures are either not visible or they are screened from public roads; no exterior noise is generated by operating the press machines; traffic is reduced as volunteers and retreat guests would remain on-site rather than travel to and from the site on a daily basis.

The proposed project would not involve the loss of timber; would not interfere with geothermal resource production; the site is not identified as an aggregate resource site in the Aggregate Resources Management Plan; and watersheds, fish, and wildlife habitat will be protected. There is adequate water supply as a new reservoir was constructed to capture runoff water from the site to serve the retreat center, the accessory printing, storage facility and 6-guest room retreat/house.

The proposed project is consistent with the General Plan.

#### Zoning Consistency

The project site is zoned RRD (Resource and Rural Development), B6 260 acre density. Lodges and campgrounds are an allowed use subject to an approved Use Permit provided that lands needed for commercial timber production, geothermal production, aggregate production, lands needed for protection of watershed, fish and wildlife habitat, biotic resources, and agricultural production activities are protected. Accessory structures for storage are also allowed in the RRD zoning district. The maximum lot coverage on parcels greater than 20 acres in size is limited to 85,000 square feet or five percent whichever is greater. The retreat center, sacred text storage buildings and press facility are located on APN 109-230-014 which is 112 acres in size. The maximum allowed lot coverage on this parcel is approximately 5 acres. The lot coverage for all existing and proposed structures will result in lot coverage of approximately 3.3 acres. The proposed project meets the zoning standards for setbacks as they are located over 150 feet from all property boundary lines. The intensity of the sacred text storage is a very low intensity compared to the retreat center. The 6-guest room retreat/house is a stand-alone structure on a separate 13 acre legal parcel. The size, scale, and bulk of the press building and text storage is also a less intensive use than the retreat center.

The two existing 14,000 square foot and 18,000 square foot sacred text treasuries located on the east side of Hauser Bridge Road are slightly visible from Hauser Bridge Road and are visible at a distance from King Ridge Road. These storage structures are approximately 40 feet in height and the height limit in the RRD zoning district is 35 feet. An exception to the height limit is allowed when Design Review is conducted. Administrative Design Review was conducted with along with approval of ZPE08-0074 and it was determined that existing trees and shrubs provide some screening of the structures as they are viewed from Hauser Bridge Road. In addition, most of the previous exterior white color materials have been re-painted with tan, green, and blue, in efforts to provide compatibility with surrounding vegetation as viewed from King Ridge Road.

The proposed project is consistent with zoning standards of the Resource and Rural Development zoning.

#### Issue #2: Traffic

A Traffic Study dated July 29, 2011, was prepared for the proposed project by W-Trans. The project site is accessed from Hauser Bridge Road and is approximately 0.8 miles north of the intersection of Hauser Bridge Road and Seaview Road. Hauser Bridge Road and segments of Seaview Road east of Hauser Bridge Road were included in the study. Hauser Bridge Road is a winding road varying in width between 12 and 20 feet.

Vehicle counts were taken near the project site for one week, and showed that daily traffic on Hauser Bridge Road varies from approximately 50 to 80 vehicle trips per day. During the same time period, Seaview Road averaged approximately 150 vehicles per day. The Sonoma County Transportation Authority's (SCTA) Travel Demand Forecasting Model projects a growth of about 18 percent in traffic by

2035 in the vicinity of the proposed project. According to the Traffic Study, if growth as predicted by the SCTA model is experienced, a total volume of 95 vehicles per day on Hauser Bridge Road and 177 vehicles per day on Seaview Road would result. The Traffic Study indicates that the proposed 8-tent campground, new six-guest room retreat/house, and retreat center would generate an average of 82 vehicle trips, plus two truck trips for the printing press facility for total of 84 total trips per day.

The study indicates that much of Hauser Bridge Road is too narrow to allow opposing vehicles to pass and much of the road lacks shoulders, restricting the opportunity for a driver to pull over to allow another driver to pass. W-trans conducted a site visit and identified eleven curves with restricted sight distance on Hauser Bridge Road between Seaview Road and the project site. The existing sight distance is consistent with AASHTO standards unless there is evidence of site-specific safety problem attributed to inadequate sight distance. The study concluded that there was no evidence of a site-specific safety problem attributed to inadequate sight distance. The collision history from 2000-2009 was reviewed, and during this time there were no reported collisions on Hauser Bridge Road from Seaview Road to over one-mile beyond the project site to the north. The study did not recommend improvements to the sight distance on Hauser Bridge Road based upon the AASHTO requirements listed above. The study did recommend that a curve warning sign with a supplemental 15 mph advisory speed limit sign be installed on Hauser Bridge Road near the intersection of Seaview Road to warn drivers of the road conditions. The applicant is proposing that trucks be limited to 24 feet in length and this is considered an improvement over existing conditions as larger trucks may have a difficult time traversing Hauser-Bridge Road. The recommendations in the Traffic Study are incorporated into recommended Conditions of Approval.

The Sonoma County Department of Transportation and Public Works reviewed the Traffic Study prepared by W-trans and conditioned the proposed project to place pavement markers along the center of the pavement at post mile 6.82 to separate opposing traffic along the vertical curve in the road alignment.

The study determined that according to design standards published by the American Association of State Highway and Transportation Officials (AASHTO) both Hauser Bridge Road and Seaview Road currently meet the low-volume criterion and are projected to continue to meet this criterion under future conditions.

**Issue #3:** Greenhouse Gas Emission

On January 18, 2012, URS Corporation prepared a Greenhouse Gas (GHG) analysis for the proposed project. URS Corporation estimated the proposed project GHG emissions that would be generated during project construction and operation. The analysis evaluated the significance of these emissions. The analysis found that the proposed project, would not have a significant impact on GHG emissions.

The GHG analyses, shows in Table 1, Page iii, that the proposed project during construction of the single family dwelling and the eight tent campground would generate 67 metric tons of carbon dioxide equivalents (CO<sub>2</sub>e). Once operational, the entire project would generate emissions of 448.3 metric tons CO<sub>2</sub>e per year. The proposed project emissions would be significantly less than the Bay Area Air Quality Management District's (BAAQMD) significance threshold of 1,100 tons of CO<sub>2</sub>e per year. The analysis uses the BAAQMD's standard because the Northern Sonoma County Air Pollution Control District (NSCAPCD) has not adopted a significance threshold. Several Conditions of Approval have been incorporated into the proposed project which requires all construction to meet the requirements of the County's Green Building Program Standards and the United States Environmental Protection Agency (EPA) water sense standards. The proposed project also meets the California Green Building Standards Code (CalGreen) which became effective January 1, 2011.

Even though the project does not exceed the Bay Area's threshold for significance Sonoma County has adopted a more aggressive goal for greenhouse gas reduction in the General Plan of 25% reduction below 1990 levels by 2015. Addressing this policy, a condition has been added to require an additional greenhouse gas reduction plan be prepared to reduce greenhouse emissions.

**Issue #4:** Biological Resources

**Special Status Species**

A biological report prepared by Jane Valerius and dated June 7, 2004, was submitted to PRMD and the California Department of Fish and Game for the area surrounding the existing press building. A botanical and wildlife review was also conducted by Jane Valerius, of Environmental Consulting, on May 21, 2004. Two additional Botanical and Wildlife Studies were prepared by Jane Valerius, of Environmental Consulting, and Trish Tatarian, of Wildlife Research Associates, dated June 2007, and June 2008, and were submitted to PRMD. The Botanical and Wildlife Study dated June 2007 was conducted for the construction of the existing 20 acre foot reservoir (UPE07-0089) located southeast of the accessory non-profit press building. The Botanical and Wildlife Study dated June 2008, was based on a much more intensive use that was submitted with the applicant's original application submitted February 26, 2008 but ultimately withdrawn (a General Plan Amendment, Special Area Policy, and a Use Permit to construct two underground caves and an exhibition/assembly hall). Nevertheless, the studies indicate that no special status plants were found during the survey and none are expected to occur within the area currently proposed for development. However, passerines (perching birds) are protected under the Migratory Bird Treaty Act (MBTA) and the California Fish and Game Code (CDFG) and could be present on the project site. Bats are Species of Concern, and are protected by CDFG Code 5050, and could be present on the site. The passerines are protected during the breeding season which occurs between February 15 and August 15. Existing buildings on the project site may provide suitable nesting habitat for barn swallows or black phoebes. The areas around the ponds provide a suitable habitat for red-winged black birds and American coots. There is also the potential for nesting in the trees on the project site. Several trees may contain cavities that may provide suitable roosting habitats for individuals of several species of bats. The existing residential building northwest of the accessory religious printing facility (also known as "the Chef's House" or the "Tower House") may provide for suitable roosting habitats of the above mentioned species. No trees are proposed to be removed from the project site.

In order to provide protection to the above listed species, several mitigations and Conditions of Approval have been incorporated into the proposed project requiring pre-construction nesting bird surveys, and pre-construction bat habitat assessments. With incorporation of these mitigations, the proposed project will not have an adverse effect on any special species.

Riparian and wetland impacts were also evaluated. The proposed project will have no impact on these resources.

**Issue #5:** Aesthetics

The only new construction proposed is a the six-guest room retreat/house on the 13 acre parcel, and eight tent seasonal campground and four small residential storage buildings totaling 4,080 square feet on the retreat parcel. The project site is not located in the SR (Scenic Resource) Combining District. The proposed six-guest room retreat/house will be visible from Hauser Bridge Road, however existing trees and shrubs provide some screening between the proposed six-guest room retreat/house and Hauser Bridge Road. The seasonal campground is proposed to be located south of the existing reservoir and will not be visible from Hauser Bridge Road. The two existing 6,000 square foot and 2,560 square foot sacred text treasuries located on the west side of Hauser Bridge Road are adjacent to the accessory printing press facility and are not visible from Hauser Bridge Road. The two existing 14,000 square foot and 18,000 square foot sacred text treasuries located on the east side of Hauser Bridge Road are slightly visible from Hauser Bridge Road and are visible at a distance from King Ridge Road. Existing trees and shrubs provide some screening of the structures as they are viewed from Hauser Bridge Road. In addition, most of the previous exterior white color materials have been re-painted with tan, green, and blue, in efforts to provide compatibility with surrounding vegetation as viewed from King Ridge Road

**Issue #6:** Hazardous Materials

Converting the temporary sacred text storage to permanent storage, constructing a six-guest room retreat/house and a campground will not generate hazardous materials. However, the neighbors raised an issue of concern with regard to hazardous materials related to the existing press facility.

The existing operation of the accessory press facility generates minimal amounts of hazardous materials. Materials utilized in the printing process are intended to reduce the production of hazardous waste materials by use of vegetable-based inks and water-based plate making process. Hazardous materials generated by the operation consist of rags used to wipe out the ink cans, wastewater generated from draining the press and from press operators washing their hands, with associated release of vapors. All wastes from the accessory printing press facility are stored in 55-gallon drums and taken off-site by Safety-Kleen, a hazardous waste disposal company. All shop towels that have any chemicals absorbed into them are removed from the site by Aramark, a professional cleaning service. In addition, the applicant has a Hazardous Materials Business Plan approved and on file with the Sonoma County Hazmat/Fire Division. The Sonoma County Hazardous Materials/Fire Division inspects the accessory printing press facility every three years.

**Issue #7:** Hydrology and Water Quality

According to the Resource Conservation Element of the General Plan, the project site is not in a groundwater recharge area. The project site is served by several existing private wells and some springs, but their productivity is problematic in the summer dry season, with net yields from all sources estimated at approximately 1.3 gallons per minute by the California Department of Health Services. A groundwater report was not prepared for the current proposed project, however, PRMD files contain several reports by E. H. Boudreau from 1985 and 1999. The 1985 report, prepared for the Timberhill Ranch Lodging Plan, stated "Additional water is needed for the Timber Hill Ranch."

In February 2007, the California Department of Health Services noted that a review of water usage data from the Ratna Ling water system *"indicated that the System's groundwater sources are not sufficient to meet maximum day demands as required by the California Code of Regulations, Section 64564 (c). The System's combined well capacity reduces to an estimated 1.3 gallons per minute during dry periods, and the System needs a reliable combined capacity of 11 gallons per minute to meet maximum day demands."* The existing 20 acre-foot reservoir has the capacity to meet the 11 gallons per minute requirement.

A Condition for Approval of UPE04-0032 for the accessory printing press and other buildings on the site, including the precursor of the wellness center, required the property owner to monitor and report to PRMD information about groundwater elevations and qualities of groundwater extracted pursuant to Section RC-3b of the County General Plan. The applicant has submitted two years of groundwater data to PRMD and the data shows a summertime downward trend in the groundwater elevation with a corresponding wintertime recovery.

On August 22, 2008, PRMD approved a Use Permit (UPE07-0089) for a 20 acre-foot reservoir and a modification to a previously approved wellness center. A reservoir this size has the capacity to hold 15 to 18 acre feet of water. This size reservoir could provide water to approximately 30 single family dwellings in a typical subdivision. On July 21, 2010, the Grading Permit for the 20 acre-foot reservoir was finalized. This geographic location of the County is a high rainfall area and typically receives 40 to 50 inches of rain per year. Sheet flow from the rain is captured in the reservoir. In addition, the applicant captures rain water from the existing structures' roofs and places the water in the reservoir. All water in the reservoir is disinfected by a dual disinfection system prior to being distributed into the on-site potable water system. With the construction of the reservoir the existing water sources have been determined adequate for the existing facility and proposed project to include a six-guest room retreat/house and an eight-tent campground for seasonal use.

### **STAFF RECOMMENDATION**

Adopt the Mitigated Negative Declaration and approve the Use Permit for a Master Plan for the Ratna Ling Buddhist Monastery to expand the existing retreat center and accessory non-profit printing facility to allow book storage, eight-tent campground, and six-guest room retreat/house after making the following findings, and subject to the conditions in Exhibit A.

### **FINDINGS FOR RECOMMENDED ACTION**

1. The use, as conditioned, is consistent with the RRD (Resource and Rural Development) General Plan land use designation and the zoning district regulations as a Tibetan Buddhist retreat center, an accessory non-profit press facility and reservoir, as it would not detract from or impinge upon lands used for timber, geothermal and mineral resource production or natural resource conservation, and watersheds, fish, and wildlife habitat will be protected.
2. The use is consistent with the intent and purpose of the RRD zoning district because it is a lodge that is an allowed use in the General Plan and zoning code.
3. Based upon the information contained in the Initial Study included in the project file, it has been determined that there will be no significant environmental effect resulting from this project, because mitigation measures have been incorporated into the project as Conditions of Approval. The Mitigated Negative Declaration has been completed in compliance with CEQA State and County guidelines, and the information contained therein has been reviewed and considered. Mitigation measures have been incorporated as Conditions of Approval and include a Mitigation Monitoring Program.
4. The establishment, maintenance or operation of the use for which application is made will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such use, nor be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the area. The particular circumstances in this case are:
  - a. A Traffic Study dated July 29, 2011, was prepared for the proposed project by W-Trans. The study determined that according to design standards published by AASHTO both Hauser Bridge Road and Seaview Road currently meet the low-volume criterion and are projected to continue to meet this criterion under future conditions. The study concluded that there was no evidence of a site-specific safety problem attributed to inadequate sight distance. However, the study did recommend that a curve warning sign with a supplemental 15 mph advisory speed limit sign be installed on Hauser Bridge Road near the intersection of Seaview Road to warn drivers of the road conditions. The Sonoma County Department of Public Works reviewed the Traffic Study prepared by W-trans and conditioned the proposed project to place pavement markers along the center of the pavement at one location to separate opposing traffic along the vertical curve in the road alignment at post mile 6.82.
  - b. A Greenhouse Gas Analysis dated January 18, 2012, was prepared for the proposed project by URS Corporation. The analysis found that the proposed project would not have a significant impact on GHG emissions. However, additional reductions in green house gas emissions are required as a condition of approval to meet the County General Plan objectives.
  - c. The new six-guest room retreat/house will be visible from Hauser Bridge Road, however existing trees and shrubs provide some screening between the proposed six-guest room retreat/house and Hauser Bridge Road. The seasonal campground is not visible from Hauser Bridge Road.
  - d. The six-guest room retreat/house and a campground will not generate hazardous materials as the use is residential in nature. The existing operation of the accessory press facility generates

minimal amounts of hazardous materials. The accessory press facility has a Hazardous Materials Business Plan approved and on file with the Sonoma County Hazmat/Fire Division.

- e. An existing 20 acre foot reservoir is located on the project site and has the capacity to provide water to the existing facility, the proposed six-guest room retreat/house, and the eight-tent campground.

**LIST OF ATTACHMENTS**

- EXHIBIT A: Draft Conditions of Approval
- EXHIBIT B: Use Permit Existing and Proposed Structures
- EXHIBIT C: Proposal Statement dated March 15, 2011
- EXHIBIT D: Project Supplemental Information dated December 19, 2011
- EXHIBIT E: Correspondence from Ratna Ling Retreat Center dated January 30, 2012
- EXHIBIT F: Vicinity Map
- EXHIBIT G: Topographic Map
- EXHIBIT H: General Plan Map
- EXHIBIT I: Zoning Map
- EXHIBIT J: Site Plan
- EXHIBIT K: Letters of Support
- EXHIBIT L: Letters of Opposition
- EXHIBIT M: Opposition To Ratna Ling Expansion Steering Committed letter dated January 27, 2012
- EXHIBIT N: Draft Resolution

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Separate Attachment for Commissioners: Mitigated Negative Declaration and full size plans



SONOMA COUNTY BOARD OF ZONING ADJUSTMENTS

Draft Conditions of Approval  
Exhibit A

**Date:** April 5, 2012 **File No.:** PLP08-0021  
**Applicant:** Ratna Ling Retreat Center **APN:** 109-230-024 and -018  
c/o Jack Petranker  
**Address:** 35755 and 36000 Hauser Bridge Road, Cazadro

**Project Description:** Request for a Use Permit for a revised Master Plan to expand the Ratna Ling Buddhist retreat center and an existing 21,234 square foot accessory non-profit Tibetan Buddhist printing facility to include: 1) the construction of a 3,000 square foot six-bedroom residential facility at 36000 Hauser Bridge Road, APN 109-230-018 with a maximum occupancy of 12 persons; 2) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons is allowed to be constructed on the west side of Hauser Bridge Road south of the existing reservoir consistent with the project proposal statement and approved site plan. The seasonal campground may be used from May 1st through October 30th. The seasonal tents will be constructed on wooden platforms and have electrical hook-ups; 3) allow the maximum occupancy on the project site (APN 109-230-024, and -018) at any one given time to be 122 persons; 4) make non-textual sacred objects; 5) construct 4,080 square feet of residential storage in five buildings; 6) eliminate the current limitation on sacred text production and instead limit truck traffic associated with text and non-textual production; 7) terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism; 8) permit 40,560 square feet of sacred text storage buildings located in existing on-site buildings; and 9) change the maximum occupancy of the existing press building from 27 to 94 persons.

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**BUILDING:**

1. The applicant shall apply for and obtain building related permits from the Permit and Resource Management Department (PRMD). The necessary applications appear to be, but may not be limited to, site review, building permit, and grading permit.
2. Prior to initiation of the approved use, the project shall comply with the accessibility requirements set forth in the most recent California Building Code (CBC), as determined by the PRMD Building Division. Such accessibility requirements shall apply to all new construction and remodeling and, where required by the CBC, to retrofitting of the existing structure.

**HEALTH:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

PRIOR TO BUILDING PERMIT AND VESTING THE USE PERMIT:

Water:

3. Prior to building permit issuance and vesting the Use Permit, the applicant shall have the water supply system evaluated by a licensed civil engineer experienced in water supply systems. The evaluation shall calculate if there is sufficient water supply to meet both the Maximum Day Demand and the average demand for the entire year (annual water balance). The report shall be submitted to the California Department of Public Health, Division of Drinking Water and Environmental Management (CDPH-DDWEM) and to the Project Review Health Specialist at PRMD for review and approval.
4. Prior to building permit issuance, the applicant shall provide the Project Review Health Specialist with the bacteriological (E. Coli and total coliform) arsenic and nitrate analysis results of a sample of the well water tested by a California State-certified lab. If the analysis shows contamination, the applicant will be required to treat the well per County requirements and re-test the well. If the contamination cannot be cleared from the well, destruction under permit of this department may

be required. Copies of all laboratory results must be submitted to the Project Review Health Specialist.

5. Prior to the issuance of any building permit, an easement is required to be recorded for this project to provide Sonoma County personnel access to any on-site water well serving this project and any required monitoring well to collect water meter readings and groundwater level measurements. Access shall be granted Monday through Friday from 8:00 a.m. to 5:00 p.m. All easement language is subject to review and approval by PRMD-Project Review and County Counsel prior to recordation.

Septic:

6. Prior to building permit issuance and vesting the Use Permit, the applicant shall obtain a permit for the construction of a six bedroom residential facility on APN 109-230-018 the sewage disposal system. The system may require design by a Registered Civil Engineer or Registered Environmental Health Specialist and both soils analysis, percolation and wet weather testing may be required. The sewage system shall meet peak flow discharge of the wastewater from all sources granted in the Use Permit and any additional sources from the parcel plumbed to the disposal system, and shall include the required reserve area.

If a permit for a standard, innovative or experimental sewage disposal system sized to meet all peak flows cannot be issued, then the applicant shall revise the project (fees apply and a hearing may be required) to amend the Use Permit to a reduced size, not to exceed the on-site disposal capabilities of the project site and attendant easements. The Project Review Health Specialist shall receive a final clearance from the Well and Septic Section that all required septic system testing and design elements have been met.

7. Prior to building permit issuance and vesting the Use Permit, the applicant shall have a capacity/wastewater flow analysis and proper functioning of the wastewater system inspection completed by a Registered Civil Engineer or Registered Environmental Health Specialist regarding the existing septic system's ability to accommodate the peak flows from the seasonal campground with eight tent structures with a maximum occupancy of 24 persons, Health Clinic, Senior Center and all other sources granted in the Use Permit and any additional sources from the parcel that are plumbed to this septic system.

Any necessary system expansion or modifications, and demonstration of reserve areas, shall be done under permit and the current standards from the PRMD Well and Septic Section and may require both soils analysis, groundwater and percolation testing. If a permit for a standard, innovative or experimental sewage disposal system sized to meet all peak flows cannot be issued, then the applicant shall revise the project (fees apply and a hearing may be required) to amend the Use Permit to a reduced size, not to exceed the on-site disposal capabilities of the project site and attendant easements. The Project Review Health Specialist shall receive a final clearance from the Well and Septic Section that all required septic system testing and design elements have been met.

8. In-room Jacuzzi tubs, hot tubs or any other over-size tub designed for use by two or more persons, or any common area Jacuzzi or hot tub, or Vichy Shower shall not be allowed unless they are specified in the septic system analysis and additional capacity in the septic system is allocated for their use.
9. Application for wastewater discharge requirements shall be updated (the current permit is WDID NO. 1B00162RSON, issued on May 20, 2005) by the applicant with the North Coast Regional Water Quality Control Board. Documentation of acceptance of a complete application with no initial objections or concerns by the Regional Water Quality Control Board shall be submitted to Project Review Health prior to building, grading for ponds or septic permit issuance (If the Regional Water Board Water Resource Engineer or Environmental Specialist have objections or

concerns then the applicant shall obtain Waste Discharge Requirements prior to building permit issuance). A copy of the waste discharge permit shall be submitted to Project Review Health prior to issuance of a certificate of occupancy or project operation. An application may be printed from: <http://www.waterboards.ca.gov/northcoast/geninfo/genwinerywdr/wine.html>

10. For multi-unit projects served by septic systems, a final summary submittal must be provided by the consultant. It must include the following for each occupied structure and tent structures in an organized booklet format: percolation test(s), hydrometer test(s), ground water test(s) results, and septic system designs including a site map that shows the septic system in relation to the structures and wells on the property.
11. Prior to the issuance of building permits and the start of any construction, plans and specifications for any public swimming pool or spa must be submitted to, and approved by, the Environmental Health Division of the Health Services Department. This condition also applies to restrooms, showers, equipment rooms and fences associated with the pools or spa. Contact the Environmental Health Division at 565-6544 for information. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the State of California regulations on public swimming pools and spas.

Vector Control:

12. A Mosquito and Vector Control Plan acceptable to the Marin-Sonoma Mosquito and Vector Control District (telephone 707-285-2200) shall be submitted prior to the construction of any ponds. The Project Review Health Specialist shall receive a copy of the Vector Control Plan and an acceptance letter from the Marin-Sonoma Mosquito and Vector Control District.

PRIOR TO OCCUPANCY:

13. A separate, dedicated monitoring well is required to be drilled for this project. The monitoring well is required to be drilled under permit of this Department and shall be of a depth, screening and development comparable to the supply well. The monitoring well shall be located as far away from other wells, ponds and wastewater disposal fields as is consistent with being in the same geologic formation as the primary well and being accessible by street vehicle. The monitoring well location shall be approved by PRMD in advance of construction. The monitoring well shall be marked with a water level measuring reference point, and the GPS coordinates (in NAD83 California State Plane II or WGS 84 lat./long.) of the monitoring well shall be submitted to PRMD.

OPERATIONAL REQUIREMENTS:

Water:

14. A safe, potable water supply shall continue to be provided and maintained.
15. The location of the wells, and groundwater elevations and quantities of groundwater extracted for this use shall continue to be monitored quarterly and reported to PRMD in January of the following year pursuant to Section WR-2d of the Sonoma County General Plan and County policies. Annual monitoring fees shall be paid at the rate specified in the County Fee Ordinance. If the County determines that groundwater levels are declining in the basin, then the applicant shall submit and implement a Water Conservation Plan, subject to review and approval by PRMD.
16. Required water meters shall be calibrated, and copies of receipts and correction factors shall be submitted to PRMD Project Review staff at least once every five years.
17. Groundwater elevations and quantities of groundwater extracted for this site shall be monitored

and reported to PRMD pursuant to section RC-3b of the Sonoma County General Plan and County policies.

18. Provide one lifeboat kept in good repair, fully equipped with oars, oarlocks, at least two life jackets, two life preserver rings and two hundred feet of rope stationed near the reservoir. The word "LIFEBOAT" shall be plainly painted on both sides of the boat, and the boat shall only be used for emergencies upon the reservoir.

The requirement for emergency equipment does not imply or authorize recreational use of the reservoir, it only acknowledges the general presence of the public and staff at this facility.

Septic:

19. Maintain the Annual Operating Permit for any alternative (mound or pressure distribution) or experimental sewage disposal system installed per Sonoma County Code 24-32, and all applicable waste discharge requirements set by the Regional Water Quality Control Board.
20. Use of the on-site wastewater disposal system shall be in accordance with the design and approval of the system.
21. All future sewage disposal system repairs shall be completed in the Designated Reserve areas and shall meet Class I Standards. Alternate reserve areas may be designated if soil evaluation and testing demonstrate that the alternative reserve area meets or exceeds all of the requirements that would have been met by the original reserve area. If wastewater ponds or a package treatment plant are needed, then a modification of the Use Permit may be required, as determined by PRMD.

Consumer Protection:

22. Obtain and maintain all required Food Industry Permits from the Sonoma County Environmental Health Division prior to serving any food.
23. Maintain all required Food Industry Permits.
24. Prior to the issuance of building permits and the start of any construction, plans and specifications for any retail food facility must be submitted to, and approved by, the Environmental Health Division of the Health Services Department. Contact the Environmental Health Division at 565-6544 for information. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the California Uniform Retail Food Facility Law (CURFFL).
25. Prior to the operation of any public swimming pool or spa, a Swimming Pool Permit must be obtained from the Environmental Health Division of the Health Services Department. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the State of California regulations on public swimming pools and spas.
26. Maintain all required Public Swimming Pool or Spa Permits.

Noise:

27. Noise shall be controlled in accordance with Table NE-2 (or an adjusted Table NE-2 with respect to ambient noise as described in General Plan 2020, Policy NE-1c,) as measured at the exterior property line of any affected residential or sensitive land use:

TABLE NE-2: Maximum Allowable Exterior Noise Exposures

Hourly Noise Metric <sup>1</sup> , dBA	Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
L50 (30 minutes in any hour)	50	45
L25 (15 minutes in any hour)	55	50
L08 (5 minutes in any hour)	60	55
L02 (1 minute in any hour)	65	60
<sup>1</sup> The sound level exceeded n% of the time in any hour. For example, the L50 is the value exceeded 50% of the time or 30 minutes in any hour; this is the median noise level. The L02 is the sound level exceeded 1 minute in any hour.		

28. If noise complaints are received from nearby residents, and they appear to be valid complaints in PRMD's opinion, then the applicant shall conduct a Noise Study to determine if the current operations meet noise standards and identify any additional noise Mitigation Measures if necessary. A copy of the Noise Study shall be submitted to the Project Review Health Specialist within sixty days of notification from PRMD that a noise complaint has been received. The owner/operator shall implement any additional Mitigation Measures needed to meet noise standards.

Solid Waste:

29. All garbage and refuse on this site shall accumulate or be stored in non-absorbent, water-tight, vector resistant, durable, easily cleanable, galvanized metal or heavy plastic containers with tight fitting lids. No refuse container shall be filled beyond the capacity to completely close the lid. Garbage and refuse on this site shall accumulate or be stored for no more than seven calendar days, and shall be properly disposed of at a County Transfer Station or County Landfill before the end of the seventh day. Please note that the Local Enforcement Agency (at Environmental Health) bills at an hourly rate for enforcement of violations of the solid waste requirements.

Medical Waste:

30. Maintain all required Medical Waste Permits.

Hazardous Materials Program:

31. Comply with applicable hazardous waste generator, underground storage tank, above ground storage tank and AB2185 (hazardous materials handling) requirements and maintain any applicable permits for these programs from the Hazardous Materials Division of Sonoma County Department of Emergency Services.

**TRANSPORTATION AND PUBLIC WORKS:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

32. Upon approval of this application by the authorizing body, the Department of Transportation and Public Works (DTPW) will place raised pavement markers along the center of the pavement at one location in order to separate opposing traffic along the vertical curve in the road alignment (post mile 6.82). The DTPW will bill the Applicant for the labor and materials cost of the marker installation. Payment to DTPW is required prior vesting this Use Permit and prior to issuance of building permits for the residential facility and tent platforms.
33. Prior to issuance of a building permit for any new building or prior to any new use of an existing building, the Applicant shall pay Traffic Mitigation fees to the County of Sonoma, as required by Section 26, Article 98 of the Sonoma County Code.

34. All improvements shall be constructed in accordance with the Department of Transportation and Public Works Road Policy.
35. The applicant shall contact the Sonoma County Department of Transportation and Public Works and have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive.

Mitigation Monitoring: The applicant shall contact the Sonoma County Department of Public Works and pay to have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive prior to issuance of building/grading permits.

36. Pavement markers shall be placed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment prior to issuance of building/grading permits.

Mitigation Monitoring: The pavement markers shall be installed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment subject to review and approval by Department of Public Works and prior to building/grading permits.

#### **GRADING AND STORM WATER:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

37. Prior to issuance of a grading or building permit, the applicant shall submit for review and approval the grading and drainage improvement plans necessary for the proposed project. Drainage improvements shall be designed in accordance with the Sonoma County Water Agency Flood Control Design Criteria and shall maintain sheet flow or existing drainage patterns to the maximum extent practicable. The Improvement Plans shall also include erosion prevention/sediment control measures, details, notes, and specifications to prevent damages and minimize adverse impacts to the environment.
38. The design engineer shall include a grading plan which clearly shows all existing and proposed land features, excavation spoils sites, roads, driveways, buildings, finish floor elevations and drainage facilities such as swales, channels, closed conduits, or drainage structures.
39. The design engineer shall include an erosion prevention/sediment control plan which clearly shows all best management practices (BMP's), pertinent details, notes, and specifications to prevent damage and minimize adverse impacts to the environment.
40. A drainage report/analysis for the proposed project shall be prepared by a civil engineer and be submitted with the grading and/or building permit application. The drainage report shall include, at a minimum, a project narrative, on- & off-site hydrology maps, hydrologic calculations, hydraulic calculations, and an analysis for all pertinent existing and proposed drainage facilities.
41. Drainage improvements shall be designed by a civil engineer in accordance with the Sonoma County Water Agency Flood Control Design Criteria, be shown on the improvement plans, and be submitted to the Drainage Review Section of the Permit and Resource Management Department for review and approval. Drainage improvements shall maintain sheet flow, maintain existing drainage patterns, or convert concentrated flow to sheet flow to the maximum extent practicable.
42. A setback line along the waterway shall be measured from the toe of the stream-bank outward, a distance of 2 ½ times the height of the stream-bank plus 30 feet, or 30 feet outward from the top of the stream-bank whichever distance is greater.

**FIRE AND EMERGENCY SERVICES:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

43. The subject property must currently be in full compliance with Zoning regulations, Building Code regulations, Hazardous Materials regulations, and Fire Code Regulations.
44. A building permit shall be obtained for the construction of any new structures, the addition or remodeling of any existing structure, or any change in the use or character of a building that will place it in a different occupancy group:
  - a. If the proposed six-bedroom residential facility is intended to house occupants who are primarily transient in nature, the building shall be constructed as an R-1 Occupancy as defined in the 2010 California Building Code.
  - b. The maximum area of an accessory use structure associated with a residential use of a property is 3,000 sq. ft. (including structures used for storage). The proposed 4,080 sq. ft. "residential storage building" shall be treated as a structure with a commercial use.
45. This facility requires an annual fire safety inspection. The county or fire district which inspects the facility may charge and collect a fee for the inspection from the owner of the facility in an amount, as determined by the county or fire district, sufficient to pay its costs of that inspection.
46. Facility operator shall develop (or update) an emergency response plan consistent with Chapter 4 of the 2010 California Fire Code as adopted and amended by Sonoma County Code. Fire safety plans, emergency procedures, and employee training programs shall be approved by the fire code official.
47. Applicable Fire Code operational permits shall be obtained prior to the initiation of any activity where an operational permit is required by the California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Operational Permit may be required at this facility:
  - a. Private educational facility
  - b. Hazardous material: storing, transporting on site, dispensing, using or handling hazardous materials
  - c. Hazardous Production Materials facility
  - d. High-piled storage exceeding 500 square feet
  - e. LP-gas Storage and use over 500 gallons water capacity and Operation of cargo tankers that transport LP-gas
  - f. Open flames and candles in connection with an assembly area, dining area of a restaurant or drinking establishment
  - g. Organized camp
  - h. Place of assembly
  - i. Residential occupancy housing 10 or more occupants
  - j. Special events

- k. Temporary membrane structures, tents with an area in excess of 400 square feet
48. Applicable Fire Code construction permits shall be obtained prior to any construction that would require such permit required by California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Construction Permits may be required for this project:
- a. Automatic fire-extinguishing system
  - b. Fire alarm and detection systems and related equipment
  - c. Fire pumps and related equipment
  - d. Private fire hydrant
49. To facilitate locating an emergency and to avoid delays in response; all existing and newly constructed or approved roadways and buildings whether public or private shall provide for safe access for emergency fire apparatus and civilian evacuation concurrently, and shall provide unobstructed traffic circulation during an emergency, and shall be constructed and maintained as required by Sonoma County Fire Safe Standards and the California Fire Code, as adopted and amended by Sonoma County Code:
- a. All roadways shall provide year-round unobstructed access to conventional drive vehicles, including sedans and fire engines as required by Sonoma County Fire Safe Standards.
  - b. All existing roadway structures, such as bridges and crossings, that are part of an emergency access shall have their allowable weight limit (as determined by an engineer qualified to evaluate roadway structures) posted as required by the California Fire Code as adopted and amended by Sonoma County Code.
  - c. All roadways shall be identified by approved road names posted on signs clearly visible and legible from the roadway and at interchanges, as required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - d. All buildings shall be identified by approved address numbers, posted on signs clearly visible and legible from the roadway and at interchanges, as required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - e. Any newly created or approved roadways, newly constructed roadways, extended roadways, and reconstructed or improved roadways shall be constructed and maintained in compliance with the California Fire Code, as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - f. An affirmative covenant, that includes a road maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.
  - g. Individual parcels, buildings, or groups of buildings served by a private driveway or similar roadway system, shall be provided with an address directory as determined by the County Fire Marshal. The address directory shall be placed at the intersection of those roads, streets and/or private lanes. The directory shall be maintained by the property owner, Homeowner's Association, or other individual or group in charge of the property.
50. Emergency water supply for fire protection shall be available and accessible in locations, quantities and delivery rates as specified in the California Fire Code as adopted and amended by Sonoma County Code:



- a. Fire hydrants shall be installed as required by the California Fire Code as adopted and amended by Sonoma County Code.
  - b. Emergency water supply for fire suppression may be provided in a naturally occurring or manmade containment structure for projects not served by a municipal water system, as long as the specified quantity and delivery rate is immediately provided.
  - c. An affirmative covenant, that includes an emergency water system maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.
51. To reduce the intensity of a wildfire by reducing the volume and density of flammable vegetation, the strategic siting of fuel modification and greenbelts shall provide (1) increased safety for emergency fire equipment and evacuating civilians; and (2) a point of attack or defense from a wildfire, and shall be in accordance with the California Fire Code as adopted and amended by Sonoma County Code and Sonoma County Fire Safe Standards:
- a. On each parcel, building setbacks shall be in compliance with the California Fire Code and California Building Code as adopted and amended by Sonoma County Code, and Sonoma County Fire Safe Standards Section 13-55.
  - b. All existing buildings shall meet the requirements of: California Code of Regulations, Title-19, Division-1, Section 3.07(b); Chapter 3 of the California Fire Code as adopted and amended by Sonoma County Code; and Chapter 49 of the California Fire Code as adopted and amended by Sonoma County Code.
  - c. Any development which designates a facility or land use as a greenbelt shall locate the greenbelt strategically, as a separation between wildland fuels and buildings. The Director of Permit and Resource Management shall approve the location of any greenbelt.
  - d. Building setbacks shall be in compliance with Sonoma County Fire Safe Standards Section 13-55.
  - e. In areas designated as high- or very-high fire severity areas, an approved a vegetation management plan and agreement to perform annual maintenance shall be provided by the applicant and approved by the County Fire Marshal.
  - f. An affirmative covenant, that includes a vegetation management maintenance agreement approved by the County Fire Marshal, which shall run with the land in perpetuity, shall be provided.
52. Existing buildings shall be brought into compliance with the requirements of Chapter 46 of the California Fire Code as adopted and amended by Sonoma County Code.
53. Fire protection systems shall be installed within buildings and structures in compliance with California Fire Code as adopted and amended by Sonoma County Code.
54. Emergency responder radio coverage system shall be provided in compliance with Section 510 of the California Fire Code as adopted and amended by Sonoma County Code.
55. Prior to occupancy, written approval that the required improvements have been installed shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.

**PLANNING:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

56. This Use Permit approves a Master Plan for the Ratna Ling Buddhist Retreat Center with an accessory non-profit printing facility allowing the following existing and proposed structures and uses on the 112 acre parcel APN 109-230-024:

Existing Structures located on the East Side of Hauser Bridge Road:

- |                                 |  |
|---------------------------------|--|
| a) Lodge                        | 13, 844 square feet, plus 1/2 footprint basement |
| b) Meditation Hall              | 2,025 square feet, plus full basement            |
| c) Conference and Library       | 2,010 square feet                                |
| d) Cart Barn                    | 1,320 square feet                                |
| e) Cottage 1                    | 1,400 square feet                                |
| f) Cottages 2-14                | 1,010 square feet each                           |
| g) Water Treatment              | 1,200 square feet                                |
| h) Water Storage Area           | 1,320 square feet                                |
| i) Water Storage Area Buildings | 352, 304, 60, 224 square feet                    |
| j) Misc. Storage Buildings      | 120, 80, 400, 110, 400 square feet               |
| k) Pump House                   | 60 square feet                                   |

Existing Structures on the West Side of Hauser Bridge Road:

- |   |                      |
|---|----------------------|
| a) Cabins 1-9   | 420 square feet each |
| b) Commons Building                                     | 1,012 square feet    |
| c) Single Family Dwelling                               | 1,500 square feet    |
| d) Single Family Dwelling                               | 1,500 square feet    |
| e) Linen Storage Building(3)                            | 110 square feet each |
| f) Garden Shed  | 980 square feet      |
| g) Garden Shed  | 700 square feet      |
| h) Single Family Dwelling<br>(aka Caretakers Residence) | 1,700 square feet    |
| i) Office   | 1,250 square feet    |
| j) Single Family Dwelling<br>(aka Cooks House)          | 3,133 square feet    |
| k) Storage Building                                     | 100 square feet      |
| l) Storage Building                                     | 100 square feet      |
| m) Press Building                                       | 21,234 square feet   |
| n) 20 acre foot Reservoir for domestic water purposes   |                      |

Structures previously approved but not yet constructed on the East Side of Hauser Bridge Road:

- |                                     |                        |
|-------------------------------------|------------------------|
| a) Cottage 15-20                    | 1,010 square feet each |
| b) Wellness Center                  | 9,900 square feet      |
| c) Senior Residential Care Facility | 5,900 square feet      |

This Use Permit modification allows for expansion of the Ratna Ling Buddhist Retreat Center to include:

- a) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons is allowed to be constructed on the west side of Hauser Bridge Road south of the existing reservoir consistent with the project proposal statement and approved site plan. The seasonal campground may be used from May 1st through October 30th. The seasonal tents will be constructed on wooden platforms and have electrical hook-ups;

- b) construct 4,080 square feet of residential storage in four buildings;
  - c) The four existing 14,400, 16,000, 2,870, and 6,000, square-foot "Sacred Text Treasury" structures are permitted as permanent book and sacred object storage facilities. The total square footage for all four structures shall not exceed 40,560 square feet in size. No additional storage or accessory uses shall be allowed at this site, including underground storage.
  - d) the construction and operation of a 3,000 square foot six-guestroom retreat/house at 36000 Hauser Bridge Road on a 13 acre parcel, APN 109-230-018, with a maximum occupancy of 12 persons. The use of the house as a retreat is permitted only in conjunction with the retreat center.
57. The total maximum occupancy at any one given time on the project site (35755 and 36000 Hauser Bridge Road) is 122 persons (i.e. residents, retreat guests, workers, and printing press volunteers).
58. The retreat center hours of operation are 24 hours a day, seven days a week. The retreat center is limited to 120 retreats per year as allowed previously by Use Permit UPE04-0032 and described in the Proposal Statement dated May 6, 2004.
59. The non-commercial accessory press facility hours of operation are from 7:00 a.m. to 10:00 p.m., seven days a week. The non-commercial printing press facility is an ancillary use to the retreat center. A commercial printing press facility is not allowed as part of this Use Permit. The maximum occupancy in the non-profit Tibetan Buddhist printing press facility is 94 persons and shall be included in the total maximum occupancy of 122 persons.
- Non-textual sacred objects which are used as part of the sacred Buddhist tradition for devotional and practice purposes may be produced on-site in the printing facility and stored in the book storage structures ("sacred text treasuries").
60. The use shall be operated in accordance with the proposal statements dated March 15, 2011 and December 19, 2011, and site plan dated March 10, 2011, located in File No. PLP08-0021 as modified by these conditions. This Use Permit (PLP08-0021) shall supersede all prior Use Permits/Zoning Permits (UPE99-0152, UPE04-0032, UPE07-0089, and UPE99-0152).
61. Book production shall be limited to generating an average of one truck round trip per day on an annual basis. Truck trips associated with the printing facility include delivery of supplies and transport of finished books and non-textual sacred objects off-site. The size of trucks traveling to and from the project site shall not exceed 24 feet in length.
- Mitigation Monitoring: The operator shall maintain records of truck deliveries and exports and provide annual reports to PRMD staff on the total number of trips.
62. The height of the two existing book storage structures 14,400 sf and 16,000 sf located on the east side of Hauser Bridge Road shall not exceed 40 feet, provided that they are maintained with non-reflective materials to blend in color with the surrounding vegetation.
63. Retreat guests and printing press volunteers may occupy and utilize all structures on-site as described on the project site plan dated March 10, 2011, by Sherwood Design Engineers.
64. All buildings on the project site are restricted to the designated areas on the site plan dated March 10, 2011, by Sherwood Design Engineers.
65. The applicant shall record a deed restriction, subject to approval by the Director of PRMD and

County Counsel indicating that in the event the property is conveyed to a party not affiliated with the traditions and practices of Tibetan Buddhism, the printing press equipment shall be dismantled and removed prior to conveying the property to the new owner. The accessory use of the printing facility and associated storage shall no longer be permitted accessory uses. The deed restriction shall be recorded prior to commencing this use and prior to vesting this Use Permit.

66. Grading and removal of nesting trees in the vicinity of the proposed 6-guest room retreat/house and tent platforms should be conducted outside the nesting season which occurs between approximately February 15 and August 15.

If grading before February 15 is infeasible and groundbreaking must occur within the breeding season, a pre-construction nesting bird survey of the grasslands and adjacent trees shall be performed by a qualified biologist. If no nesting birds are observed, no further action is required and grading shall occur within one week of the survey to prevent "take" of individual birds that could begin nesting after the survey.

If birds are observed on site after February 15 it will be assumed that they are nesting on site or adjacent to the site and ground breaking shall be delayed until after the young have fledged, as determined by bird surveys by a qualified biologist, or after the nesting season.

Mitigation Monitoring: If construction should occur between February 15 and August 15 the issuance of grading or building permit for the project will not be approved by the Project Review Division until the required pre-construction nesting bird survey is performed by a qualified biologist and approved by the CDFG.

67. A bat habitat assessment shall be conducted by a biologist possessing a Scientific Collection Permit and Memorandum of Understanding with the CDFG for work with bats 45 days prior to commencement of construction to determine presence or absence of the species in the vicinity of the proposed new 6-guest house retreat/house and previously approved Wellness Center (UPE07-0089). Trees containing suitable cavities for roosting bats located in the vicinity of the proposed new 6-guest retreat/house shall be identified. If retention of these trees is not feasible to accomplish the project objectives, removal must occur under consultation and supervision of a qualified bat biologist, only during seasonal periods of bat activity (Feb. 15 - April 15, and Aug. 31 - October 15).

Mitigation Monitoring: Prior to issuance of a grading or building permit the applicant shall submit to the Project Review Division and the CDFG a bat habitat assessment conducted by a qualified bat biologist. The bat habitat assessment shall be approved by the CDFG.

68. Prior to issuance of any building permit, the permit holder shall submit to PRMD a plan to eliminate any increase in greenhouse gas emissions from project construction and operation through all feasible strategies of carbon off-sets chosen by the permit holder, and to further reduce greenhouse gas emissions to meet Policy 7.1 of the General Plan Open Space & Resource Conservation Element by reducing their greenhouse gas emission by 25% below 1990 levels by 2015. The plan shall include but not limited to, use of more fuel efficient trucks, use of alternative energy resources to offset increased demand, reduced truck idling times, sequestration agreements, purchase of carbon credits, off-site mitigation, and/or other measures allowed by law. The plan shall be subject to review and approval by PRMD and shall quantify the project's annual emissions and expected reductions and be verified and certified by a qualified, independent entity approved by the County. The actions specified in the approved plan shall be implemented by the permit holder as set forth in the plan.
69. All new construction shall be constructed using the Sonoma County Green Building Program Standards.

70. All light fixtures in new 6-guest room retreat/house and storage buildings shall be fitted with low energy bulbs such as fluorescent or L.E.D. bulbs, consistent with Sonoma County's Green Building Standards and energy efficiency ordinance.

Mitigation Monitoring: The PRMD Building Division shall not issue a building permit unless the project conforms to all current Green Building Standards, including lighting.

71. Ultra low flow water usage appliances and fixtures shall be installed in the new 6-guest room retreat/house located on APN 109-230-018. The applicant shall supply a specification sheet and certification that fixtures and appliances meet EPA water sense standards.

Mitigation Monitoring: PRMD Building Division will not issue a building permit unless the project conforms to all current Green Building Standards.

72. Prior to issuance of building permits, an exterior lighting plan shall be submitted for review and approval by the Design Review Committee or the Project Planner. Exterior lighting shall be low mounted, downward casting and fully shielded to prevent glare. Lighting shall not wash out structures or any portions of the site. Light fixtures shall not be located at the periphery of the property and shall not spill over onto adjacent properties or into the night sky. Flood lights are not permitted. Exterior lighting shall not exceed 100 watts or equivalent lumens.

73. All building and/or grading permits shall have the following note printed on plan sheets:

"In the event that archaeological resources such as pottery, arrowheads, midden or culturally modified soil deposits are discovered at any time during grading, scraping or excavation within the property, all work shall be halted in the vicinity of the find and County PRMD - Project Review staff shall be notified and a qualified archaeologist shall be contacted immediately to make an evaluation of the find and report to PRMD. PRMD staff may consult and/or notify the appropriate tribal representative from tribes known to PRMD to have interests in the area. Artifacts associated with prehistoric sites include humanly modified stone, shell, bone or other cultural materials such as charcoal, ash and burned rock indicative of food procurement or processing activities. Prehistoric domestic resources include hearths, firepits, or house floor depressions whereas typical mortuary resources are represented by human skeletal remains. Historic artifacts potentially include all by-products of human land use greater than fifty (50) years of age including trash pits older than fifty (50) years of age. When contacted, a member of PRMD Project Review staff and the archaeologist shall visit the site to determine the extent of the resources and to develop and coordinate proper protection/mitigation measures required for the discovery. PRMD may refer the mitigation/protection plan to designated tribal representatives for review and comment. No work shall commence until a protection/mitigation plan is reviewed and approved by PRMD - Project Review staff. Mitigations may include avoidance, removal, preservation and/or recordation in accordance with California law. Archeological evaluation and mitigation shall be at the applicant's sole expense.

"If human remains are encountered, all work must stop in the immediate vicinity of the discovered remains and PRMD staff, County Coroner and a qualified archaeologist must be notified immediately so that an evaluation can be performed. If the remains are deemed to be Native American, the Native American Heritage Commission must be contacted by the Coroner so that a "Most Likely Descendant" can be designated and the appropriate provisions of the California Government Code and California Public Resources Code will be followed."

Mitigation Monitoring: Building/grading permits shall not be approved for issuance by Project Review staff until the above notes are printed on the building, grading and improvement plans.

74. The project shall comply with all provisions of the County Low Water Use Landscaping Ordinance. A Water Conservation Plan shall be submitted for all landscaping prior to building permit issuance, subject to PRMD review and approval. The Water Conservation Plan shall

comply with all provisions of the County Water Efficient Landscaping Ordinance. Verification from a qualified irrigation specialist that landscaping complies with the County Ordinance shall be provided prior to building permit issuance. The measures in the plan shall be implemented and verified by PRMD staff prior to Certificate of Occupancy.

75. All grading and development on site shall be done in compliance with the County Tree Protection Ordinance, including protection of trees during construction with a chain link fence at the dripline, and replacement of damaged or removed trees. The project's grading and landscape plans shall detail all tree protection implementation measures.

Mitigation Monitoring: PRMD shall not sign off the grading or building permit for issuance until the project grading and landscape construction documents clearly show all tree protection measures (as required in the County Tree Protection Ordinance). PRMD shall not sign off the grading or building permit for occupancy until a site inspection has been conducted, and the applicant has provided written verification from the project's landscape architect or contractor, that the tree protection measures were complied with.

76. The permit holder shall be responsible for controlling dust and debris during all construction phases. The following dust control measures shall be followed during construction:
- a. Water or dust palliative shall be sprayed on unpaved construction and staging areas during construction as necessary to control dust.
  - b. Trucks hauling soil, sand and other loose materials over public roads will cover the loads, or will keep the loads at least two feet below the level of the sides of the container, or will wet the load sufficiently to prevent dust emissions.
  - c. Paved roads will be swept as needed to remove soil that has been carried onto them from the project site.
  - d. Water or other dust palliative will be applied to stockpiles of soil as needed to control dust.

Mitigation Monitoring: Building or grading permits shall not be issued for construction activities until the above notes are printed on construction plans. PRMD shall conduct an on-site investigation if dust complaints are received. If determined complaints are warranted, the Permit Holder shall implement greater dust control measures or PRMD may issue a stop work order.

77. Development on this parcel is subject to the Sonoma County Fire Safe Standards and shall be reviewed and approved by the County Fire Marshal/Local Fire Protection District. Said plan shall include, but not be limited to: emergency vehicle access and turn-around at the building sites), addressing, water storage for fire fighting and fire break maintenance around all structures. Prior to occupancy, written approval that the required improvements have been installed shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.
78. The applicant shall include these Conditions of Approval on a separate sheet(s) of plan sets to be submitted for building and grading permit applications.
79. Within five working days after project approval, the applicant shall pay a mandatory Notice of Determination filing fee of \$50.00 (or latest fee in effect at time of payment) for County Clerk processing, and \$2,101.50 (or latest fee in effect at time of payment) because a Mitigated Negative Declaration was prepared, for a total of \$2,151.50 made payable to Sonoma County Clerk and submitted to PRMD. If the required filing fee is not paid for a project, the project will not be operative, vested, or final and any local permits issued for the project will be invalid (Section 711.4(c)(3) of the Fish and Game Code.) NOTE: If the fee is not paid within five days after approval of the project, it will extend time frames for CEQA legal challenges.

80. The applicant shall pay all applicable development fees prior to issuance of building permits.
81. Construction of new or expanded non-residential development on each lot shall be subject to Workforce Housing Requirements pursuant to 26-89-045 of the Sonoma County Code.
82. The operator shall register and remain current on all transient occupancy taxes for the retreat/camping use unless determined by the County Assessor to be exempt.
83. This use shall be constructed, maintained, and operated in conformance with all applicable county, state, and federal statutes, ordinances, rules, and regulations. A violation of any applicable statute, ordinance, rule or regulation shall be a violation of the Use Permit, subject to revocation.
84. At the time of submitting a building permit application, the applicant shall submit to PRMD a Condition Compliance Review fee deposit (amount to be determined consistent with the ordinance in effect at the time). In addition, the applicant shall be responsible for payment of any additional compliance review fees that exceed the initial deposit (based upon hours of staff time worked) prior to final inspection being granted.
85. This "At Cost" entitlement is not vested until all permit processing costs are paid in full. Additionally, no grading or building permits shall be issued until all permit processing costs are paid in full.
86. Any proposed modification, alteration, and/or expansion of the use authorized by this Use Permit shall require the prior review and approval of PRMD or the Board of Zoning Adjustments, as appropriate. Such changes may require a new or modified Use Permit and additional environmental review.
87. The Director of PRMD is hereby authorized to modify these conditions for minor adjustments to respond to unforeseen field constraints provided that the goals of these conditions can be safely achieved in some other manner. The applicant must submit a written request to PRMD demonstrating that the conditions is infeasible due to specific constraints (e.g. lack of property rights) and shall include a proposed alternative measure or option to meet the goal or purpose of the condition. PRMD shall consult with affected departments and agencies and may require an application for modification of the approved permit. Changes to conditions that may be authorized by PRMD are limited to those items that are not adopted standards or were not adopted as mitigation measures or that were not at issue during the public hearing process. Any modification of the permit conditions shall be documented with an approval letter from PRMD, and shall not affect the original permit approval date or the term for expiration of the permit.  
  
The owner/operator and all successors in interest, shall comply with all applicable provisions of the Sonoma County Code and all other applicable local, state and federal regulations.
88. This permit shall be subject to revocation or modification by the Board of Zoning Adjustments if:  
(a) the Board finds that there has been noncompliance with any of the conditions or (b) the Board finds that the use for which this permit is hereby granted constitutes a nuisance. Any such revocation shall be preceded by a public hearing noticed and heard pursuant to Section 26-92-120 and 26-92-140 of the Sonoma County Code.

In any case where a Use Permit has not been used within two (2) year after the date of the granting thereof, or for such additional period as may be specified in the permit, such permit shall become automatically void and of no further effect, provided however, that upon written request by the applicant prior to the expiration of the two year period the permit approval may be extended for not more than one (1) year by the authority which granted the original permit pursuant to Section 26-92-130 of the Sonoma County Code.



# Sonoma County Board of Zoning Adjustments **MINUTES**

Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

Date: April 5, 2012  
Meeting No.: 12-003

## **Commissioners**

Dick Fogg  
Don Bennett  
Paula Cook  
Jason Liles  
Tom Lynch, Chair

## **Staff Members**

Jennifer Barrett  
Cynthia Demidovich  
Sue Dahl  
David Hurst, Chief Deputy County Counsel

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**1:00 PM** Call to order and Pledge of Allegiance

**Approval of Minutes –**

**Correspondence**

**Board of Supervisors Actions**

**Commissioner Announcements/Disclosures**

**Public Appearances**

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## **REGULAR CALENDAR**

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Item No.1 Time: 1:05 p.m. File: PLP08-0021  
Con't from: March 15, 2012  
Applicant: Ratna Ling Retreat Center, Jack Petranker Staff: Cynthia Demidovich  
Env. Doc: Mitigated Negative Declaration  
Proposal: Request for a Use Permit to expand an existing retreat center to include the following: 1) the construction of a six bedroom residential facility on APN 109-230-018 with a maximum occupancy of 12 persons; 2) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons; 3) allow the maximum occupancy on the project site (APN 109-230-024, and -018) at any one given time to be 122 persons; 4) make non-textual sacred objects; 5) construct 4,080 square feet of residential storage in five buildings; 6) eliminate the current limitation on sacred text production and instead limit truck traffic associated with text and non-textual production; 7) terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of



Tibetan Buddhism; 8) permit 39,270 square feet of sacred text storage buildings located in existing on-site buildings; and 9) change the maximum occupancy of the existing press building from 27 to 94 persons.

Location: 35755 Hauser Bridge Road, Cazadero  
APN: 109-230-024 and -018 Supervisorial District: 5  
Zoning: RRD (Resources and Rural Development), B6-240 acres density

**Cynthia Demidovich** summarized the staff report, which is incorporated herein by reference.

**Questions from Commissioners: Commissioner Fogg** asked how the intensity was measured and **Staff Demidovich** said it is measured by traffic, the amount of acreage covered, amount of water used, and the number of guests that stay on the site. **Commissioner Fogg** asked about the lot coverage. **Staff Demidovich** stated that the maximum allowable lot coverage is five acres, and the project proposes to cover 3.3 acres.

**Commissioner Liles** asked what had been approved in the past. **Staff Demidovich** said that at one time a large corporation had purchased the property and been approved for an upscale resort, which never materialized. They sold the property to the current owners, who applied for a use permit that was approved in 2004.

**Commissioner Liles** asked how the TOT on the retreat center is collected. **Deputy Director Barrett** indicated that the Assessor will charge the TOT tax on that portion of the retreat associated with overnight lodging. **Commissioner Liles** said that it would benefit the County during these tough economic times.

**Commissioner Cook** asked for clarification of what is involved in the road maintenance agreement. This was deferred to later in the discussion.

**Commissioner Lynch** asked if the temporary storage tents were being replaced by new structures, and **Staff Demidovich** said there were no replacement buildings proposed on the property. New construction would be limited to the storage buildings for the cabins and the new single family dwelling. The former project proposal had been revised to eliminate the underground caves, and the applicant hopes to convert the tents to permanent storage.

### **Public Hearing Opened at 1:30**

**Speakers. Gene Gretchen**, applicant, gave a power point presentation and video. At one time there were plans on the site to build a high end resort and spa that catered to the wealthy. Everything had been approved and construction started. That project would have had two times the vehicle impact as the current proposal. **Ratna Ling** has a high demand for retreats and their request is modest compared to what has been previously approved. The only new buildings proposed are a storage building and one new 6 bedroom residence. **Ratna Ling** wants to increase retreat occupancy and had to turn away guests in the summer. They plan to house guests and volunteers in eight tents and to make the existing storage units permanent because they withdrew their plans for an underground storage cave. **Ratna Ling** has agreed to minimize truck impacts to one round trip per day with a truck 24 feet in length to minimize impacts on the community, have agreed to terminate the use of the press upon sale of the property for non-Tibetan use, and do not foresee additional expansion of the press building. **Gretchen** said that the press use is ancillary and accessory to the principal use of the property as a Buddhist retreat center.

**Robin Caton** said that the press facility was the issue that caused the request for the hearing. **Caton** stated that the press use is ancillary and subordinate to the primary function of the property as a Buddhist retreat. It is common to have presses at Buddhist Retreat centers, and bookmaking is integral to a monastery. The press is located at **Ratna Ling** because it is a sacred place, and part of the southern quadrant of the Mandala of Odiyan. Making of sacred text is a meritorious practice that brings blessings. **Caton** thanked Sonoma County for supporting religious freedom. Different guests at the center do work (referred to as dharma) to produce sacred texts, and the vast majority of the books are given to Tibetan Buddhist refugees at no cost. The guests participate in study, meditation, chanting, slow walking, dedication, and conduct or activity work related to preserve and promote the dharma by working on the sacred texts.

Ratna Ling has tried to resolve issues with neighbors without success, help open houses and meetings. The construction of the retreat center caused problems with the neighbors, and Ratna Ling voluntarily initiated a moratorium on construction, which is still going on.

**Commissioner Liles** asked what percentages of the books produced on site were given away. Caton stated that about 99% of the books are given away. About 1% are produced in English are sold to help support production costs.

**Commissioner Cook** asked if consideration had been given to storing the books in a more populated area. Ms. Caton said that the books are stored in a sacred text treasury, and rituals are performed to maintain sacred quality of the books. Many books are waiting till they can be sent to China, India, and Tibet and they need to be kept under certain conditions to maintain their sacred quality.

**Commissioner Cook** asked if this could be done off site, and Ms. Caton replied that the proximity to Odiyan and the Head Lama is important.

**Carolyn Singer**, neighbor, 40 year resident of the area, lives a mile south of Ratna Ling. She extensively reviewed the history of the permits on the site, showed aerial photographs, and stated that the press should be located in an industrial area and is not appropriate for the site. The religious factors should not matter. The issue is land use. The press violates the General Plan. Ratna Ling trucks out everything and does not use local resources. Findings must be made that the press is ancillary to the retreat, and this is a major issue. Mrs. Singer claimed the use permit has condoned seven years of flagrant violations. When the County allowed the tents and Ratna Ling applied for a General Plan amendment, it was approved with an administrative decision without notice or hearing. Mrs. Singer asked for denial of the Use Permit and wanted Ratna Ling to move their printing production somewhere other than the RRD zone.

**Commissioner Liles** asked how Ratna Ling has impacted Mrs. Singer. Mrs. Singer stated that there have been traffic impacts and the community has changed. New people create a "quality of disturbance," and while the retreat center is quiet, she was concerned about the industrial use of the press, although she can't hear them from her property. Neighbors to the east can see the book storage tents. Singer stated that the community relationships are what keep her there, and while Ratna Ling reaches out, it does so on their own terms.

**Charles Judson**, President of Weeks Drilling and Pump, manages the water system for Ratna Ling and for the two previous owners. Judson said that Ratna Ling is unique to work with, and stated that previous owners wanted much higher use. Ratna Ling worked with professionals to develop a unique water system. Judson never noticed any evidence of violations, found Ratna Ling to be straight forward and easy to deal with business partners. They even showed him ways of doing a better job and being more environmentally sensitive.

**Bruce Hammond, Santa Rosa**, has also done business with Ratna Ling and said they adopted green building practices early on, practice sustainable land management, hired a cutting edge architect and are environmentally sensitive. During construction, workers were asked to carpool and stick to a careful schedule to minimize traffic.

**Rue Furch, Sebastopol**, stated that people in coastal hills all live at end of road and have to work together, and when there are divisions in the community it is awful. The area is densely wooded, the roads are single lane and not well maintained. The religious aspect of the project is not being questioned - the issue is a land use decision. Religious worship was discussed at length in the General Plan update, but the definition of what is ancillary still was never resolved, especially with weddings at wineries. Ms. Furch compared the size of the tents to the Dry Creek Casino, and opposed a printing facility in the RRD zone. She was concerned about precedent being set that would open up other uses.

**Pete Prieto**, Meyers Grade Road, asked what the purpose was of having regulations if they aren't followed. Printing presses are not permitted in RRD, and it should be a cut and dry decision. Prieto met with Ratna Ling staff and still does not agree that the use is ancillary. If it is absolutely necessary, it can't be ancillary.

**John Howland, Timber Cove Road** stated that the main point surrounding property expansion is the major commercial print operation that is undeniably industrial and that the retreat is ancillary to the printing operation.

Howland said that an EIR is needed. The referrals should have stated that it is a print operation and did not reflect the true nature of the project. Many of the studies are out of date, incorrect, and misleading. It would be irresponsible to approve the request without an EIR.

**Michael Singer**, neighbor and fire chief of Timber Cove VFD, stated that Ratna Ling bought the department a new engine and they were grateful for it. He personally opposes the project because of the 39,000 square foot book and paper storage. Singer said he doubts that Ratna Ling will be able to obtain a fire permit to make it permanent because it is defined as a membrane structure, not a tent. Membrane structures must meet building code requirements in a high fire zone, and incombustible materials must be used in construction. Singer anticipates that Ratna Ling will need warehouses to meet the code, and the height should be evaluated. Local fire personnel are not trained to deal with industrial fires.

**Commissioner Cook** asked what the road maintenance agreement includes. Singer stated that Sonoma County uses Fire Safe standards, need sufficient paved or gravel access (depending on slope) and turn around room on properties.

**Mike Reilly, Forestville**, stated that since the applicant agreed to dismantle the presses if they change ownership that there will be no precedent to foster industrial use in the RRD zone. The facility cannot be seen or heard, and the only impact on the community is traffic, which the applicant has volunteered to reduce by half. One truck trip per day is not going to create a significant impact. Ratna Ling has always cooperated with the County and Reilly is not aware of any notices of violation. They are only seeking to make their teachings available and to restore a culture, and he is proud to have them in his district. Reilly supports the request.

**Barbara Bryant, Berkeley**, supports the project and goes to retreats at Ratna Ling.

**Matthew Breit**, Ratna Ling volunteer, left NYC to come to Ratna Ling, and wanted to find out how to make most out of his life. Day begins at 5:30 studies Buddhist Yoga, then breakfast, chanting mantras, reading, working on texts, mindfulness, and centers on using work as a spiritual path. The creation of sacred texts are integral to the retreat process.

**Bruce Johnson, Sea View Road**, said the community felt misled when Dharma Press moved their entire operation onto the site. He asked how the press can be ancillary when it is the mother ship and said there will be excessive truck traffic from industrial use.

**Doug Nurenborg**, volunteer at Ratna Ling and project manager since 2004, said he worked with neighbors to alleviate construction impacts, gave out his personal cell and email numbers, was happy to respond to inquiries, and Ratna Ling held an open house for the community. They hosted monthly meetings to look at ways to mitigate traffic concerns and provided signage to the community. They encourage carpooling, encourage the truck to use alternate routes, and banned concrete and sand and gravel trucks from using Meyers Grade and Sea View Roads at considerable expense.

**Bob Dozor, Santa Rosa**, said his daughter wrote "Work is Meditation." He expressed gratitude to Ratna Ling for helping his daughter with her personal growth and supported the project.

**Dale Freeman, Sea View Road** resident, cycles a lot, and stated that the area has become cycling attraction. He was concerned about potential for accidents. Freeman could not understand why the text could not be printed in Berkeley, and worried that Ratna Ling will want to add more.

**Nancy Feeham, Sea View Road** resident, said that neighbors have lands zoned the same and are only allowed to build four houses. What is permitted at Ratna Ling is the equivalent of 72 houses and this isn't fair.

**Russell Wells, Timber Cove Road**, expressed concern about precedent and asked for an EIR. He criticized the mitigated negative declaration saying it lacked information and analysis and that it does not address cumulative impacts. Reports are obsolete, incomplete, and ignore obvious factors. The Initial Study even used the

applicant's proposal statement to justify conclusions. The EIR should be prepared by an objective third party, and not paid for by the applicants. The book storage tents should be removed.

**Christian Doering, Sea Ranch**, likes Ratna Ling, and said neighbors have benefitted from it. Ratna Ling bought a fire truck, provided training, installed a hydrant for a 6,000,000 gallon reservoir, and has donated an emergency shelter trailer to the Red Cross. They established a rest area for cyclists with water fountain. Doering is happy to have Ratna Ling as a neighbor.

**Scott Stegeman, environmental consultant**, regarding the ancillary argument, asked what findings could be written that would not kick door wide open for anyone to say there is a psychological need for something on property. Stegeman asked if faith in and of itself should be the basis for what deciding what is an accessory use.

Stegeman stated that anyone can go to the IRS and ask for non profit status as a church, then come in and ask for something as an ancillary use. According to Stegeman, problems arise when we drift away from land use principals and base decisions on faith.

Stegeman said that the project setting described in the mitigated neg dec was inconsistent with Exhibit B. There was no discussion of Odiyan at all, although it is linked at the hip with Ratna Ling. There were many things missing and not accounted for in the traffic report, such as the baseline not addressing bus service. Conditions of the road and degradation were not analyzed, and the project will tear up the road.

**Homer Canelis, Cazadero** resident, said his family has lived in the area since the 1870s. At one time ranches were cut into 40 acre parcels, which changed the landscape. This was resolved over time and what was two groups became one with more diversity. Canelis expressed confidence that, in time, the two groups will work out their differences and become unified.

**Jim Finn, Jenner**, said the BZA is only place besides the Board of Supervisors where people have a chance to address local issues that are bothering them. Finn said that the project in is out of character for the rural area and book printing causes disturbance. Finn expressed concern about precedent being set for other similar groups.

**Jacob Bayless, Kruse Ranch Road**, loves Buddhism and thinks Ratna Ling is marvelous. The core matter is the press facility which is not compatible. The retreat center does not require a press. Bayless asked for denial of the project.

**Carol Vellutini, local resident**, has family in the area since the 1800's. Vellutini said we can't keep stamping out projects without defining ancillary. Truck trips to develop the project have impacted the area.

**Curtis Caton**, on rebuttal, appreciated the comments and patience expressed. A number of last minute paper submissions were submitted and he asked for copies to give to Jean Kapolchok. He asked those showing support to stand and about 30-40 people stood. Caton added that many others who support the project had to leave.

Caton commented that a lot of what was being said was attempting to make it into larger or bigger issue than it actually is. Ratna Ling is not asking for a General Plan amendment or zone change, but a Master Use Permit that is built upon prior actions already approved by the BZA, which directly responded to neighbor concern. The original application established the relationship as the primary use as a retreat center and ancillary use, and this issue has been studied and analyzed. After careful study, staff concludes that their request is appropriate and there are no significant impacts. Caton stated that the press is deeply connected to primary use of retreat center.

**Steve Butler**, on rebuttal, spoke regarding alleged deficiencies in the environmental analysis calling for an EIR. Butler stated that an EIR is only required when there is evidence of a significant adverse physical impact on the environment that cannot be mitigated. The only actual new construction will be the 6 bedroom house on an existing pad and driveway, small storage structures, and 8 tent structures on existing wooden platforms which were already part of the existing baseline. Other aspects which were previously approved can be built regardless of the action taken today by the BZA. Due to the modest nature of the expansion, an EIR is not needed.

**Commissioner Lynch** stated that he sensed a misunderstanding of intentions, and neighbors are concerned about continued expansion at Ratna Ling and have felt deceived.

Caton said the reason for the master use permit was to put all plans for the future into one document. Many meetings had been held to develop a "wish list." Many have already been approved. They need more retreat participants and accommodations. Ratna Ling voluntarily interrupted construction in 2009 because of neighbor concern, and learned their lesson.

**Commissioner Lynch** asked if Ratna Ling plans to continue engaging the community and Mr. Caton said that they would continue to work with community to become unified. Even during the acrimonious period, outreach has still been there and the facility extended participation in Tibetan Yoga to neighbors on site. Several neighbors regularly attend. This was offered free as a gesture, and Ratna Ling will make additional efforts to lower the intensity of the acrimony.

**Commissioner Lynch** said the real concern is the press, what is being called "ancillary use," and fear of continued expansion. Limits need to be defined and Ratna Ling needs to include the neighbors. Caton pledged to do that, adding that they have not asked for unlimited rights to do anything. There was some misunderstanding that permit did not list clear limitation on how much printing would occur. That is why they came up with the reduced truck trips.

**Commissioner Fogg** asked if we were looking at the 20 year master development plan. Caton stated that unless circumstances change dramatically, they won't be back in for 20 years. Caton claimed that the changes to the initial application are modest.

**Commissioner Fogg** stated that it would appear that neighbors think differently and there is a perception of "mission creep."

**Commissioner Liles** asked if the storage building would have power and utility hookups. Mr. Gretchen said there are no plans for water hook ups and he was not sure about power. The primary use is to store linens and furniture for the cottages.

**Commissioner Liles** referred back to Michael Singer's statement that the tents may not be approved by the fire marshall. Mr. Gretchen said that this was the first he had heard about it and will talk to the fire marshall.

**Commissioner Lynch** expressed concern about what would happen if the temporary buildings could not be permitted. The other commissioners agreed that this needs to be clarified with the fire marshall.

**Commissioner Cook** asked that the square footage referred to in Condition 56 and Exhibit B be corrected to reflect the same amount. She expressed concern about the issues mentioned by Mr. Singer about the temporary storage building

**Commissioner Fogg** asked if there was enough parking at capacity. Mr. Caton said that there is plenty of parking and carpooling is encouraged when possible.

#### **Public Hearing Closed at 4:55**

#### **Commission Discussion**

**Commissioner Liles** asked **Staff** to go over the allowed uses in RRD zoning. **Deputy Director Barrett** stated the uses allowed by right without a use permit to be large family daycare, contractor equipment storage yards, management of land for watershed, pet fancier facilities, residential uses, growing of and harvesting of crops, boarding of horses, cleaning, packing, and polishing of crops, removal of timber and fuel wood, timber management. Uses allowed with a use permit include lodging facilities, schools, gravel mining, farm labor camps, agricultural cultivation, livestock feedyard, commercial kennel, commercial stables, commercial

aquaculture, commercial wood yards, contractor equipment storage, growing and harvesting and storage of products, commercial mushroom farming, slaughterhouse, animal processing plant, rendering, lumber planing, logging mills, and more. **Deputy Director Barrett** added that anything related to the primary use must be subordinate and ancillary to it. It is a judgment call to decide which is the most intense use and in this case book storage was determined to be an accessory use. **Deputy Director Barrett** added that the press facility was already vested based on the 2004 use permit.

**Commissioner Bennett** expressed concern that the use could be intensified to include other uses, such as building statues, and suggested conditioning against this.

**Commissioner Fogg** suggested adding a condition that the presses be restricted to printing religious material.

**Commissioner Cook** noted that the issue is land use, not cultural, but it also appears that the storage and press are vested as an incidental use. She suggested a condition for a periodic review to assure that creep is not occurring with possible sanctions if violations are noted. The traffic impacts were still not clear to her.

**Deputy Director Barrett** recalled a project she worked on which established a road mitigation fee for aggregate hauling that was based on extensive analysis of how truck weight impacts road. It found that smaller trucks had less impact, the number of axles were factored in, and the fee is calculated on tonnage. Similar mitigations could be added in to the project to help pay for road repairs.

**Commissioner Liles** asked if the excess height of the storage buildings could be resolved if they are made permanent structures. Deputy Director Barrett said that if design review is conducted exceptions can be made for height limit. Staff approved the extra five feet for the temporary use. The BZA can also approve the exception or may require that the permanent structures meet the height limit.

**Commissioner Liles** asked for information regarding violations on the site and **Staff Demidovich** said Ben Neuman, Building and Code Enforcement Manager, said that the site was brought into conformance with the 2004 use permit and brought into compliance. There is an open violation pending outcome of the BZA hearing.

**Commissioner Liles** asked for a discussion of ancillary. Deputy Director Barrett consulted the Zoning Code and said that accessory use means a use of land or a building which is related and subordinate to the primary use of the land.

**Commissioner Bennett** stated that he did not think there was need for an EIR.

**Commissioner Cook** suggested periodic review of the use permit to give the neighbors a chance for a public hearing. The other commissioners concurred.

**Commissioner Liles** stated that this applicant created the concern about creep, but when looking at what other types of uses could be allowed in the RRD zone, he noted that the impacts could be a lot worse. Mr. Canelis said it well when both sides used the words "opponents" over and over again. This is not the way a neighborhood usually operates, and it would be wise for the neighborhood to start working together.

**Commissioner Lynch** said that the periodic review would help with the distrust issues held by the neighbors, but the temporary buildings are still an issue. If, as Mr. Singer claims, they don't meet fire code, a way needs to be found to resolve the matter.

**A straw vote was taken to approve the project, and staff was asked to address the following items:**

- The Use Permit shall be subject to a three year review of approval, applicant shall submit deposit for such as part of the conditions of compliance which will provide for modification or revocation of the permit. It will be noticed as a public hearing and go to a larger area than the normal 300 foot range.
- Applicant shall provide the total maximum tonnage for the 24 foot truck and shall contribute annually a fair share contribution for maintenance of roads as determined by Public Works.

- Use of the press shall be limited to printing of Tibetan Buddhist text.
- The applicant was asked to return with a proposal on how they would limit production of artifacts such as prayer beads, meditation cushions, and art projects.
- Modify Condition 82 to require that the applicant shall pay back taxes and remain current.
- Talk to the Fire Marshall about how to deal with making the tents permanent and bring back a recommendation.

Action: A straw vote was taken to approve the project with modified conditions. Staff was directed to bring back information regarding Fire Marshall relative to the temporary storage buildings and to address artifact production. Continued until June 7<sup>th</sup> at 1:05 p.m.

Appeal Deadline:

Resolution No.:

Fogg: Aye      Bennett: Aye      Cook: Aye      Liles: Aye      Lynch: Aye  
Ayes: 5      Noes: 0      Absent: 0      Abstain: 0

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Minutes adopted April 19, 2012

County of Sonoma  
Santa Rosa, California

June 7, 2012  
PLP08-0021 Cynthia Demidovich

RESOLUTION OF THE BOARD OF ZONING ADJUSTMENTS,  
COUNTY OF SONOMA, STATE OF CALIFORNIA, ADOPTING A  
MITIGATED NEGATIVE DECLARATION AND GRANTING A USE  
PERMIT FOR A REVISED MASTER PLAN FOR A RETREAT  
CENTER ON PROPERTY LOCATED AT 35755 AND 36000  
HAUSER BRIDGE ROAD, CAZADERO; APN 109-230-024 and  
-018.-

WHEREAS, the applicant, Ratna Ling Retreat Center c/o Jack Petranker, filed a Use Permit application with the Sonoma County Permit and Resource Management Department for a Master Plan for the Ratna Ling Buddhist Monastery expanding an existing retreat center with an accessory non-profit Tibetan Buddhist printing facility for property located at 35755 and 36000 Hauser Bridge Road, Cazadero; APN 109-230-024 and -018; Zoned RRD (Resources and Rural Development), B6-240 acre density; Supervisorial District No 5 ("the Project"); and

WHEREAS, a Mitigated Negative Declaration was prepared for the Project and noticed and made available for agency and public review in accordance with the California Environmental Quality Act ("CEQA") and the State and County CEQA Guidelines; and

WHEREAS, at its regularly scheduled meeting on April 5, 2012, the Board of Zoning Adjustments took a 5-0 straw vote to approve the project and continued the matter to June 7, 2012, for final decision, and

WHEREAS, in accordance with applicable provisions of law, the Board of Zoning Adjustments held a public hearing on June 7, 2012, at which time the Board of Zoning Adjustments heard and received all relevant testimony and evidence presented orally or in writing regarding the Mitigated Negative Declaration and the Project. All interested persons were given an opportunity to hear and be heard regarding the Mitigated Negative Declaration and the Project; and

WHEREAS, the Board of Zoning Adjustments has had an opportunity to review this Resolution and finds that it accurately sets forth the intentions of the Board regarding the Mitigated Negative Declaration and the Project.

NOW, THEREFORE, BE IT RESOLVED that the Board of Zoning Adjustments makes the following findings:

1. The use, as conditioned, is consistent with the RRD (Resource and Rural Development) General Plan land use designation and the zoning district regulations as a Tibetan Buddhist retreat center, an accessory non-profit press facility and reservoir, as it would not detract from or impinge upon lands used for timber, geothermal and mineral resource production or natural resource conservation, and watersheds, fish, and wildlife habitat will be protected.
2. The use is consistent with the intent and purpose of the RRD zoning district because it is a lodge that is an allowed use in the General Plan and zoning code.
3. Based upon the whole record (including the Initial Study and all comments received) there is no substantial evidence that the Project will have a significant environmental effect. Changes or alterations have been required in, or incorporated into, the Project



through the Conditions of Approval imposed herein that avoid or substantially lessen the potentially significant environmental effects of the Project. These changes or alterations have been agreed to by the applicant. The Mitigated Negative Declaration has been completed in compliance with CEQA State and County guidelines, and the information contained therein has been reviewed and considered.

4. The establishment, maintenance or operation of the use for which application is made will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such use, nor be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the area. The particular circumstances in this case are:
  - a. A Traffic Study dated July 29, 2011, was prepared for the proposed project by W-Trans. The study determined that according to design standards published by AASHTO both Hauser Bridge Road and Seaview Road currently meet the low-volume criterion and are projected to continue to meet this criterion under future conditions. The study concluded that there was no evidence of a site-specific safety problem attributed to inadequate sight distance. However, the study did recommend that a curve warning sign with a supplemental 15 mph advisory speed limit sign be installed on Hauser Bridge Road near the intersection of Seaview Road to warn drivers of the road conditions. The Sonoma County Department of Public Works reviewed the Traffic Study prepared by W-trans and conditioned the proposed project to place pavement markers along the center of the pavement at one location to separate opposing traffic along the vertical curve in the road alignment at post mile 6.82.
  - b. A Greenhouse Gas Analysis dated January 18, 2012, was prepared for the proposed project by URS Corporation. The analysis found that the proposed project would not have a significant impact on GHG emissions. However, additional reductions in green house gas emissions are required as a condition of approval to meet the County General Plan objectives.
  - c. The new six-guest room retreat/house will be visible from Hauser Bridge Road, however existing trees and shrubs provide some screening between the proposed six-guest room retreat/house and Hauser Bridge Road. The seasonal campground is not visible from Hauser Bridge Road.
  - d. The six-guest room retreat/house and a campground will not generate hazardous materials as the use is residential in nature. The existing operation of the accessory press facility generates minimal amounts of hazardous materials. The accessory press facility has a Hazardous Materials Business Plan approved and on file with the Sonoma County Hazmat/Fire Division.
  - e. An existing 20 acre-foot reservoir is located on the project site and has the capacity to provide water to the existing facility, the proposed six-guest room retreat/house, and the eight-tent campground.

BE IT FURTHER RESOLVED that the Board of Zoning Adjustments hereby adopts the Mitigated Negative Declaration and Mitigation Monitoring Program set forth in the Conditions of Approval. The Board of Zoning Adjustments certifies that the Mitigated Negative Declaration has been completed, reviewed, and considered, together with comments received during the public review process, in compliance with CEQA and State and County CEQA Guidelines, and finds that the

Mitigated Negative Declaration reflects the independent judgment and analysis of the Board.

BE IT FURTHER RESOLVED that the Board of Zoning Adjustments hereby grants the requested Use Permit, subject to the Conditions of Approval in Exhibit "A", attached hereto.

BE IT FURTHER RESOLVED that the Board of Zoning Adjustments designates the Secretary as the custodian of the documents and other material which constitute the record of proceedings upon which the Board's decision herein is based. These documents may be found at the office of the Sonoma County Permit and Resource Management Department, 2550 Ventura Avenue, Santa Rosa, CA 95403.

BE IT FURTHER RESOLVED that the Board of Zoning Adjustments' action shall be final on the 11<sup>th</sup> day after the date of the Resolution unless an appeal is taken.

THE FOREGOING RESOLUTION was introduced by Commissioner Lynch, who moved its adoption, seconded by Commissioner Cook, and adopted on roll call by the following vote:

Commissioner Fogg	Aye
Commissioner Bennett	Aye
Commissioner Cook	Aye
Commissioner Liles	Aye
Commissioner Lynch	Aye

Ayes: 5    Noes: 0    Absent: 0    Abstain: 0

WHEREUPON, the Chair declared the above and foregoing Resolution duly adopted; and

SO ORDERED.

# SONOMA COUNTY BOARD OF ZONING ADJUSTMENTS

## Final Conditions of Approval Exhibit A

**Date:** June 7, 2012                      **File No.:** PLP08-0021  
**Applicant:** Ratna Ling Retreat Center                      **APN:** 109-230-024 and -018  
                  c/o Jack Petranker  
**Address:** 35755 and 36000 Hauser Bridge Road, Cazadro

**Project Description:** Request for a Use Permit for a revised Master Plan to expand the Ratna Ling Buddhist retreat center and an existing 21,234 square foot accessory non-profit Tibetan Buddhist printing facility to include: 1) the construction of a 3,000 square foot six-bedroom residential facility at 36000 Hauser Bridge Road, APN 109-230-018 with a maximum occupancy of 12 persons; 2) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons is allowed to be constructed on the west side of Hauser Bridge Road south of the existing reservoir consistent with the project proposal statement and approved site plan. The seasonal campground may be used from May 1st through October 30th. The seasonal tents will be constructed on wooden platforms and have electrical hook-ups; 3) allow the maximum occupancy on the project site (APN 109-230-024, and -018) at any one given time to be 122 persons; 4) make non-textual sacred objects; 5) construct 4,080 square feet of residential storage in five buildings; 6) eliminate the current limitation on sacred text production and instead limit truck traffic associated with text and non-textual production; 7) terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism; 8) permit 40,560 square feet of sacred text storage buildings located in existing on-site buildings; and 9) change the maximum occupancy of the existing press building from 27 to 94 persons.

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### **BUILDING:**

1. The applicant shall apply for and obtain building related permits from the Permit and Resource Management Department (PRMD). The necessary applications appear to be, but may not be limited to, site review, building permit, and grading permit.
2. Prior to initiation of the approved use, the project shall comply with the accessibility requirements set forth in the most recent California Building Code (CBC), as determined by the PRMD Building Division. Such accessibility requirements shall apply to all new construction and remodeling and, where required by the CBC, to retrofitting of the existing structure.

### **HEALTH:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_"

### **PRIOR TO BUILDING PERMIT AND VESTING THE USE PERMIT:**

#### Water:

3. Prior to building permit issuance and vesting the Use Permit, the applicant shall have the water supply system evaluated by a licensed civil engineer experienced in water supply systems. The evaluation shall calculate if there is sufficient water supply to meet both the Maximum Day Demand and the average demand for the entire year (annual water balance). The report shall be submitted to the California Department of Public Health, Division of Drinking Water and Environmental Management (CDPH-DDWEM) and to the Project Review Health Specialist at PRMD for review and approval.
4. Prior to building permit issuance, the applicant shall provide the Project Review Health Specialist with the bacteriological (E. Coli and total coliform) arsenic and nitrate analysis results of a sample of the well water tested by a California State-certified lab. If the analysis shows contamination, the applicant will be required to treat the well per County requirements and re-test the well. If the contamination cannot be cleared from the well, destruction under permit of this department may

be required. Copies of all laboratory results must be submitted to the Project Review Health Specialist.

5. Prior to the issuance of any building permit, an easement is required to be recorded for this project to provide Sonoma County personnel access to any on-site water well serving this project and any required monitoring well to collect water meter readings and groundwater level measurements. Access shall be granted Monday through Friday from 8:00 a.m. to 5:00 p.m. All easement language is subject to review and approval by PRMD-Project Review and County Counsel prior to recordation.

Septic:

6. Prior to building permit issuance and vesting the Use Permit, the applicant shall obtain a permit for the construction of a six bedroom residential facility on APN 109-230-018 the sewage disposal system. The system may require design by a Registered Civil Engineer or Registered Environmental Health Specialist and both soils analysis, percolation and wet weather testing may be required. The sewage system shall meet peak flow discharge of the wastewater from all sources granted in the Use Permit and any additional sources from the parcel plumbed to the disposal system, and shall include the required reserve area.

If a permit for a standard, innovative or experimental sewage disposal system sized to meet all peak flows cannot be issued, then the applicant shall revise the project (fees apply and a hearing may be required) to amend the Use Permit to a reduced size, not to exceed the on-site disposal capabilities of the project site and attendant easements. The Project Review Health Specialist shall receive a final clearance from the Well and Septic Section that all required septic system testing and design elements have been met.

7. Prior to building permit issuance and vesting the Use Permit, the applicant shall have a capacity/wastewater flow analysis and proper functioning of the wastewater system inspection completed by a Registered Civil Engineer or Registered Environmental Health Specialist regarding the existing septic system's ability to accommodate the peak flows from the seasonal campground with eight tent structures with a maximum occupancy of 24 persons, Health Clinic, Senior Center and all other sources granted in the Use Permit and any additional sources from the parcel that are plumbed to this septic system.

Any necessary system expansion or modifications, and demonstration of reserve areas, shall be done under permit and the current standards from the PRMD Well and Septic Section and may require both soils analysis, groundwater and percolation testing. If a permit for a standard, innovative or experimental sewage disposal system sized to meet all peak flows cannot be issued, then the applicant shall revise the project (fees apply and a hearing may be required) to amend the Use Permit to a reduced size, not to exceed the on-site disposal capabilities of the project site and attendant easements. The Project Review Health Specialist shall receive a final clearance from the Well and Septic Section that all required septic system testing and design elements have been met.

8. In-room Jacuzzi tubs, hot tubs or any other over-size tub designed for use by two or more persons, or any common area Jacuzzi or hot tub, or Vichy Shower shall not be allowed unless they are specified in the septic system analysis and additional capacity in the septic system is allocated for their use.
9. Application for wastewater discharge requirements shall be updated (the current permit is WDID NO. 1B00162RSON, issued on May 20, 2005) by the applicant with the North Coast Regional Water Quality Control Board. Documentation of acceptance of a complete application with no initial objections or concerns by the Regional Water Quality Control Board shall be submitted to Project Review Health prior to building, grading for ponds or septic permit issuance (If the Regional Water Board Water Resource Engineer or Environmental Specialist have objections or

concerns then the applicant shall obtain Waste Discharge Requirements prior to building permit issuance). A copy of the waste discharge permit shall be submitted to Project Review Health prior to issuance of a certificate of occupancy or project operation. An application may be printed from: <http://www.waterboards.ca.gov/northcoast/geninfo/genwinerywdr/wine.html>

10. For multi-unit projects served by septic systems, a final summary submittal must be provided by the consultant. It must include the following for each occupied structure and tent structures in an organized booklet format: percolation test(s), hydrometer test(s), ground water test(s) results, and septic system designs including a site map that shows the septic system in relation to the structures and wells on the property.
11. Prior to the issuance of building permits and the start of any construction, plans and specifications for any public swimming pool or spa must be submitted to, and approved by, the Environmental Health Division of the Health Services Department. This condition also applies to restrooms, showers, equipment rooms and fences associated with the pools or spa. Contact the Environmental Health Division at 565-6544 for information. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the State of California regulations on public swimming pools and spas.

Vector Control:

12. A Mosquito and Vector Control Plan acceptable to the Marin-Sonoma Mosquito and Vector Control District (telephone 707-285-2200) shall be submitted prior to the construction of any ponds. The Project Review Health Specialist shall receive a copy of the Vector Control Plan and an acceptance letter from the Marin-Sonoma Mosquito and Vector Control District.

PRIOR TO OCCUPANCY:

13. A separate, dedicated monitoring well is required to be drilled for this project. The monitoring well is required to be drilled under permit of this Department and shall be of a depth, screening and development comparable to the supply well. The monitoring well shall be located as far away from other wells, ponds and wastewater disposal fields as is consistent with being in the same geologic formation as the primary well and being accessible by street vehicle. The monitoring well location shall be approved by PRMD in advance of construction. The monitoring well shall be marked with a water level measuring reference point, and the GPS coordinates (in NAD83 California State Plane II or WGS 84 lat./long.) of the monitoring well shall be submitted to PRMD.

OPERATIONAL REQUIREMENTS:

Water:

14. A safe, potable water supply shall continue to be provided and maintained.
15. The location of the wells, and groundwater elevations and quantities of groundwater extracted for this use shall continue to be monitored quarterly and reported to PRMD in January of the following year pursuant to Section WR-2d of the Sonoma County General Plan and County policies. Annual monitoring fees shall be paid at the rate specified in the County Fee Ordinance. If the County determines that groundwater levels are declining in the basin, then the applicant shall submit and implement a Water Conservation Plan, subject to review and approval by PRMD.
16. Required water meters shall be calibrated, and copies of receipts and correction factors shall be submitted to PRMD Project Review staff at least once every five years.
17. Groundwater elevations and quantities of groundwater extracted for this site shall be monitored

and reported to PRMD pursuant to section RC-3b of the Sonoma County General Plan and County policies.

18. Provide one lifeboat kept in good repair, fully equipped with oars, oarlocks, at least two life jackets, two life preserver rings and two hundred feet of rope stationed near the reservoir. The word "LIFEBOAT" shall be plainly painted on both sides of the boat, and the boat shall only be used for emergencies upon the reservoir.

The requirement for emergency equipment does not imply or authorize recreational use of the reservoir, it only acknowledges the general presence of the public and staff at this facility.

Septic:

19. Maintain the Annual Operating Permit for any alternative (mound or pressure distribution) or experimental sewage disposal system installed per Sonoma County Code 24-32, and all applicable waste discharge requirements set by the Regional Water Quality Control Board.
20. Use of the on-site wastewater disposal system shall be in accordance with the design and approval of the system.
21. All future sewage disposal system repairs shall be completed in the Designated Reserve areas and shall meet Class I Standards. Alternate reserve areas may be designated if soil evaluation and testing demonstrate that the alternative reserve area meets or exceeds all of the requirements that would have been met by the original reserve area. If wastewater ponds or a package treatment plant are needed, then a modification of the Use Permit may be required, as determined by PRMD.

Consumer Protection:

22. Obtain and maintain all required Food Industry Permits from the Sonoma County Environmental Health Division prior to serving any food.
23. Maintain all required Food Industry Permits.
24. Prior to the issuance of building permits and the start of any construction, plans and specifications for any retail food facility must be submitted to, and approved by, the Environmental Health Division of the Health Services Department. Contact the Environmental Health Division at 565-6544 for information. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the California Uniform Retail Food Facility Law (CURFFL).
25. Prior to the operation of any public swimming pool or spa, a Swimming Pool Permit must be obtained from the Environmental Health Division of the Health Services Department. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the State of California regulations on public swimming pools and spas.
26. Maintain all required Public Swimming Pool or Spa Permits.

Noise:

27. Noise shall be controlled in accordance with Table NE-2 (or an adjusted Table NE-2 with respect to ambient noise as described in General Plan 2020, Policy NE-1c,) as measured at the exterior property line of any affected residential or sensitive land use:

TABLE NE-2: Maximum Allowable Exterior Noise Exposures

Hourly Noise Metric <sup>1</sup> , dBA	Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
L50 (30 minutes in any hour)	50	45
L25 (15 minutes in any hour)	55	50
L08 (5 minutes in any hour)	60	55
L02 (1 minute in any hour)	65	60
<sup>1</sup> The sound level exceeded n% of the time in any hour. For example, the L50 is the value exceeded 50% of the time or 30 minutes in any hour; this is the median noise level. The L02 is the sound level exceeded 1 minute in any hour.		

28. If noise complaints are received from nearby residents, and they appear to be valid complaints in PRMD's opinion, then the applicant shall conduct a Noise Study to determine if the current operations meet noise standards and identify any additional noise Mitigation Measures if necessary. A copy of the Noise Study shall be submitted to the Project Review Health Specialist within sixty days of notification from PRMD that a noise complaint has been received. The owner/operator shall implement any additional Mitigation Measures needed to meet noise standards.

**Solid Waste:**

29. All garbage and refuse on this site shall accumulate or be stored in non-absorbent, water-tight, vector resistant, durable, easily cleanable, galvanized metal or heavy plastic containers with tight fitting lids. No refuse container shall be filled beyond the capacity to completely close the lid. Garbage and refuse on this site shall accumulate or be stored for no more than seven calendar days, and shall be properly disposed of at a County Transfer Station or County Landfill before the end of the seventh day. Please note that the Local Enforcement Agency (at Environmental Health) bills at an hourly rate for enforcement of violations of the solid waste requirements.

**Medical Waste:**

30. Maintain all required Medical Waste Permits.

**Hazardous Materials Program:**

31. Comply with applicable hazardous waste generator, underground storage tank, above ground storage tank and AB2185 (hazardous materials handling) requirements and maintain any applicable permits for these programs from the Hazardous Materials Division of Sonoma County Department of Emergency Services.

**TRANSPORTATION AND PUBLIC WORKS:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

32. Upon approval of this application by the authorizing body, the Department of Transportation and Public Works (DTPW) will place raised pavement markers along the center of the pavement at one location in order to separate opposing traffic along the vertical curve in the road alignment (post mile 6.82). The DTPW will bill the Applicant for the labor and materials cost of the marker installation. Payment to DTPW is required prior vesting this Use Permit and prior to issuance of building permits for the residential facility and tent platforms.
33. Prior to issuance of a building permit for any new building or prior to any new use of an existing building, the Applicant shall pay Traffic Mitigation fees to the County of Sonoma, as required by Section 26, Article 98 of the Sonoma County Code.

34. All improvements shall be constructed in accordance with the Department of Transportation and Public Works Road Policy.
35. The applicant shall contact the Sonoma County Department of Transportation and Public Works and have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive.

Mitigation Monitoring: The applicant shall contact the Sonoma County Department of Public Works and pay to have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive prior to issuance of building/grading permits.

36. Pavement markers shall be placed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment prior to issuance of building/grading permits.

Mitigation Monitoring: The pavement markers shall be installed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment subject to review and approval by Department of Public Works and prior to building/grading permits.

#### **GRADING AND STORM WATER:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

37. Prior to issuance of a grading or building permit, the applicant shall submit for review and approval the grading and drainage improvement plans necessary for the proposed project. Drainage improvements shall be designed in accordance with the Sonoma County Water Agency Flood Control Design Criteria and shall maintain sheet flow or existing drainage patterns to the maximum extent practicable. The Improvement Plans shall also include erosion prevention/sediment control measures, details, notes, and specifications to prevent damages and minimize adverse impacts to the environment.
38. The design engineer shall include a grading plan which clearly shows all existing and proposed land features, excavation spoils sites, roads, driveways, buildings, finish floor elevations and drainage facilities such as swales, channels, closed conduits, or drainage structures.
39. The design engineer shall include an erosion prevention/sediment control plan which clearly shows all best management practices (BMP's), pertinent details, notes, and specifications to prevent damage and minimize adverse impacts to the environment.
40. A drainage report/analysis for the proposed project shall be prepared by a civil engineer and be submitted with the grading and/or building permit application. The drainage report shall include, at a minimum, a project narrative, on- & off-site hydrology maps, hydrologic calculations, hydraulic calculations, and an analysis for all pertinent existing and proposed drainage facilities.
41. Drainage improvements shall be designed by a civil engineer in accordance with the Sonoma County Water Agency Flood Control Design Criteria, be shown on the improvement plans, and be submitted to the Drainage Review Section of the Permit and Resource Management Department for review and approval. Drainage improvements shall maintain sheet flow, maintain existing drainage patterns, or convert concentrated flow to sheet flow to the maximum extent practicable.
42. A setback line along the waterway shall be measured from the toe of the stream-bank outward, a distance of 2 ½ times the height of the stream-bank plus 30 feet, or 30 feet outward from the top of the stream-bank whichever distance is greater.



**FIRE AND EMERGENCY SERVICES:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

- 43. The subject property must currently be in full compliance with Zoning regulations, Building Code regulations, Hazardous Materials regulations, and Fire Code Regulations. Prior to vesting this use for book storage the Fire Marshal and local Fire Chief shall inspect the facility. The Fire Marshal may impose additional requirements.
- 44. A building permit shall be obtained for the construction of any new structures, the addition or remodeling of any existing structure, or any change in the use or character of a building that will place it in a different occupancy group:
  - a. If the proposed six-bedroom residential facility is intended to house occupants who are primarily transient in nature, the building shall be constructed as an R-1 Occupancy as defined in the 2010 California Building Code.
  - b. The maximum area of an accessory use structure associated with a residential use of a property is 3,000 sq. ft. (including structures used for storage). The proposed 4,080 sq. ft. "residential storage building" shall be treated as a structure with a commercial use.
- 45. This facility requires an annual fire safety inspection. The county or fire district which inspects the facility may charge and collect a fee for the inspection from the owner of the facility in an amount, as determined by the county or fire district, sufficient to pay its costs of that inspection.
- 46. Facility operator shall develop (or update) an emergency response plan consistent with Chapter 4 of the 2010 California Fire Code as adopted and amended by Sonoma County Code. Fire safety plans, emergency procedures, and employee training programs shall be approved by the fire code official.
- 47. Applicable Fire Code operational permits shall be obtained prior to the initiation of any activity where an operational permit is required by the California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Operational Permit may be required at this facility:
  - a. Private educational facility
  - b. Hazardous material: storing, transporting on site, dispensing, using or handling hazardous materials
  - c. Hazardous Production Materials facility
  - d. High-piled storage exceeding 500 square feet
  - e. LP-gas Storage and use over 500 gallons water capacity and Operation of cargo tankers that transport LP-gas
  - f. Open flames and candles in connection with an assembly area, dining area of a restaurant or drinking establishment
  - g. Organized camp
  - h. Place of assembly
  - i. Residential occupancy housing 10 or more occupants

- j. Special events
  - k. Temporary membrane structures, tents with an area in excess of 400 square feet
48. Applicable Fire Code construction permits shall be obtained prior to any construction that would require such permit required by California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Construction Permits may be required for this project:
- a. Automatic fire-extinguishing system
  - b. Fire alarm and detection systems and related equipment
  - c. Fire pumps and related equipment
  - d. Private fire hydrant
49. To facilitate locating an emergency and to avoid delays in response; all existing and newly constructed or approved roadways and buildings whether public or private shall provide for safe access for emergency fire apparatus and civilian evacuation concurrently, and shall provide unobstructed traffic circulation during an emergency, and shall be constructed and maintained as required by Sonoma County Fire Safe Standards and the California Fire Code, as adopted and amended by Sonoma County Code:
- a. All roadways shall provide year-round unobstructed access to conventional drive vehicles, including sedans and fire engines as required by Sonoma County Fire Safe Standards.
  - b. All existing roadway structures, such as bridges and crossings, that are part of an emergency access shall have their allowable weight limit (as determined by an engineer qualified to evaluate roadway structures) posted as required by the California Fire Code as adopted and amended by Sonoma County Code.
  - c. All roadways shall be identified by approved road names posted on signs clearly visible and legible from the roadway and at interchanges, as required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - d. All buildings shall be identified by approved address numbers, posted on signs clearly visible and legible from the roadway and at interchanges, as required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - e. Any newly created or approved roadways, newly constructed roadways, extended roadways, and reconstructed or improved roadways shall be constructed and maintained in compliance with the California Fire Code, as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - f. An affirmative covenant, that includes a road maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.
  - g. Individual parcels, buildings, or groups of buildings served by a private driveway or similar roadway system, shall be provided with an address directory as determined by the County Fire Marshal. The address directory shall be placed at the intersection of those roads, streets and/or private lanes. The directory shall be maintained by the property owner, Homeowner's Association, or other individual or group in charge of the property.
50. Emergency water supply for fire protection shall be available and accessible in locations,

quantities and delivery rates as specified in the California Fire Code as adopted and amended by Sonoma County Code:

- a. Fire hydrants shall be installed as required by the California Fire Code as adopted and amended by Sonoma County Code.
  - b. Emergency water supply for fire suppression may be provided in a naturally occurring or manmade containment structure for projects not served by a municipal water system, as long as the specified quantity and delivery rate is immediately provided.
  - c. An affirmative covenant, that includes an emergency water system maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.
51. To reduce the intensity of a wildfire by reducing the volume and density of flammable vegetation, the strategic siting of fuel modification and greenbelts shall provide (1) increased safety for emergency fire equipment and evacuating civilians; and (2) a point of attack or defense from a wildfire, and shall be in accordance with the California Fire Code as adopted and amended by Sonoma County Code and Sonoma County Fire Safe Standards:
- a. On each parcel, building setbacks shall be in compliance with the California Fire Code and California Building Code as adopted and amended by Sonoma County Code, and Sonoma County Fire Safe Standards Section 13-55.
  - b. All existing buildings shall meet the requirements of: California Code of Regulations, Title-19, Division-1, Section 3.07(b); Chapter 3 of the California Fire Code as adopted and amended by Sonoma County Code; and Chapter 49 of the California Fire Code as adopted and amended by Sonoma County Code.
  - c. Any development which designates a facility or land use as a greenbelt shall locate the greenbelt strategically, as a separation between wildland fuels and buildings. The Director of Permit and Resource Management shall approve the location of any greenbelt.
  - d. Building setbacks shall be in compliance with Sonoma County Fire Safe Standards Section 13-55.
  - e. In areas designated as high- or very-high fire severity areas, an approved a vegetation management plan and agreement to perform annual maintenance shall be provided by the applicant and approved by the County Fire Marshal.
  - f. An affirmative covenant, that includes a vegetation management maintenance agreement approved by the County Fire Marshal, which shall run with the land in perpetuity, shall be provided.
52. Existing buildings shall be brought into compliance with the requirements of Chapter 46 of the California Fire Code as adopted and amended by Sonoma County Code.
53. Fire protection systems shall be installed within buildings and structures in compliance with California Fire Code as adopted and amended by Sonoma County Code.
54. Emergency responder radio coverage system shall be provided in compliance with Section 510 of the California Fire Code as adopted and amended by Sonoma County Code.
55. Prior to occupancy, written approval that the required improvements have been installed shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.

**PLANNING:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

56. This Use Permit approves a Master Plan for the Ratna Ling Buddhist Retreat Center with an accessory non-profit printing facility allowing the following existing and proposed structures and uses on the 112 acre parcel APN 109-230-024:

Existing Structures located on the East Side of Hauser Bridge Road:

- |                                 |  |
|---------------------------------|--|
| a) Lodge                        | 13, 844 square feet, plus 1/2 footprint basement |
| b) Meditation Hall              | 2,025 square feet, plus full basement            |
| c) Conference and Library       | 2,010 square feet                                |
| d) Cart Barn                    | 1,320 square feet                                |
| e) Cottage 1                    | 1,400 square feet                                |
| f) Cottages 2-14                | 1,010 square feet each                           |
| g) Water Treatment              | 1,200 square feet                                |
| h) Water Storage Area           | 1,320 square feet                                |
| i) Water Storage Area Buildings | 352, 304, 60, 224 square feet                    |
| j) Misc. Storage Buildings      | 120, 80, 400, 110, 400 square feet               |
| k) Pump House                   | 60 square feet                                   |

Existing Structures on the West Side of Hauser Bridge Road:

- |   |                      |
|---|----------------------|
| a) Cabins 1-9   | 420 square feet each |
| b) Commons Building                                     | 1,012 square feet    |
| c) Single Family Dwelling                               | 1,500 square feet    |
| d) Single Family Dwelling                               | 1,500 square feet    |
| e) Linen Storage Building(3)                            | 110 square feet each |
| f) Garden Shed  | 980 square feet      |
| g) Garden Shed  | 700 square feet      |
| h) Single Family Dwelling<br>(aka Caretakers Residence) | 1,700 square feet    |
| i) Office   | 1,250 square feet    |
| j) Single Family Dwelling<br>(aka Cooks House)          | 3,133 square feet    |
| k) Storage Building                                     | 100 square feet      |
| l) Storage Building                                     | 100 square feet      |
| m) Press Building                                       | 21,234 square feet   |
| n) 20 acre foot Reservoir for domestic water purposes   |                      |

Structures previously approved but not yet constructed on the East Side of Hauser Bridge Road:

- |                                     |                        |
|-------------------------------------|------------------------|
| a) Cottage 15-20                    | 1,010 square feet each |
| b) Wellness Center                  | 9,900 square feet      |
| c) Senior Residential Care Facility | 5,900 square feet      |

This Use Permit modification allows for expansion of the Ratna Ling Buddhist Retreat Center to include:

- a) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons is allowed to be constructed on the west side of Hauser Bridge Road south of the existing reservoir consistent with the project proposal statement and approved site plan. The seasonal campground may be used from May 1st through October 30th. The seasonal tents will be constructed on wooden platforms and have electrical hook-ups;

- b) construct 4,080 square feet of residential storage in four buildings;
  - c) The four existing 14,400, 16,000, 2,870, and 6,000, square-foot "Sacred Text Treasury" structures are permitted as permanent book and sacred object storage facilities. The total square footage for all four structures shall not exceed 40,560 square feet in size. No additional storage or accessory uses shall be allowed at this site, including underground storage.
  - d) the construction and operation of a 3,000 square foot six-guestroom retreat/house at 36000 Hauser Bridge Road on a 13 acre parcel, APN 109-230-018, with a maximum occupancy of 12 persons. The use of the house as a retreat is permitted only in conjunction with the retreat center.
57. The total maximum occupancy at any one given time on the project site (35755 and 36000 Hauser Bridge Road) is 122 persons (i.e. residents, retreat guests, workers, and printing press volunteers).
58. The retreat center hours of operation are 24 hours a day, seven days a week. The retreat center is limited to 120 retreats per year as allowed previously by Use Permit UPE04-0032 and described in the Proposal Statement dated May 6, 2004.
59. The accessory press facility hours of operation are from 7:00 a.m. to 10:00 p.m., seven days a week. The printing press facility is an ancillary use to the retreat center. A commercial printing press facility is not allowed as part of this Use Permit. The maximum occupancy in the non-profit Tibetan Buddhist printing press facility is 94 persons and shall be included in the total maximum occupancy of 122 persons.
- Production or assemblage of the sacred objects are limited to 10% of the printing facility floor area and storage of the non-textual objects shall be limited to the book storage structures ("sacred text treasuries"). "Non-textual sacred objects are defined as: prayer wheels, calendars, cards, wrapping paper, art prints, thankas, malas, prayer flags, meditation cushions and similar objects subject to approval by the Director of PRMD.
60. The use shall be operated in accordance with the proposal statements dated March 15, 2011 and December 19, 2011, and site plan dated March 10, 2011, located in File No. PLP08-0021 as modified by these conditions. This Use Permit (PLP08-0021) shall supersede all prior Use Permits/Zoning Permits (UPE99-0152, UPE04-0032, UPE07-0089, and UPE99-0152).
61. Book production shall be limited to generating an average of one truck round trip per day on an annual basis. Truck trips associated with the printing facility include delivery of supplies and transport of finished books and non-textual sacred objects off-site. The size of trucks traveling to and from the project site shall not exceed 24 feet in length.
- Mitigation Monitoring: The operator shall maintain records of truck deliveries and exports and provide annual reports to PRMD staff on the total number of trips.
62. The height of the two existing book storage structures 14,400 sf and 16,000 sf located on the east side of Hauser Bridge Road shall not exceed 40 feet, provided that they are maintained with non-reflective materials to blend in color with the surrounding vegetation.
63. Retreat guests and printing press volunteers may occupy and utilize all structures on-site as described on the project site plan dated March 10, 2011, by Sherwood Design Engineers.
64. All buildings on the project site are restricted to the designated areas on the site plan dated March 10, 2011, by Sherwood Design Engineers.

65. The applicant shall record a deed restriction, subject to approval by the Director of PRMD and County Counsel indicating that in the event the property is conveyed to a party not affiliated with the traditions and practices of Tibetan Buddhism, the printing press equipment shall be dismantled and removed prior to conveying the property to the new owner. The accessory use of the printing facility and associated storage shall no longer be permitted accessory uses. The deed restriction shall be recorded prior to commencing this use and prior to vesting this Use Permit.
66. Grading and removal of nesting trees in the vicinity of the proposed 6-guest room retreat/house and tent platforms should be conducted outside the nesting season which occurs between approximately February 15 and August 15.

If grading before February 15 is infeasible and groundbreaking must occur within the breeding season, a pre-construction nesting bird survey of the grasslands and adjacent trees shall be performed by a qualified biologist. If no nesting birds are observed, no further action is required and grading shall occur within one week of the survey to prevent "take" of individual birds that could begin nesting after the survey.

If birds are observed on site after February 15 it will be assumed that they are nesting on site or adjacent to the site and ground breaking shall be delayed until after the young have fledged, as determined by bird surveys by a qualified biologist, or after the nesting season.

Mitigation Monitoring: If construction should occur between February 15 and August 15 the issuance of grading or building permit for the project will not be approved by the Project Review Division until the required pre-construction nesting bird survey is performed by a qualified biologist and approved by the CDFG.

67. A bat habitat assessment shall be conducted by a biologist possessing a Scientific Collection Permit and Memorandum of Understanding with the CDFG for work with bats 45 days prior to commencement of construction to determine presence or absence of the species in the vicinity of the proposed new 6-guest house retreat/house and previously approved Wellness Center (UPE07-0089). Trees containing suitable cavities for roosting bats located in the vicinity of the proposed new 6-guest retreat/house shall be identified. If retention of these trees is not feasible to accomplish the project objectives, removal must occur under consultation and supervision of a qualified bat biologist, only during seasonal periods of bat activity (Feb. 15 - April 15, and Aug. 31 - October 15).

Mitigation Monitoring: Prior to issuance of a grading or building permit the applicant shall submit to the Project Review Division and the CDFG a bat habitat assessment conducted by a qualified bat biologist. The bat habitat assessment shall be approved by the CDFG.

68. Prior to issuance of any building permit, the permit holder shall submit to PRMD a plan to eliminate any increase in greenhouse gas emissions from project construction and operation through all feasible strategies of carbon off-sets chosen by the permit holder, and to further reduce greenhouse gas emissions to meet Policy 7.1 of the General Plan Open Space & Resource Conservation Element by reducing their greenhouse gas emission by 25% below 1990 levels by 2015. The plan shall include but not limited to, use of more fuel efficient trucks, use of alternative energy resources to offset increased demand, reduced truck idling times, sequestration agreements, purchase of carbon credits, off-site mitigation, and/or other measures allowed by law. The plan shall be subject to review and approval by PRMD and shall quantify the project's annual emissions and expected reductions and be verified and certified by a qualified, independent entity approved by the County. The actions specified in the approved plan shall be implemented by the permit holder as set forth in the plan.
69. All new construction shall be constructed using the Sonoma County Green Building Program

Standards.

70. The Use Permit shall be subject to a review of approval three years after this approval. The applicant shall submit deposit for such as part of the conditions of compliance which will provide for modification or revocation of the permit. The three year review shall be a noticed a public hearing and shall include larger area of notification than the normal 300 foot range.
71. All light fixtures in new 6-guest room retreat/house and storage buildings shall be fitted with low energy bulbs such as fluorescent or L.E.D. bulbs, consistent with Sonoma County's Green Building Standards and energy efficiency ordinance.

Mitigation Monitoring: The PRMD Building Division shall not issue a building permit unless the project conforms to all current Green Building Standards, including lighting.

72. Ultra low flow water usage appliances and fixtures shall be installed in the new 6-guest room retreat/house located on APN 109-230-018. The applicant shall supply a specification sheet and certification that fixtures and appliances meet EPA water sense standards.

Mitigation Monitoring: PRMD Building Division will not issue a building permit unless the project conforms to all current Green Building Standards.

73. Prior to issuance of building permits, an exterior lighting plan shall be submitted for review and approval by the Design Review Committee or the Project Planner. Exterior lighting shall be low mounted, downward casting and fully shielded to prevent glare. Lighting shall not wash out structures or any portions of the site. Light fixtures shall not be located at the periphery of the property and shall not spill over onto adjacent properties or into the night sky. Flood lights are not permitted. Exterior lighting shall not exceed 100 watts or equivalent lumens.
74. All building and/or grading permits shall have the following note printed on plan sheets:

"In the event that archaeological resources such as pottery, arrowheads, midden or culturally modified soil deposits are discovered at any time during grading, scraping or excavation within the property, all work shall be halted in the vicinity of the find and County PRMD - Project Review staff shall be notified and a qualified archaeologist shall be contacted immediately to make an evaluation of the find and report to PRMD. PRMD staff may consult and/or notify the appropriate tribal representative from tribes known to PRMD to have interests in the area. Artifacts associated with prehistoric sites include humanly modified stone, shell, bone or other cultural materials such as charcoal, ash and burned rock indicative of food procurement or processing activities. Prehistoric domestic resources include hearths, firepits, or house floor depressions whereas typical mortuary resources are represented by human skeletal remains. Historic artifacts potentially include all by-products of human land use greater than fifty (50) years of age including trash pits older than fifty (50) years of age. When contacted, a member of PRMD Project Review staff and the archaeologist shall visit the site to determine the extent of the resources and to develop and coordinate proper protection/mitigation measures required for the discovery. PRMD may refer the mitigation/protection plan to designated tribal representatives for review and comment. No work shall commence until a protection/mitigation plan is reviewed and approved by PRMD - Project Review staff. Mitigations may include avoidance, removal, preservation and/or recordation in accordance with California law. Archeological evaluation and mitigation shall be at the applicant's sole expense.

"If human remains are encountered, all work must stop in the immediate vicinity of the discovered remains and PRMD staff, County Coroner and a qualified archaeologist must be notified immediately so that an evaluation can be performed. If the remains are deemed to be Native American, the Native American Heritage Commission must be contacted by the Coroner so that a "Most Likely Descendant" can be designated and the appropriate provisions of the California Government Code and California Public Resources Code will be followed."

Mitigation Monitoring: Building/grading permits shall not be approved for issuance by Project Review staff until the above notes are printed on the building, grading and improvement plans.

75. The project shall comply with all provisions of the County Low Water Use Landscaping Ordinance. A Water Conservation Plan shall be submitted for all landscaping prior to building permit issuance, subject to PRMD review and approval. The Water Conservation Plan shall comply with all provisions of the County Water Efficient Landscaping Ordinance. Verification from a qualified irrigation specialist that landscaping complies with the County Ordinance shall be provided prior to building permit issuance. The measures in the plan shall be implemented and verified by PRMD staff prior to Certificate of Occupancy.

76. All grading and development on site shall be done in compliance with the County Tree Protection Ordinance, including protection of trees during construction with a chain link fence at the dripline, and replacement of damaged or removed trees. The project's grading and landscape plans shall detail all tree protection implementation measures.

Mitigation Monitoring: PRMD shall not sign off the grading or building permit for issuance until the project grading and landscape construction documents clearly show all tree protection measures (as required in the County Tree Protection Ordinance). PRMD shall not sign off the grading or building permit for occupancy until a site inspection has been conducted, and the applicant has provided written verification from the project's landscape architect or contractor, that the tree protection measures were complied with.

77. The permit holder shall be responsible for controlling dust and debris during all construction phases. The following dust control measures shall be followed during construction:
- a. Water or dust palliative shall be sprayed on unpaved construction and staging areas during construction as necessary to control dust.
  - b. Trucks hauling soil, sand and other loose materials over public roads will cover the loads, or will keep the loads at least two feet below the level of the sides of the container, or will wet the load sufficiently to prevent dust emissions.
  - c. Paved roads will be swept as needed to remove soil that has been carried onto them from the project site.
  - d. Water or other dust palliative will be applied to stockpiles of soil as needed to control dust.

Mitigation Monitoring: Building or grading permits shall not be issued for construction activities until the above notes are printed on construction plans. PRMD shall conduct an on-site investigation if dust complaints are received. If determined complaints are warranted, the Permit Holder shall implement greater dust control measures or PRMD may issue a stop work order.

78. Development on this parcel is subject to the Sonoma County Fire Safe Standards and shall be reviewed and approved by the County Fire Marshal/Local Fire Protection District. Said plan shall include, but not be limited to: emergency vehicle access and turn-around at the building sites), addressing, water storage for fire fighting and fire break maintenance around all structures. Prior to occupancy, written approval that the required improvements have been installed shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.
79. The applicant shall include these Conditions of Approval on a separate sheet(s) of plan sets to be submitted for building and grading permit applications.
80. Within five working days after project approval, the applicant shall pay a mandatory Notice of Determination filing fee of \$50.00 (or latest fee in effect at time of payment) for County Clerk



processing, and \$2,101.50 (or latest fee in effect at time of payment) because a Mitigated Negative Declaration was prepared, for a total of \$2,151.50 made payable to Sonoma County Clerk and submitted to PRMD. If the required filing fee is not paid for a project, the project will not be operative, vested, or final and any local permits issued for the project will be invalid (Section 711.4(c)(3) of the Fish and Game Code.) NOTE: If the fee is not paid within five days after approval of the project, it will extend time frames for CEQA legal challenges.

81. The applicant shall pay all applicable development fees prior to issuance of building permits.
82. Construction of new or expanded non-residential development on each lot shall be subject to Workforce Housing Requirements pursuant to 26-89-045 of the Sonoma County Code.
83. Prior to vesting of this Use Permit or issuance of building permits, the applicant/operator shall enter into an agreement with the County to pay an annual fee equal to and in lieu of transient occupancy taxes for the retreat/camping use.
84. This use shall be constructed, maintained, and operated in conformance with all applicable county, state, and federal statutes, ordinances, rules, and regulations. A violation of any applicable statute, ordinance, rule or regulation shall be a violation of the Use Permit, subject to revocation.
85. At the time of submitting a building permit application, the applicant shall submit to PRMD a Condition Compliance Review fee deposit (amount to be determined consistent with the ordinance in effect at the time). In addition, the applicant shall be responsible for payment of any additional compliance review fees that exceed the initial deposit (based upon hours of staff time worked) prior to final inspection being granted.
86. This "At Cost" entitlement is not vested until all permit processing costs are paid in full. Additionally, no grading or building permits shall be issued until all permit processing costs are paid in full.
87. Any proposed modification, alteration, and/or expansion of the use authorized by this Use Permit shall require the prior review and approval of PRMD or the Board of Zoning Adjustments, as appropriate. Such changes may require a new or modified Use Permit and additional environmental review.
88. The Director of PRMD is hereby authorized to modify these conditions for minor adjustments to respond to unforeseen field constraints provided that the goals of these conditions can be safely achieved in some other manner. The applicant must submit a written request to PRMD demonstrating that the conditions is infeasible due to specific constraints (e.g. lack of property rights) and shall include a proposed alternative measure or option to meet the goal or purpose of the condition. PRMD shall consult with affected departments and agencies and may require an application for modification of the approved permit. Changes to conditions that may be authorized by PRMD are limited to those items that are not adopted standards or were not adopted as mitigation measures or that were not at issue during the public hearing process. Any modification of the permit conditions shall be documented with an approval letter from PRMD, and shall not affect the original permit approval date or the term for expiration of the permit.

The owner/operator and all successors in interest, shall comply with all applicable provisions of the Sonoma County Code and all other applicable local, state and federal regulations.

89. This permit shall be subject to revocation or modification by the Board of Zoning Adjustments if:  
(a) the Board finds that there has been noncompliance with any of the conditions or (b) the Board finds that the use for which this permit is hereby granted constitutes a nuisance. Any such revocation shall be preceded by a public hearing noticed and heard pursuant to Section 26-92-120 and 26-92-140 of the Sonoma County Code.

In any case where a Use Permit has not been used within two (2) year after the date of the granting thereof, or for such additional period as may be specified in the permit, such permit shall become automatically void and of no further effect, provided however, that upon written request by the applicant prior to the expiration of the two year period the permit approval may be extended for not more than one (1) year by the authority which granted the original permit pursuant to Section 26-92-130 of the Sonoma County Code.



*Sonoma County Combined Planning Commission  
and Board of Zoning Adjustments*  
**MINUTES**

Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

Date: June 7, 2012  
Meeting No.: 12-0005

**ROLL CALL**

**Commissioners**

Dick Fogg  
Don Bennett  
Paula Cook  
Jason Liles  
Tom Lynch, Chair

**Staff Members**

Jennifer Barrett  
Scott Hunsperger  
Cynthia Demidovich  
Lisa Posternak  
Sue Dahl  
David Hurst, Chief Deputy County Counsel

1:00 Call to order and Pledge of Allegiance

**Approval of Minutes:** May 3, 2012 Planning Commission, moved to future calendar for adoption

Correspondence

Board of Supervisors Actions

Public Appearances

**BOARD OF ZONING ADJUSTMENTS REGULAR CALENDAR**

Item # 4 Time: 1:05 p.m. File: PLP08-0021  
Applicant: Ratna Ling Retreat Center / Jack Petranker Staff: Cynthia Demidovich  
Con't from: April 5, 2012  
Env. Doc: Mitigated Negative Declaration  
Proposal: Use Permit to expand an existing retreat center to include the following: 1) the construction of a six bedroom residential facility on APN 109 230 018 with a maximum occupancy of 12 persons; 2) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons; 3) allow the maximum occupancy on the project site (APN: 109-230-024, and 018) at any one given time to be 122 persons; 4) make non textual sacred objects; 5) construct 4,080 square feet of residential storage in five buildings; 6) eliminate the current limitation on sacred text production and instead limit truck traffic associated with text and non textual production; 7) terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism; 8) permit 39,270 square feet of sacred text storage buildings located in existing on site buildings; and 9) change the maximum occupancy of the existing press building from 27 to 94 persons.

Location: 35755 and 36000 Hauser Bridge Road, Cazadero  
APN: 109-230-024 and -018 Supervisorial District: 5

Zoning: RRD (Resources and Rural Development), B6-240 acre density

**Cynthia Demidovich** summarized the staff report, which is incorporated herein by reference.

**Questions from Commissioners:** **Commissioner Liles** and if staff knew the projections for current and future TOT, and **Staff Demidovich** said she did not know.

**Commissioner Lynch** asked for a comparison of road impacts between vehicles and trucks. Deputy Director Barrett noted that it depends on the number of axles and weight, and that some trucks can have 10,000 times the impact of a car.

**Commissioner Lynch** asked for clarification that Fire approved the change of the storage tents from temporary to permanent storage because they were permitted before the code changed. **Deputy Director Barrett** said that is correct, as it meets the same standards.

**Public Hearing Opened:** **Gene Gretchen**, applicant, thanked PRMD staff, and said that Ratna Ling accepts the conditions as modified by the new staff report .

**Michael "Zippy" Singer, Timber Cover Fire Chief**, emphasized that the book storage tents will present a fire hazard. Storage of combustible items where the top is higher than 12 feet – also known as high pile storage- can result in fires that produce heavy emissions and heat in a short time, and which can grow to alarming size, surpassing the capability of large fire departments to handle. They can collapse, injure firemen, and special equipment and training is needed for these types of fires, which is why uses of this type are located in industrial zones.

RRD zones are defined as areas with limited infrastructure, and fire needs of this intensity cannot be served adequately. Rapid intervention is needed, specialized training, huge amounts of water, along with special equipment and engines normally found in cities. The tents are capable of holding 50,000 square feet of combustible materials.

There is no other industrial storage allowed in the district other than Ratna Ling. Since the local fire department is all volunteers, rapid response can't be met. The local fire department is equipped to fight wildland and structure fires, not industrial fires, and firefighting would be limited to protecting nearby property and wildland. As chief, Zippy said he would not send firemen into the tent structures.

Referring to Commissioner Fogg's earlier comment about "mission creep," Zippy said the tents are a classic example. They were originally approved in 2008 by administrative decision without a public hearing or CEQA analysis. They were allowed a Categorical Exemption based on the statement that they were temporary. Now, they are being granted permanent use without the usual regulatory scrutiny. A determination should be made about the appropriateness for allowing such as use in a high fire RRD zone.

Zippy emphasized that the tents do not belong in a rural high hazard fire area, but should be in urban areas with better emergency resources.

**Commissioner Fogg** asked if the tents have a sprinkler system and Zippy said that they do.

**Commissioner Lynch** asked what the difference is between high pile and large barn filled with hay. Zippy said they are similar but paper fuel is much more compressed and dense. Firefighters don't go into barn fires either to risk life and limb.

**Kay Barnes**, Myers Grade Road said that the current practices for non-permitted items such as artifacts is far different than mentioned in the 2004 use permit, and the internet advertises that Dharma Press sells wrapping paper, notebooks, bookmarks, calendars, reading and note card, altars, mantras, mandalas, meditation cushions, prayer flags, and other items. The internet store is based at Ratna Ling. Orders shipped will impact the road and this is usually not allowed in the RRD zone. Barnes did not understand how this practice is ancillary to printing, and why it is allowed in the RRD zone, and wondered where the line is going to be drawn.

**Carolyn Singer**, Sea View Road, found the process frustrating, and added that religious organizations don't have to pay property taxes or TOT. In 2009, the land and structures at Ratna Ling were valued at \$26,000,000. Taxes would have been \$276,000 a year for normal landowners, but the actual taxes paid by Ratna Ling at \$875.

Ratna Ling paid \$75.00 to Timber Cove Fire Department and donated a \$300,000.00 fire engine. This will not mitigate for ongoing fire fighting over the years. As the wife of a fire fighter, she knows most of the volunteers have full time jobs elsewhere and have to get up in the middle of the night to respond to fires, which is quite a burden. Carolyn asked for respect for the volunteer fire fighters in the County.

**Bruce Johnson**, Sea View Road, said the main issue is the concern about the safety of the tents. Ratna Ling was originally granted the use permit in 2004 for a retreat and ancillary printing. Later they tried to expand with caves and a general plan amendment, which was frowned on by PRMD. They moved the entire Dharma Press facility to the site. If the tents are allowed to become permanent, it will result in a permanent zone change without a general plan amendment.

In April the BZA was going to give the tents permanent status, but wanted assurance that they meet fire code. The argument is that because the tents were granted temporary use before current fire codes were in effect, that the current fire codes do not apply. It is outrageous to allow the tents permanent status, and criminal to say that current fire codes do not apply. The fire hazard has existed for four years and if the BZA votes for this, it will make Sonoma County liable.

**Steve Butler**, on rebuttal, stated that each storage structure has commercial fire system- 30 sprinklers in the big tent and 17 in each smaller tents, and were permitted. Butler thinks this proves that the risk was considered. The buildings are also humidified. He understands and appreciates the concern expressed, but believe that the tent are safe and have had no problems for the last four years.

**Commissioner Lynch** asked if smoking allowed. Mr. Gretchen said smoking is not allowed anywhere on the property. **Commissioner Lynch** asked if the structures locked, and Mr. Gretchen stated that the buildings are locked when not in used and open when in use.

#### **Public Hearing Closed at 1:55**

**Commissioner discussion: Commissioner Bennett** asked staff if the Fire Marshall saw the tents are an intense fire hazard. **Staff Demidovich** said this had not been expressed verbally or in writing.

**Commissioner Fogg** asked if it was questioned. Staff Demidovich said not specifically, but the Fire Marshall and Building Official are aware that fire was brought up at the hearing.

**Commissioner Lynch** expressed concern about the temporary structures being made permanent, but said an alternative would be to create huge permanent structures which would also have an impact. He expressed appreciation for efforts to protect the forest and coast. He expressed hope that the neighbors and Ratna Ling would be able to find a way to coexist. **Commissioner Lynch** supported the staff recommendation regarding road impacts, and was not concerned about the production of artifacts. He would like to see something offered in lieu of TOT and said that Ratna Ling needs to do more by providing human and financial resources to the local community, and possibly to have members join the volunteer fire department. A lot of the anger is fueled by the proposals that happened before, and mission creep has been clearly shown to have happened. **Commissioner Lynch** said he would like to see the Timber Cove Fire Chief work with the Fire Marshall to review the buildings.

**Commissioner Fogg** was also bothered by the sprinkler issue, and wanted the Fire Marshall to go out and take another look. Consideration should be given to improving the sprinkler system.

**Staff Demidovich** indicated that a meeting had set for June 13<sup>th</sup> with the Fire Marshall and Building Official, and Deputy Director Barrett added that all use permits need fire clearance. **Commissioner Lynch** said a lot was incumbent on the good will of Ratna Ling. **Commissioner Lynch** wanted assurance that the Fire Marshall had visited the site and could possible condition a yearly review of the tents.

**Bobbi MacIntyre, Fire Services**, said she had not inspected the membrane structures at Ratna Ling recently. MacIntyre stated that the structures are under the purview of the Building Official, who gives final approval.

Fire Services gives input. Regarding permits for high pile storage, the permittee would be expected to meet fire requirements as set forth in the code. MacIntyre could not assure that the structures were safe as he had not reviewed the file and said he was willing to do a site visit and make an assessment of the safety. **Commissioner Fogg** asked if sprinklers were adequate protection. MacIntyre said it depends on scope, quantity, and intensity of the high pile storage.

**Commissioner Cook** wanted assurance that Ratna Ling would comply with the Fire Marshall's recommendations. Mt. Gretchen said that they consider the sacred texts to be a living embodiment of Buddha will do everything they can to protect them, and he would comply with additional fire conditions.

**Commissioner Cook** expressed disapproval that Ratna Ling has not clarified artifact production in a quantifiable manner. **Robin Caton**, said they tried to get numbers, quantities, and dollar amounts, but there are many categories and they want a master use permit that will extend into future, which is complex. There is also no structure production schedule, and they could not come up with projections. Neighbor concern is minimized by truck trips. **Commissioner Cook** stated that the nature of commercial operation in RRD zoning was also being questioned.

**Condition 43.** The following sentence was added: "Prior to vesting the use for book storage, the Fire Marshall and local fire chief shall inspect the facility. The Fire Marshall may impose additional requirements."

**Condition 59** was edited to state that production or assembly of non textual artifacts shall be limited to 10% of the floor area of the printing facility, and storage of such shall be limited to the book storage structure. Non-textual sacred objects as prayer wheels, art prints, calendars, cards, wrapping papers, pankas, malas, prayer flags, meditation cushions and similar objects, subject to approval by the Director of PRMD.

**Condition 82** was revised to read: "Prior to vesting of this use permit or issuance of building permits the applicant/operator shall enter into an agreement with the County to pay an annual fee equal to and in lieu of Transient Occupancy Tax for the retreat camping use.

Action: **Commissioner Lynch** moved to approve the request with modified conditions. Seconded by **Commissioner Cook** and passed with a 5-0 vote.

Appeal Deadline: ten days  
Resolution No.: 12-010

Fogg: aye	Bennett: aye	Cook: aye	Liles: aye	Lynch: aye
Ayes: 5	Noes: 0	Absent: 0	Abstain: 0	

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Minutes adopted August 2, 2012



# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

**DATE:** June 7, 2012 at 1:05 p.m.

**TO:** Board of Zoning Adjustments

**FROM:** Cynthia Demidovich, Planner III

**SUBJECT:** PLP08-0021; Request for a Use Permit modifying the Master Plan for the Ratna Ling Buddhist Retreat Center.

### **Prior Actions:**

On April 5, 2012, the Board of Zoning Adjustments (BZA), with a 5-0 straw vote, recommended approval of the proposed Use Permit, and to return to the Board at a continued hearing with the following additional information requested from the applicant: 1) the total maximum tonnage for the 24 foot long trucks; 2) a supplemental proposal statement identifying how production of artifacts shall be limited; and 3) staff shall consult with the Fire Marshal regarding converting the temporary Sacred Text Treasury storage structures to permanent storage structures. The Board also directed staff to add the following additional conditions of approval: 1) the Use Permit shall be subject to a three-year review at a noticed public hearing; 2) the use of the press shall be limited to printing of Tibetan Buddhist text; and 3) Condition of Approval No. 82 shall be modified to require the applicant to register and remain current of all transient occupancy taxes for the retreat/camping use.

### **DISCUSSION OF ISSUES**

#### **Issue #1:** Maximum Tonnage for 24-Foot Long Trucks

Members of the public commented both in writing and at the hearing that the truck traffic from the printing press facility would damage the public roads. The BZA requested additional information on road impacts caused by truck traffic associated with sacred text and production of artifacts. The BZA requested the applicant provide a supplemental proposal statement explaining the total maximum tonnage for the 24-foot long trucks to determine the applicant's annual fair share contribution for maintenance of the County roads.

The applicant submitted correspondence dated May 18, 2012, which analyzed an annual road maintenance fee with references to the "Aggregate Hauling Impacts on County Roads" technical report prepared for Sonoma County PRMD and Department of Transportation and Public Works, by Economic & Planning Systems dated December 8, 2008.

This report analyzes 3-axle and 5-axle trucks weighing up to 80,000 lbs (40 tons) and hauling aggregate. The report disregarded impacts from empty aggregate trucks weighing 23,000 to 30,000 lbs because it was determined that county roads would accommodate the weight without significant wear and tear. The report states: *"To the extent that they contribute to a significant cumulative impact, these impacts are considered fully mitigated by existing fuel tax and registration fee contributions and no further mitigation requirement is considered necessary."*

Correspondence submitted by the applicant (see Exhibit E) indicates the proposed project will transport sacred text and non-textual art objects or receive supplies in a 24 foot 2-axle truck, and the average shipping weight is approximately 9.5 tons (31,000 lbs). PRMD and Department of Transportation and Public Works (DTPW) prepared the "Cumulative Equivalent Single-Axle loads (ESAL) method-County Road Impacts from Aggregate Trucks" included as Appendix B to the Aggregate Hauling Impact Study referenced above. According to Appendix B, the cumulative physical impact that aggregate haul trucks have on county roads is a function of the

number of trucks, the weight of the trucks, the number of axles, the strength of the roadway, and the number of miles of roadway driven. The report also states that the total gross weight of the truck has a huge effect on the degree of impact. Lighter trucks in the range of 20,000 lb. to 35,000 lb. generate negligible impact because it was felt that county roads can accommodate the weight without significant wear and tear. The letter from the applicant states that despite minimal wear and tear on roads, the project's impact will be addressed through the payment of Sonoma County traffic impact fees, existing fuel tax and registration fees, and therefore no further traffic impact fee is warranted. Staff notes that traffic impact fees are for capital improvements related to growth and cannot be used for road maintenance and the registration fees and fuel taxes may or may not accrue to Sonoma County.

### **Recommendation**

The Sonoma County Department of Transportation and Public Works (DTPW) reviewed the applicant's correspondence dated May 18, 2012, and concurs with the conclusion, that the impact is not significant and does not recommend an additional traffic mitigation fee be imposed on the proposed project.

Staff recommends the BZA not impose a fair share contribution on the proposed project as the 24-foot 2-axle trucks (31,000 lbs.) used for transport/delivery of the sacred texts and non-textual objects would not cause significant wear and tear on County roads. Any wear and tear that may be caused by the trucks can be fully mitigated through the payment of additional in lieu fees noted in Issue #4 below.

### **Issue #2:      Limitation on Production of Artifacts**

Members of the public commented both in writing and at the hearing that the press facility at Ratna Ling would operate as a commercial printing press facility and offer retail sales of artifacts such as prayer beads, meditation cushions and art projects. The BZA requested the applicant to submit a supplemental proposal statement identifying what artifacts are produced and define how production of artifacts shall be limited.

The applicant submitted correspondence dated May 18, 2012, indicating that because the Use Permit will address many years into the future, it will be difficult to project the many types of objects that might be produced at Ratna Ling. They feel that existing Conditions of Approval No. 59, 60, and 61 already identify the use and restricts where it can be produced and production is limited by the restriction on truck trips.

### **Recommendation**

Staff recommends the BZA add the following language to Condition of Approval No. 59 to specifically define non-textual sacred objects:

*"Non-textual sacred objects are defined as: prayer wheels, art prints, thankas, malas, prayer flags, meditation cushions and similar objects subject to approval by the Director of PRMD. Production of the sacred objects are limited to an area of the print facility and stored in the book storage structures ("sacred text treasuries")."*

### **Issue #3:      Conversion of Temporary Storage to Permanent Storage**

Members of the public commented in writing and at the hearing that the Sacred Text Treasury storage structures are a fire hazard and would not meet the current Fire Safe Standards if allowed to remain as permanent structures. The BZA requested staff to consult with the Fire Marshal to determine if the Sacred Text Treasury storage structures meet current Fire Safe Standards.



### **Additional Information**

Staff consulted with both the Sonoma County Fire Marshal and the Building and Safety Division Manager. The Building and Safety Division Manger submitted a response dated April 9, 2012, to the project planner indicating that the existing temporary storage structures once converted to permanent storage structures will only need to comply with codes and regulations in effect at the time of issuance of the required Building Permits for their initial construction. The permanent storage structures will not be required to comply with the 2010 California Building Code and wildfire exposure provision as identified in Chapter 7A (Building Code).

The Sonoma County Fire Marshal submitted correspondence dated May 18, 2012, to the Project Planner indicating that the Code in place at the time of construction did not yet have the wildland-urban interface construction requirements in place, and that requirement came to effect at a later date. The Fire Marshal confirmed that the temporary storage structures, if constructed prior to January 1, 2009, would have met the construction requirements in place at the time of construction and no additional construction modifications are required once the structures are designated as permanent structures.

### **Recommendation**

Staff recommends the BZA approve the proposed project without requiring additional modification to the existing storage structures as the structures met the current Code at the time of construction. Staff recommends the BZA designate the temporary storage structures as permanent storage structures.

### **Issue #4: Transient Occupancy Taxes**

The BZA requested Condition of Approval No. 82 be modified to require the applicant to register and remain current of all transient occupancy taxes for the retreat/camping use. The County Tax Collector stated that the project site (109-230-018 and 109-230-024) is exempt from paying property taxes and transient occupancy taxes as they qualify for a religious exemption. The Tax Collector indicated the applicant does pay the following flat fees taxes to: Timber Cove Fire District, Sonoma Marin Mosquito District, Coast Life Support, Ft. Ross Elementary School District, and West Sonoma County Union High School District.

The applicant has volunteered to pay the equivalent of transient occupancy taxes as a means of mitigating any potential impacts to county services, including emergency services, sheriff, and road maintenance. Staff recommends that Condition of Approval No. 82 be modified with the following:

*"Prior to vesting of this use permit or issuance of building permits, the applicant/operator shall enter into an agreement with the County to pay an annual fee in lieu of transient occupancy taxes for the retreat/camping use."*

### **STAFF RECOMMENDATION**

Adopt the Mitigated Negative Declaration and approve the Use Permit for a Master Plan for the Ratna Ling Buddhist Monastery to expand the existing retreat center and accessory non-profit printing facility to allow book storage, eight-tent campground, and six-guest room retreat/house after making the following findings, and subject to the conditions in Exhibit A.

### **FINDINGS FOR RECOMMENDED ACTION**

1. The use, as conditioned, is consistent with the RRD (Resource and Rural Development) General Plan land use designation and the zoning district regulations as a Tibetan Buddhist retreat center, an accessory non-profit press facility and reservoir, as it would not detract from or impinge upon lands used for timber, geothermal and mineral resource production or natural resource conservation, and watersheds, fish, and wildlife habitat will be protected.

2. The use is consistent with the intent and purpose of the RRD zoning district because it is a lodge that is an allowed use in the General Plan and zoning code.
3. Based upon the information contained in the Initial Study included in the project file, it has been determined that there will be no significant environmental effect resulting from this project, because Mitigation Measures have been incorporated into the project as Conditions of Approval. The Mitigated Negative Declaration has been completed in compliance with CEQA State and County guidelines, and the information contained therein has been reviewed and considered. Mitigation Measures have been incorporated as Conditions of Approval and include a Mitigation Monitoring Program.
4. The establishment, maintenance or operation of the use for which application is made will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such use, nor be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the area. The particular circumstances in this case are:
  - a. A Traffic Study dated July 29, 2011, was prepared for the proposed project by W-Trans. The study determined that according to design standards published by AASHTO both Hauser Bridge Road and Seaview Road currently meet the low-volume criterion and are projected to continue to meet this criterion under future conditions. The study concluded that there was no evidence of a site-specific safety problem attributed to inadequate sight distance. However, the study did recommend that a curve warning sign with a supplemental 15 mph advisory speed limit sign be installed on Hauser Bridge Road near the intersection of Seaview Road to warn drivers of the road conditions. The Sonoma County Department of Public Works reviewed the Traffic Study prepared by W-trans and conditioned the proposed project to place pavement markers along the center of the pavement at one location to separate opposing traffic along the vertical curve in the road alignment at post mile 6.82.
  - b. A Greenhouse Gas Analysis dated January 18, 2012, was prepared for the proposed project by URS Corporation. The analysis found that the proposed project would not have a significant impact on GHG emissions. However, additional reductions in green house gas emissions are required as a Condition of Approval to meet the County General Plan objectives.
  - c. The new six-guest room retreat/house will be visible from Hauser Bridge Road, however existing trees and shrubs provide some screening between the proposed six-guest room retreat/house and Hauser Bridge Road. The seasonal campground is not visible from Hauser Bridge Road.
  - d. The six-guest room retreat/house and a campground will not generate hazardous materials as the use is residential in nature. The existing operation of the accessory press facility generates minimal amounts of hazardous materials. The accessory press facility has a Hazardous Materials Business Plan approved and on file with the Sonoma County Hazmat/Fire Division.
  - e. An existing 20 acre-foot reservoir is located on the project site and has the capacity to provide water to the existing facility, the proposed six-guest room retreat/house, and the eight-tent campground.

#### **LIST OF ATTACHMENTS**

- EXHIBIT A: Draft Conditions of Approval  
EXHIBIT B: BZA Minutes dated April 5, 2012  
EXHIBIT C: Correspondence from Ben Neuman, Manager Building and Safety Division, dated April 9, 2012  
EXHIBIT D: Correspondence from Roberta MacIntyre, County Fire Marshal, dated May 18, 2012  
EXHIBIT E: Applicant's Response to Issues Raised by BZA, dated May 18, 2012  
EXHIBIT F: Aggregate Hauling Impacts on County Roads Appendix B  
EXHIBIT G: Draft Resolution

SONOMA COUNTY BOARD OF ZONING ADJUSTMENTS

Draft Conditions of Approval  
Exhibit A

**Date:** June 7, 2012 **File No.:** PLP08-0021  
**Applicant:** Ratna Ling Retreat Center **APN:** 109-230-024 and -018  
c/o Jack Petranker  
**Address:** 35755 and 36000 Hauser Bridge Road, Cazadro

**Project Description:** Request for a Use Permit for a revised Master Plan to expand the Ratna Ling Buddhist retreat center and an existing 21,234 square foot accessory non-profit Tibetan Buddhist printing facility to include: 1) the construction of a 3,000 square foot six-bedroom residential facility at 36000 Hauser Bridge Road, APN 109-230-018 with a maximum occupancy of 12 persons; 2) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons is allowed to be constructed on the west side of Hauser Bridge Road south of the existing reservoir consistent with the project proposal statement and approved site plan. The seasonal campground may be used from May 1st through October 30th. The seasonal tents will be constructed on wooden platforms and have electrical hook-ups; 3) allow the maximum occupancy on the project site (APN 109-230-024, and -018) at any one given time to be 122 persons; 4) make non-textual sacred objects; 5) construct 4,080 square feet of residential storage in five buildings; 6) eliminate the current limitation on sacred text production and instead limit truck traffic associated with text and non-textual production; 7) terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism; 8) permit 40,560 square feet of sacred text storage buildings located in existing on-site buildings; and 9) change the maximum occupancy of the existing press building from 27 to 94 persons.

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**BUILDING:**

1. The applicant shall apply for and obtain building related permits from the Permit and Resource Management Department (PRMD). The necessary applications appear to be, but may not be limited to, site review, building permit, and grading permit.
2. Prior to initiation of the approved use, the project shall comply with the accessibility requirements set forth in the most recent California Building Code (CBC), as determined by the PRMD Building Division. Such accessibility requirements shall apply to all new construction and remodeling and, where required by the CBC, to retrofitting of the existing structure.

**HEALTH:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

**PRIOR TO BUILDING PERMIT AND VESTING THE USE PERMIT:**

**Water:**

3. Prior to building permit issuance and vesting the Use Permit, the applicant shall have the water supply system evaluated by a licensed civil engineer experienced in water supply systems. The evaluation shall calculate if there is sufficient water supply to meet both the Maximum Day Demand and the average demand for the entire year (annual water balance). The report shall be submitted to the California Department of Public Health, Division of Drinking Water and Environmental Management (CDPH-DDWEM) and to the Project Review Health Specialist at PRMD for review and approval.
4. Prior to building permit issuance, the applicant shall provide the Project Review Health Specialist with the bacteriological (E. Coli and total coliform) arsenic and nitrate analysis results of a sample of the well water tested by a California State-certified lab. If the analysis shows contamination, the applicant will be required to treat the well per County requirements and re-test the well. If the contamination cannot be cleared from the well, destruction under permit of this department may

be required. Copies of all laboratory results must be submitted to the Project Review Health Specialist.

5. Prior to the issuance of any building permit, an easement is required to be recorded for this project to provide Sonoma County personnel access to any on-site water well serving this project and any required monitoring well to collect water meter readings and groundwater level measurements. Access shall be granted Monday through Friday from 8:00 a.m. to 5:00 p.m. All easement language is subject to review and approval by PRMD-Project Review and County Counsel prior to recordation.

Septic:

6. Prior to building permit issuance and vesting the Use Permit, the applicant shall obtain a permit for the construction of a six bedroom residential facility on APN 109-230-018 the sewage disposal system. The system may require design by a Registered Civil Engineer or Registered Environmental Health Specialist and both soils analysis, percolation and wet weather testing may be required. The sewage system shall meet peak flow discharge of the wastewater from all sources granted in the Use Permit and any additional sources from the parcel plumbed to the disposal system, and shall include the required reserve area.

If a permit for a standard, innovative or experimental sewage disposal system sized to meet all peak flows cannot be issued, then the applicant shall revise the project (fees apply and a hearing may be required) to amend the Use Permit to a reduced size, not to exceed the on-site disposal capabilities of the project site and attendant easements. The Project Review Health Specialist shall receive a final clearance from the Well and Septic Section that all required septic system testing and design elements have been met.

7. Prior to building permit issuance and vesting the Use Permit, the applicant shall have a capacity/wastewater flow analysis and proper functioning of the wastewater system inspection completed by a Registered Civil Engineer or Registered Environmental Health Specialist regarding the existing septic system's ability to accommodate the peak flows from the seasonal campground with eight tent structures with a maximum occupancy of 24 persons, Health Clinic, Senior Center and all other sources granted in the Use Permit and any additional sources from the parcel that are plumbed to this septic system.

Any necessary system expansion or modifications, and demonstration of reserve areas, shall be done under permit and the current standards from the PRMD Well and Septic Section and may require both soils analysis, groundwater and percolation testing. If a permit for a standard, innovative or experimental sewage disposal system sized to meet all peak flows cannot be issued, then the applicant shall revise the project (fees apply and a hearing may be required) to amend the Use Permit to a reduced size, not to exceed the on-site disposal capabilities of the project site and attendant easements. The Project Review Health Specialist shall receive a final clearance from the Well and Septic Section that all required septic system testing and design elements have been met.

8. In-room Jacuzzi tubs, hot tubs or any other over-size tub designed for use by two or more persons, or any common area Jacuzzi or hot tub, or Vichy Shower shall not be allowed unless they are specified in the septic system analysis and additional capacity in the septic system is allocated for their use.
9. Application for wastewater discharge requirements shall be updated (the current permit is WDID NO. 1B00162RSON, issued on May 20, 2005) by the applicant with the North Coast Regional Water Quality Control Board. Documentation of acceptance of a complete application with no initial objections or concerns by the Regional Water Quality Control Board shall be submitted to Project Review Health prior to building, grading for ponds or septic permit issuance (If the Regional Water Board Water Resource Engineer or Environmental Specialist have objections or

concerns then the applicant shall obtain Waste Discharge Requirements prior to building permit issuance). A copy of the waste discharge permit shall be submitted to Project Review Health prior to issuance of a certificate of occupancy or project operation. An application may be printed from: <http://www.waterboards.ca.gov/northcoast/geninfo/genwinerywdr/wine.html>

10. For multi-unit projects served by septic systems, a final summary submittal must be provided by the consultant. It must include the following for each occupied structure and tent structures in an organized booklet format: percolation test(s), hydrometer test(s), ground water test(s) results, and septic system designs including a site map that shows the septic system in relation to the structures and wells on the property.
11. Prior to the issuance of building permits and the start of any construction, plans and specifications for any public swimming pool or spa must be submitted to, and approved by, the Environmental Health Division of the Health Services Department. This condition also applies to restrooms, showers, equipment rooms and fences associated with the pools or spa. Contact the Environmental Health Division at 565-6544 for information. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the State of California regulations on public swimming pools and spas.

Vector Control:

12. A Mosquito and Vector Control Plan acceptable to the Marin-Sonoma Mosquito and Vector Control District (telephone 707-285-2200) shall be submitted prior to the construction of any ponds. The Project Review Health Specialist shall receive a copy of the Vector Control Plan and an acceptance letter from the Marin-Sonoma Mosquito and Vector Control District.

PRIOR TO OCCUPANCY:

13. A separate, dedicated monitoring well is required to be drilled for this project. The monitoring well is required to be drilled under permit of this Department and shall be of a depth, screening and development comparable to the supply well. The monitoring well shall be located as far away from other wells, ponds and wastewater disposal fields as is consistent with being in the same geologic formation as the primary well and being accessible by street vehicle. The monitoring well location shall be approved by PRMD in advance of construction. The monitoring well shall be marked with a water level measuring reference point, and the GPS coordinates (in NAD83 California State Plane II or WGS 84 lat./long.) of the monitoring well shall be submitted to PRMD.

OPERATIONAL REQUIREMENTS:

Water:

14. A safe, potable water supply shall continue to be provided and maintained.
15. The location of the wells, and groundwater elevations and quantities of groundwater extracted for this use shall continue to be monitored quarterly and reported to PRMD in January of the following year pursuant to Section WR-2d of the Sonoma County General Plan and County policies. Annual monitoring fees shall be paid at the rate specified in the County Fee Ordinance. If the County determines that groundwater levels are declining in the basin, then the applicant shall submit and implement a Water Conservation Plan, subject to review and approval by PRMD.
16. Required water meters shall be calibrated, and copies of receipts and correction factors shall be submitted to PRMD Project Review staff at least once every five years.
17. Groundwater elevations and quantities of groundwater extracted for this site shall be monitored

and reported to PRMD pursuant to section RC-3b of the Sonoma County General Plan and County policies.

18. Provide one lifeboat kept in good repair, fully equipped with oars, oarlocks, at least two life jackets, two life preserver rings and two hundred feet of rope stationed near the reservoir. The word "LIFEBOAT" shall be plainly painted on both sides of the boat, and the boat shall only be used for emergencies upon the reservoir.

The requirement for emergency equipment does not imply or authorize recreational use of the reservoir, it only acknowledges the general presence of the public and staff at this facility.

Septic:

19. Maintain the Annual Operating Permit for any alternative (mound or pressure distribution) or experimental sewage disposal system installed per Sonoma County Code 24-32, and all applicable waste discharge requirements set by the Regional Water Quality Control Board.
20. Use of the on-site wastewater disposal system shall be in accordance with the design and approval of the system.
21. All future sewage disposal system repairs shall be completed in the Designated Reserve areas and shall meet Class I Standards. Alternate reserve areas may be designated if soil evaluation and testing demonstrate that the alternative reserve area meets or exceeds all of the requirements that would have been met by the original reserve area. If wastewater ponds or a package treatment plant are needed, then a modification of the Use Permit may be required, as determined by PRMD.

Consumer Protection:

22. Obtain and maintain all required Food Industry Permits from the Sonoma County Environmental Health Division prior to serving any food.
23. Maintain all required Food Industry Permits.
24. Prior to the issuance of building permits and the start of any construction, plans and specifications for any retail food facility must be submitted to, and approved by, the Environmental Health Division of the Health Services Department. Contact the Environmental Health Division at 565-6544 for information. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the California Uniform Retail Food Facility Law (CURFFL).
25. Prior to the operation of any public swimming pool or spa, a Swimming Pool Permit must be obtained from the Environmental Health Division of the Health Services Department. The PRMD Project Review Health Specialist shall receive a letter of approval from the Environmental Health Division to verify compliance with requirements of the State of California regulations on public swimming pools and spas.
26. Maintain all required Public Swimming Pool or Spa Permits.

Noise:

27. Noise shall be controlled in accordance with Table NE-2 (or an adjusted Table NE-2 with respect to ambient noise as described in General Plan 2020, Policy NE-1c,) as measured at the exterior property line of any affected residential or sensitive land use:

TABLE NE-2: Maximum Allowable Exterior Noise Exposures

Hourly Noise Metric <sup>1</sup> , dBA	Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
L50 (30 minutes in any hour)	50	45
L25 (15 minutes in any hour)	55	50
L08 (5 minutes in any hour)	60	55
L02 (1 minute in any hour)	65	60
<sup>1</sup> The sound level exceeded n% of the time in any hour. For example, the L50 is the value exceeded 50% of the time or 30 minutes in any hour; this is the median noise level. The L02 is the sound level exceeded 1 minute in any hour.		

28. If noise complaints are received from nearby residents, and they appear to be valid complaints in PRMD's opinion, then the applicant shall conduct a Noise Study to determine if the current operations meet noise standards and identify any additional noise Mitigation Measures if necessary. A copy of the Noise Study shall be submitted to the Project Review Health Specialist within sixty days of notification from PRMD that a noise complaint has been received. The owner/operator shall implement any additional Mitigation Measures needed to meet noise standards.

**Solid Waste:**

29. All garbage and refuse on this site shall accumulate or be stored in non-absorbent, water-tight, vector resistant, durable, easily cleanable, galvanized metal or heavy plastic containers with tight fitting lids. No refuse container shall be filled beyond the capacity to completely close the lid. Garbage and refuse on this site shall accumulate or be stored for no more than seven calendar days, and shall be properly disposed of at a County Transfer Station or County Landfill before the end of the seventh day. Please note that the Local Enforcement Agency (at Environmental Health) bills at an hourly rate for enforcement of violations of the solid waste requirements.

**Medical Waste:**

30. Maintain all required Medical Waste Permits.

**Hazardous Materials Program:**

31. Comply with applicable hazardous waste generator, underground storage tank, above ground storage tank and AB2185 (hazardous materials handling) requirements and maintain any applicable permits for these programs from the Hazardous Materials Division of Sonoma County Department of Emergency Services.

**TRANSPORTATION AND PUBLIC WORKS:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

32. Upon approval of this application by the authorizing body, the Department of Transportation and Public Works (DTPW) will place raised pavement markers along the center of the pavement at one location in order to separate opposing traffic along the vertical curve in the road alignment (post mile 6.82). The DTPW will bill the Applicant for the labor and materials cost of the marker installation. Payment to DTPW is required prior vesting this Use Permit and prior to issuance of building permits for the residential facility and tent platforms.

33. Prior to issuance of a building permit for any new building or prior to any new use of an existing building, the Applicant shall pay Traffic Mitigation fees to the County of Sonoma, as required by Section 26, Article 98 of the Sonoma County Code.

34. All improvements shall be constructed in accordance with the Department of Transportation and Public Works Road Policy.
35. The applicant shall contact the Sonoma County Department of Transportation and Public Works and have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive.

Mitigation Monitoring: The applicant shall contact the Sonoma County Department of Public Works and pay to have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive prior to issuance of building/grading permits.

36. Pavement markers shall be placed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment prior to issuance of building/grading permits.

Mitigation Monitoring: The pavement markers shall be installed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment subject to review and approval by Department of Public Works and prior to building/grading permits.

**GRADING AND STORM WATER:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

37. Prior to issuance of a grading or building permit, the applicant shall submit for review and approval the grading and drainage improvement plans necessary for the proposed project. Drainage improvements shall be designed in accordance with the Sonoma County Water Agency Flood Control Design Criteria and shall maintain sheet flow or existing drainage patterns to the maximum extent practicable. The Improvement Plans shall also include erosion prevention/sediment control measures, details, notes, and specifications to prevent damages and minimize adverse impacts to the environment.
38. The design engineer shall include a grading plan which clearly shows all existing and proposed land features, excavation spoils sites, roads, driveways, buildings, finish floor elevations and drainage facilities such as swales, channels, closed conduits, or drainage structures.
39. The design engineer shall include an erosion prevention/sediment control plan which clearly shows all best management practices (BMP's), pertinent details, notes, and specifications to prevent damage and minimize adverse impacts to the environment.
40. A drainage report/analysis for the proposed project shall be prepared by a civil engineer and be submitted with the grading and/or building permit application. The drainage report shall include, at a minimum, a project narrative, on- & off-site hydrology maps, hydrologic calculations, hydraulic calculations, and an analysis for all pertinent existing and proposed drainage facilities.
41. Drainage improvements shall be designed by a civil engineer in accordance with the Sonoma County Water Agency Flood Control Design Criteria, be shown on the improvement plans, and be submitted to the Drainage Review Section of the Permit and Resource Management Department for review and approval. Drainage improvements shall maintain sheet flow, maintain existing drainage patterns, or convert concentrated flow to sheet flow to the maximum extent practicable.
42. A setback line along the waterway shall be measured from the toe of the stream-bank outward, a distance of 2 ½ times the height of the stream-bank plus 30 feet, or 30 feet outward from the top of the stream-bank whichever distance is greater.



**FIRE AND EMERGENCY SERVICES:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

43. The subject property must currently be in full compliance with Zoning regulations, Building Code regulations, Hazardous Materials regulations, and Fire Code Regulations.
44. A building permit shall be obtained for the construction of any new structures, the addition or remodeling of any existing structure, or any change in the use or character of a building that will place it in a different occupancy group:
  - a. If the proposed six-bedroom residential facility is intended to house occupants who are primarily transient in nature, the building shall be constructed as an R-1 Occupancy as defined in the 2010 California Building Code.
  - b. The maximum area of an accessory use structure associated with a residential use of a property is 3,000 sq. ft. (including structures used for storage). The proposed 4,080 sq. ft. "residential storage building" shall be treated as a structure with a commercial use.
45. This facility requires an annual fire safety inspection. The county or fire district which inspects the facility may charge and collect a fee for the inspection from the owner of the facility in an amount, as determined by the county or fire district, sufficient to pay its costs of that inspection.
46. Facility operator shall develop (or update) an emergency response plan consistent with Chapter 4 of the 2010 California Fire Code as adopted and amended by Sonoma County Code. Fire safety plans, emergency procedures, and employee training programs shall be approved by the fire code official.
47. Applicable Fire Code operational permits shall be obtained prior to the initiation of any activity where an operational permit is required by the California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Operational Permit may be required at this facility:
  - a. Private educational facility
  - b. Hazardous material: storing, transporting on site, dispensing, using or handling hazardous materials
  - c. Hazardous Production Materials facility
  - d. High-piled storage exceeding 500 square feet
  - e. LP-gas Storage and use over 500 gallons water capacity and Operation of cargo tankers that transport LP-gas
  - f. Open flames and candles in connection with an assembly area, dining area of a restaurant or drinking establishment
  - g. Organized camp
  - h. Place of assembly
  - i. Residential occupancy housing 10 or more occupants
  - j. Special events

- k. Temporary membrane structures, tents with an area in excess of 400 square feet
48. Applicable Fire Code construction permits shall be obtained prior to any construction that would require such permit required by California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Construction Permits may be required for this project:
- a. Automatic fire-extinguishing system
  - b. Fire alarm and detection systems and related equipment
  - c. Fire pumps and related equipment
  - d. Private fire hydrant
49. To facilitate locating an emergency and to avoid delays in response; all existing and newly constructed or approved roadways and buildings whether public or private shall provide for safe access for emergency fire apparatus and civilian evacuation concurrently, and shall provide unobstructed traffic circulation during an emergency, and shall be constructed and maintained as required by Sonoma County Fire Safe Standards and the California Fire Code, as adopted and amended by Sonoma County Code:
- a. All roadways shall provide year-round unobstructed access to conventional drive vehicles, including sedans and fire engines as required by Sonoma County Fire Safe Standards.
  - b. All existing roadway structures, such as bridges and crossings, that are part of an emergency access shall have their allowable weight limit (as determined by an engineer qualified to evaluate roadway structures) posted as required by the California Fire Code as adopted and amended by Sonoma County Code.
  - c. All roadways shall be identified by approved road names posted on signs clearly visible and legible from the roadway and at interchanges, as required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - d. All buildings shall be identified by approved address numbers, posted on signs clearly visible and legible from the roadway and at interchanges, as required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - e. Any newly created or approved roadways, newly constructed roadways, extended roadways, and reconstructed or improved roadways shall be constructed and maintained in compliance with the California Fire Code, as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - f. An affirmative covenant, that includes a road maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.
  - g. Individual parcels, buildings, or groups of buildings served by a private driveway or similar roadway system, shall be provided with an address directory as determined by the County Fire Marshal. The address directory shall be placed at the intersection of those roads, streets and/or private lanes. The directory shall be maintained by the property owner, Homeowner's Association, or other individual or group in charge of the property.
50. Emergency water supply for fire protection shall be available and accessible in locations, quantities and delivery rates as specified in the California Fire Code as adopted and amended by Sonoma County Code:

- a. Fire hydrants shall be installed as required by the California Fire Code as adopted and amended by Sonoma County Code.
  - b. Emergency water supply for fire suppression may be provided in a naturally occurring or manmade containment structure for projects not served by a municipal water system, as long as the specified quantity and delivery rate is immediately provided.
  - c. An affirmative covenant, that includes an emergency water system maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.
51. To reduce the intensity of a wildfire by reducing the volume and density of flammable vegetation, the strategic siting of fuel modification and greenbelts shall provide (1) increased safety for emergency fire equipment and evacuating civilians; and (2) a point of attack or defense from a wildfire, and shall be in accordance with the California Fire Code as adopted and amended by Sonoma County Code and Sonoma County Fire Safe Standards:
- a. On each parcel, building setbacks shall be in compliance with the California Fire Code and California Building Code as adopted and amended by Sonoma County Code, and Sonoma County Fire Safe Standards Section 13-55.
  - b. All existing buildings shall meet the requirements of: California Code of Regulations, Title-19, Division-1, Section 3.07(b); Chapter 3 of the California Fire Code as adopted and amended by Sonoma County Code; and Chapter 49 of the California Fire Code as adopted and amended by Sonoma County Code.
  - c. Any development which designates a facility or land use as a greenbelt shall locate the greenbelt strategically, as a separation between wildland fuels and buildings. The Director of Permit and Resource Management shall approve the location of any greenbelt.
  - d. Building setbacks shall be in compliance with Sonoma County Fire Safe Standards Section 13-55.
  - e. In areas designated as high- or very-high fire severity areas, an approved a vegetation management plan and agreement to perform annual maintenance shall be provided by the applicant and approved by the County Fire Marshal.
  - f. An affirmative covenant, that includes a vegetation management maintenance agreement approved by the County Fire Marshal, which shall run with the land in perpetuity, shall be provided.
52. Existing buildings shall be brought into compliance with the requirements of Chapter 46 of the California Fire Code as adopted and amended by Sonoma County Code.
53. Fire protection systems shall be installed within buildings and structures in compliance with California Fire Code as adopted and amended by Sonoma County Code.
54. Emergency responder radio coverage system shall be provided in compliance with Section 510 of the California Fire Code as adopted and amended by Sonoma County Code.
55. Prior to occupancy, written approval that the required improvements have been installed shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.

**PLANNING:**

"The conditions below have been satisfied BY \_\_\_\_\_ DATE \_\_\_\_\_

56. This Use Permit approves a Master Plan for the Ratna Ling Buddhist Retreat Center with an accessory non-profit printing facility allowing the following existing and proposed structures and uses on the 112 acre parcel APN 109-230-024:

Existing Structures located on the East Side of Hauser Bridge Road:

- |                                 |  |
|---------------------------------|--|
| a) Lodge                        | 13, 844 square feet, plus 1/2 footprint basement |
| b) Meditation Hall              | 2,025 square feet, plus full basement            |
| c) Conference and Library       | 2,010 square feet                                |
| d) Cart Barn                    | 1,320 square feet                                |
| e) Cottage 1                    | 1,400 square feet                                |
| f) Cottages 2-14                | 1,010 square feet each                           |
| g) Water Treatment              | 1,200 square feet                                |
| h) Water Storage Area           | 1,320 square feet                                |
| i) Water Storage Area Buildings | 352, 304, 60, 224 square feet                    |
| j) Misc. Storage Buildings      | 120, 80, 400, 110, 400 square feet               |
| k) Pump House                   | 60 square feet                                   |

Existing Structures on the West Side of Hauser Bridge Road:

- |   |                      |
|---|----------------------|
| a) Cabins 1-9   | 420 square feet each |
| b) Commons Building                                     | 1,012 square feet    |
| c) Single Family Dwelling                               | 1,500 square feet    |
| d) Single Family Dwelling                               | 1,500 square feet    |
| e) Linen Storage Building(3)                            | 110 square feet each |
| f) Garden Shed  | 980 square feet      |
| g) Garden Shed  | 700 square feet      |
| h) Single Family Dwelling<br>(aka Caretakers Residence) | 1,700 square feet    |
| i) Office   | 1,250 square feet    |
| j) Single Family Dwelling<br>(aka Cooks House)          | 3,133 square feet    |
| k) Storage Building                                     | 100 square feet      |
| l) Storage Building                                     | 100 square feet      |
| m) Press Building                                       | 21,234 square feet   |
| n) 20 acre foot Reservoir for domestic water purposes   |                      |

Structures previously approved but not yet constructed on the East Side of Hauser Bridge Road:

- |                                     |                        |
|-------------------------------------|------------------------|
| a) Cottage 15-20                    | 1,010 square feet each |
| b) Wellness Center                  | 9,900 square feet      |
| c) Senior Residential Care Facility | 5,900 square feet      |

This Use Permit modification allows for expansion of the Ratna Ling Buddhist Retreat Center to include:

- a) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons is allowed to be constructed on the west side of Hauser Bridge Road south of the existing reservoir consistent with the project proposal statement and approved site plan. The seasonal campground may be used from May 1st through October 30th. The seasonal tents will be constructed on wooden platforms and have electrical hook-ups;

- b) construct 4,080 square feet of residential storage in four buildings;
- c) The four existing 14,400, 16,000, 2,870, and 6,000, square-foot "Sacred Text Treasury" structures are permitted as permanent book and sacred object storage facilities. The total square footage for all four structures shall not exceed 40,560 square feet in size. No additional storage or accessory uses shall be allowed at this site, including underground storage.
- d) the construction and operation of a 3,000 square foot six-guestroom retreat/house at 36000 Hauser Bridge Road on a 13 acre parcel, APN 109-230-018, with a maximum occupancy of 12 persons. The use of the house as a retreat is permitted only in conjunction with the retreat center.

- 57. The total maximum occupancy at any one given time on the project site (35755 and 36000 Hauser Bridge Road) is 122 persons (i.e. residents, retreat guests, workers, and printing press volunteers).
- 58. The retreat center hours of operation are 24 hours a day, seven days a week. The retreat center is limited to 120 retreats per year as allowed previously by Use Permit UPE04-0032 and described in the Proposal Statement dated May 6, 2004.
- 59. The non-commercial accessory press facility hours of operation are from 7:00 a.m. to 10:00 p.m., seven days a week. The non-commercial printing press facility is an ancillary use to the retreat center. A commercial printing press facility is not allowed as part of this Use Permit. The maximum occupancy in the non-profit Tibetan Buddhist printing press facility is 94 persons and shall be included in the total maximum occupancy of 122 persons.

~~Non-textual sacred objects which are used as part of the sacred Buddhist tradition for devotional and practice purposes may be produced on-site in the printing facility and stored in the book storage structures ("sacred text treasuries").~~

"Non-textual sacred objects are defined as: prayer wheels, art prints, thankas, malas, prayer flags, meditation cushions and similar objects subject to approval by the Director of PRMD. Production of the sacred objects are limited to an area of the print facility and stored in the book storage structures ("sacred text treasuries")."

- 60. The use shall be operated in accordance with the proposal statements dated March 15, 2011 and December 19, 2011, and site plan dated March 10, 2011, located in File No. PLP08-0021 as modified by these conditions. This Use Permit (PLP08-0021) shall supersede all prior Use Permits/Zoning Permits (UPE99-0152, UPE04-0032, UPE07-0089, and UPE99-0152).
- 61. Book production shall be limited to generating an average of one truck round trip per day on an annual basis. Truck trips associated with the printing facility include delivery of supplies and transport of finished books and non-textual sacred objects off-site. The size of trucks traveling to and from the project site shall not exceed 24 feet in length.

Mitigation Monitoring: The operator shall maintain records of truck deliveries and exports and provide annual reports to PRMD staff on the total number of trips.

- 62. The height of the two existing book storage structures 14,400 sf and 16,000 sf located on the east side of Hauser Bridge Road shall not exceed 40 feet, provided that they are maintained with non-reflective materials to blend in color with the surrounding vegetation.
- 63. Retreat guests and printing press volunteers may occupy and utilize all structures on-site as described on the project site plan dated March 10, 2011, by Sherwood Design Engineers.

64. All buildings on the project site are restricted to the designated areas on the site plan dated March 10, 2011, by Sherwood Design Engineers.
65. The applicant shall record a deed restriction, subject to approval by the Director of PRMD and County Counsel indicating that in the event the property is conveyed to a party not affiliated with the traditions and practices of Tibetan Buddhism, the printing press equipment shall be dismantled and removed prior to conveying the property to the new owner. The accessory use of the printing facility and associated storage shall no longer be permitted accessory uses. The deed restriction shall be recorded prior to commencing this use and prior to vesting this Use Permit.
66. Grading and removal of nesting trees in the vicinity of the proposed 6-guest room retreat/house and tent platforms should be conducted outside the nesting season which occurs between approximately February 15 and August 15.

If grading before February 15 is infeasible and groundbreaking must occur within the breeding season, a pre-construction nesting bird survey of the grasslands and adjacent trees shall be performed by a qualified biologist. If no nesting birds are observed, no further action is required and grading shall occur within one week of the survey to prevent "take" of individual birds that could begin nesting after the survey.

If birds are observed on site after February 15 it will be assumed that they are nesting on site or adjacent to the site and ground breaking shall be delayed until after the young have fledged, as determined by bird surveys by a qualified biologist, or after the nesting season.

Mitigation Monitoring: If construction should occur between February 15 and August 15 the issuance of grading or building permit for the project will not be approved by the Project Review Division until the required pre-construction nesting bird survey is performed by a qualified biologist and approved by the CDFG.

67. A bat habitat assessment shall be conducted by a biologist possessing a Scientific Collection Permit and Memorandum of Understanding with the CDFG for work with bats 45 days prior to commencement of construction to determine presence or absence of the species in the vicinity of the proposed new 6-guest house retreat/house and previously approved Wellness Center (UPE07-0089). Trees containing suitable cavities for roosting bats located in the vicinity of the proposed new 6-guest retreat/house shall be identified. If retention of these trees is not feasible to accomplish the project objectives, removal must occur under consultation and supervision of a qualified bat biologist, only during seasonal periods of bat activity (Feb. 15 - April 15, and Aug. 31 - October 15).

Mitigation Monitoring: Prior to issuance of a grading or building permit the applicant shall submit to the Project Review Division and the CDFG a bat habitat assessment conducted by a qualified bat biologist. The bat habitat assessment shall be approved by the CDFG.

68. Prior to issuance of any building permit, the permit holder shall submit to PRMD a plan to eliminate any increase in greenhouse gas emissions from project construction and operation through all feasible strategies of carbon off-sets chosen by the permit holder, and to further reduce greenhouse gas emissions to meet Policy 7.1 of the General Plan Open Space & Resource Conservation Element by reducing their greenhouse gas emission by 25% below 1990 levels by 2015. The plan shall include but not limited to, use of more fuel efficient trucks, use of alternative energy resources to offset increased demand, reduced truck idling times, sequestration agreements, purchase of carbon credits, off-site mitigation, and/or other measures allowed by law. The plan shall be subject to review and approval by PRMD and shall quantify the project's annual emissions and expected reductions and be verified and certified by a qualified, independent entity approved by the County. The actions specified in the approved plan shall be

implemented by the permit holder as set forth in the plan.

69. All new construction shall be constructed using the Sonoma County Green Building Program Standards.

X. The Use Permit shall be subject to a review of approval three years after this approval. The applicant shall submit deposit for such as part of the conditions of compliance which will provide for modification or revocation of the permit. The three year review shall be a noticed a public hearing and shall include larger area of notification than the normal 300 foot range.

70. All light fixtures in new 6-guest room retreat/house and storage buildings shall be fitted with low energy bulbs such as fluorescent or L.E.D. bulbs, consistent with Sonoma County's Green Building Standards and energy efficiency ordinance.

Mitigation Monitoring: The PRMD Building Division shall not issue a building permit unless the project conforms to all current Green Building Standards, including lighting.

71. Ultra low flow water usage appliances and fixtures shall be installed in the new 6-guest room retreat/house located on APN 109-230-018. The applicant shall supply a specification sheet and certification that fixtures and appliances meet EPA water sense standards.

Mitigation Monitoring: PRMD Building Division will not issue a building permit unless the project conforms to all current Green Building Standards.

72. Prior to issuance of building permits, an exterior lighting plan shall be submitted for review and approval by the Design Review Committee or the Project Planner. Exterior lighting shall be low mounted, downward casting and fully shielded to prevent glare. Lighting shall not wash out structures or any portions of the site. Light fixtures shall not be located at the periphery of the property and shall not spill over onto adjacent properties or into the night sky. Flood lights are not permitted. Exterior lighting shall not exceed 100 watts or equivalent lumens.

73. All building and/or grading permits shall have the following note printed on plan sheets:

"In the event that archaeological resources such as pottery, arrowheads, midden or culturally modified soil deposits are discovered at any time during grading, scraping or excavation within the property, all work shall be halted in the vicinity of the find and County PRMD - Project Review staff shall be notified and a qualified archaeologist shall be contacted immediately to make an evaluation of the find and report to PRMD. PRMD staff may consult and/or notify the appropriate tribal representative from tribes known to PRMD to have interests in the area. Artifacts associated with prehistoric sites include humanly modified stone, shell, bone or other cultural materials such as charcoal, ash and burned rock indicative of food procurement or processing activities. Prehistoric domestic resources include hearths, firepits, or house floor depressions whereas typical mortuary resources are represented by human skeletal remains. Historic artifacts potentially include all by-products of human land use greater than fifty (50) years of age including trash pits older than fifty (50) years of age. When contacted, a member of PRMD Project Review staff and the archaeologist shall visit the site to determine the extent of the resources and to develop and coordinate proper protection/mitigation measures required for the discovery. PRMD may refer the mitigation/protection plan to designated tribal representatives for review and comment. No work shall commence until a protection/mitigation plan is reviewed and approved by PRMD - Project Review staff. Mitigations may include avoidance, removal, preservation and/or recordation in accordance with California law. Archeological evaluation and mitigation shall be at the applicant's sole expense.

"If human remains are encountered, all work must stop in the immediate vicinity of the discovered remains and PRMD staff, County Coroner and a qualified archaeologist must be notified immediately so that an evaluation can be performed. If the remains are deemed to be Native

American, the Native American Heritage Commission must be contacted by the Coroner so that a "Most Likely Descendant" can be designated and the appropriate provisions of the California Government Code and California Public Resources Code will be followed."

Mitigation Monitoring: Building/grading permits shall not be approved for issuance by Project Review staff until the above notes are printed on the building, grading and improvement plans.

74. The project shall comply with all provisions of the County Low Water Use Landscaping Ordinance. A Water Conservation Plan shall be submitted for all landscaping prior to building permit issuance, subject to PRMD review and approval. The Water Conservation Plan shall comply with all provisions of the County Water Efficient Landscaping Ordinance. Verification from a qualified irrigation specialist that landscaping complies with the County Ordinance shall be provided prior to building permit issuance. The measures in the plan shall be implemented and verified by PRMD staff prior to Certificate of Occupancy.

75. All grading and development on site shall be done in compliance with the County Tree Protection Ordinance, including protection of trees during construction with a chain link fence at the dripline, and replacement of damaged or removed trees. The project's grading and landscape plans shall detail all tree protection implementation measures.

Mitigation Monitoring: PRMD shall not sign off the grading or building permit for issuance until the project grading and landscape construction documents clearly show all tree protection measures (as required in the County Tree Protection Ordinance). PRMD shall not sign off the grading or building permit for occupancy until a site inspection has been conducted, and the applicant has provided written verification from the project's landscape architect or contractor, that the tree protection measures were complied with.

76. The permit holder shall be responsible for controlling dust and debris during all construction phases. The following dust control measures shall be followed during construction:

- a. Water or dust palliative shall be sprayed on unpaved construction and staging areas during construction as necessary to control dust.
- b. Trucks hauling soil, sand and other loose materials over public roads will cover the loads, or will keep the loads at least two feet below the level of the sides of the container, or will wet the load sufficiently to prevent dust emissions.
- c. Paved roads will be swept as needed to remove soil that has been carried onto them from the project site.
- d. Water or other dust palliative will be applied to stockpiles of soil as needed to control dust.

Mitigation Monitoring: Building or grading permits shall not be issued for construction activities until the above notes are printed on construction plans. PRMD shall conduct an on-site investigation if dust complaints are received. If determined complaints are warranted, the Permit Holder shall implement greater dust control measures or PRMD may issue a stop work order.

77. Development on this parcel is subject to the Sonoma County Fire Safe Standards and shall be reviewed and approved by the County Fire Marshal/Local Fire Protection District. Said plan shall include, but not be limited to: emergency vehicle access and turn-around at the building sites), addressing, water storage for fire fighting and fire break maintenance around all structures. Prior to occupancy, written approval that the required improvements have been installed shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.

78. The applicant shall include these Conditions of Approval on a separate sheet(s) of plan sets to be submitted for building and grading permit applications.



79. Within five working days after project approval, the applicant shall pay a mandatory Notice of Determination filing fee of \$50.00 (or latest fee in effect at time of payment) for County Clerk processing, and \$2,101.50 (or latest fee in effect at time of payment) because a Mitigated Negative Declaration was prepared, for a total of \$2,151.50 made payable to Sonoma County Clerk and submitted to PRMD. If the required filing fee is not paid for a project, the project will not be operative, vested, or final and any local permits issued for the project will be invalid (Section 711.4(c)(3) of the Fish and Game Code.) NOTE: If the fee is not paid within five days after approval of the project, it will extend time frames for CEQA legal challenges.
80. The applicant shall pay all applicable development fees prior to issuance of building permits.
81. Construction of new or expanded non-residential development on each lot shall be subject to Workforce Housing Requirements pursuant to 26-89-045 of the Sonoma County Code.
82. ~~The operator shall register and remain current on all transient occupancy taxes for the retreat/camping use unless determined by the County Assessor to be exempt.~~
- "Prior to vesting of this Use Permit or issuance of building permits, the applicant/operator shall enter into an agreement with the County to pay an annual fee in lieu of transient occupancy taxes for the retreat/camping use."
83. This use shall be constructed, maintained, and operated in conformance with all applicable county, state, and federal statutes, ordinances, rules, and regulations. A violation of any applicable statute, ordinance, rule or regulation shall be a violation of the Use Permit, subject to revocation.
84. At the time of submitting a building permit application, the applicant shall submit to PRMD a Condition Compliance Review fee deposit (amount to be determined consistent with the ordinance in effect at the time). In addition, the applicant shall be responsible for payment of any additional compliance review fees that exceed the initial deposit (based upon hours of staff time worked) prior to final inspection being granted.
85. This "At Cost" entitlement is not vested until all permit processing costs are paid in full. Additionally, no grading or building permits shall be issued until all permit processing costs are paid in full.
86. Any proposed modification, alteration, and/or expansion of the use authorized by this Use Permit shall require the prior review and approval of PRMD or the Board of Zoning Adjustments, as appropriate. Such changes may require a new or modified Use Permit and additional environmental review.
87. The Director of PRMD is hereby authorized to modify these conditions for minor adjustments to respond to unforeseen field constraints provided that the goals of these conditions can be safely achieved in some other manner. The applicant must submit a written request to PRMD demonstrating that the conditions is infeasible due to specific constraints (e.g. lack of property rights) and shall include a proposed alternative measure or option to meet the goal or purpose of the condition. PRMD shall consult with affected departments and agencies and may require an application for modification of the approved permit. Changes to conditions that may be authorized by PRMD are limited to those items that are not adopted standards or were not adopted as mitigation measures or that were not at issue during the public hearing process. Any modification of the permit conditions shall be documented with an approval letter from PRMD, and shall not affect the original permit approval date or the term for expiration of the permit.

The owner/operator and all successors in interest, shall comply with all applicable provisions of the Sonoma County Code and all other applicable local, state and federal regulations.

88. This permit shall be subject to revocation or modification by the Board of Zoning Adjustments if: (a) the Board finds that there has been noncompliance with any of the conditions or (b) the Board finds that the use for which this permit is hereby granted constitutes a nuisance. Any such revocation shall be preceded by a public hearing noticed and heard pursuant to Section 26-92-120 and 26-92-140 of the Sonoma County Code.

In any case where a Use Permit has not been used within two (2) year after the date of the granting thereof, or for such additional period as may be specified in the permit, such permit shall become automatically void and of no further effect, provided however, that upon written request by the applicant prior to the expiration of the two year period the permit approval may be extended for not more than one (1) year by the authority which granted the original permit pursuant to Section 26-92-130 of the Sonoma County Code.



# Sonoma County Board of Zoning Adjustments **MINUTES**

Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

Date: April 5, 2012  
Meeting No.: 12-003

## **Commissioners**

Dick Fogg  
Don Bennett  
Paula Cook  
Jason Liles  
Tom Lynch, Chair

## **Staff Members**

Jennifer Barrett  
Cynthia Demidovich  
Sue Dahl  
David Hurst, Chief Deputy County Counsel

**1:00 PM** Call to order and Pledge of Allegiance

**Approval of Minutes –**

**Correspondence**

**Board of Supervisors Actions**

**Commissioner Announcements/Disclosures**

**Public Appearances**

## **REGULAR CALENDAR**

Item No.1 Time: 1:05 p.m. File: PLP08-0021  
Con't from: March 15, 2012  
Applicant: Ratna Ling Retreat Center, Jack Petranker Staff: Cynthia Demidovich  
Env. Doc: Mitigated Negative Declaration  
Proposal: Request for a Use Permit to expand an existing retreat center to include the following: 1) the construction of a six bedroom residential facility on APN 109-230-018 with a maximum occupancy of 12 persons; 2) a seasonal campground with eight tent structures with a maximum occupancy of 24 persons; 3) allow the maximum occupancy on the project site (APN 109-230-024, and -018) at any one given time to be 122 persons; 4) make non-textual sacred objects; 5) construct 4,080 square feet of residential storage in five buildings; 6) eliminate the current limitation on sacred text production and instead limit truck traffic associated with text and non-textual production; 7) terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of

EXHIBIT B

Tibetan Buddhism; 8) permit 39,270 square feet of sacred text storage buildings located in existing on-site buildings; and 9) change the maximum occupancy of the existing press building from 27 to 94 persons.

Location: 35755 Hauser Bridge Road, Cazadero

APN: 109-230-024 and -018 Supervisorial District: 5

Zoning: RRD (Resources and Rural Development), B6-240 acres density

**Cynthia Demidovich** summarized the staff report, which is incorporated herein by reference.

**Questions from Commissioners: Commissioner Fogg** asked how the intensity was measured and Staff Demidovich said it is measured by traffic, the amount of acreage covered, amount of water used, and the number of guests that stay on the site. **Commissioner Fogg** asked about the lot coverage. **Staff Demidovich** stated that the maximum allowable lot coverage is five acres, and the project proposes to cover 3.3 acres.

**Commissioner Liles** asked what had been approved in the past. **Staff Demidovich** said that at one time a large corporation had purchased the property and been approved for an upscale resort, which never materialized. They sold the property to the current owners, who applied for a use permit that was approved in 2004.

**Commissioner Liles** asked how the TOT on the retreat center is collected. **Deputy Director Barrett** indicated that the Assessor will charge the TOT tax on that portion of the retreat associated with overnight lodging. Commissioner Liles said that it would benefit the County during these tough economic times.

**Commissioner Cook** asked for clarification of what is involved in the road maintenance agreement. This was deferred to later in the discussion.

**Commissioner Lynch** asked if the temporary storage tents were being replaced by new structures, and **Staff Demidovich** said there were no replacement buildings proposed on the property. New construction would be limited to the storage buildings for the cabins and the new single family dwelling. The former project proposal had been revised to eliminate the underground caves, and the applicant hopes to convert the tents to permanent storage.

#### **Public Hearing Opened at 1:30**

**Speakers. Gene Gretchen**, applicant, gave a power point presentation and video. At one time there were plans on the site to build a high end resort and spa that catered to the wealthy. Everything had been approved and construction started. That project would have had two times the vehicle impact as the current proposal. Ratna Ling has a high demand for retreats and their request is modest compared to what has been previously approved. The only new buildings proposed are a storage building and one new 6 bedroom residence. Ratna Ling wants to increase retreat occupancy and had to turn away guests in the summer. They plan to house guests and volunteers in eight tents and to make the existing storage units permanent because they withdrew their plans for an underground storage cave. Ratna Ling has agreed to minimize truck impacts to one round trip per day with a truck 24 feet in length to minimize impacts on the community, have agreed to terminate the use of the press upon sale of the property for non-Tibetan use, and do not foresee additional expansion of the press building. Gretchen said that the press use is ancillary and accessory to the principal use of the property as a Buddhist retreat center.

Robin Caton said that the press facility was the issue that caused the request for the hearing. Caton stated that the press use is ancillary and subordinate to the primary function of the property as a Buddhist retreat. It is common to have presses at Buddhist Retreat centers, and bookmaking is integral to a monastery. The press is located at Ratna Ling because it is a sacred place, and part of the southern quadrant of the Mandala of Odiyan. Making of sacred text is a meritorious practice that brings blessings. Caton thanked Sonoma County for supporting religious freedom. Different guests at the center do work (referred to as dharma) to produce sacred texts, and the vast majority of the books are given to Tibetan Buddhist refugees at no cost. The guests participate in study, meditation, chanting, slow walking, dedication, and conduct or activity work related to preserve and promote the dharma by working on the sacred texts.

Ratna Ling has tried to resolve issues with neighbors without success, help open houses and meetings. The construction of the retreat center caused problems with the neighbors, and Ratna Ling voluntarily initiated a moratorium on construction, which is still going on.

**Commissioner Liles** asked what percentages of the books produced on site were given away. Caton stated that about 99% of the books are given away. About 1% are produced in English are sold to help support production costs.

**Commissioner Cook** asked if consideration had been given to storing the books in a more populated area. Ms. Caton said that the books are stored in a sacred text treasury, and rituals are performed to maintain sacred quality of the books. Many books are waiting till they can be sent to China, India, and Tibet and they need to be kept under certain conditions to maintain their sacred quality.

**Commissioner Cook** asked if this could be done off site, and Ms. Caton replied that the proximity to Odiyan and the Head Lama is important.

**Carolyn Singer**, neighbor, 40 year resident of the area, lives a mile south of Ratna Ling. She extensively reviewed the history of the permits on the site, showed aerial photographs, and stated that the press should be located in an industrial area and is not appropriate for the site. The religious factors should not matter. The issue is land use. The press violates the General Plan. Ratna Ling trucks out everything and does not use local resources. Findings must be made that the press is ancillary to the retreat, and this is a major issue. Mrs. Singer claimed the use permit has condoned seven years of flagrant violations. When the County allowed the tents and Ratna Ling applied for a General Plan amendment, it was approved with an administrative decision without notice or hearing. Mrs. Singer asked for denial of the Use Permit and wanted Ratna Ling to move their printing production somewhere other than the RRD zone.

**Commissioner Liles** asked how Ratna Ling has impacted Mrs. Singer. Mrs. Singer stated that there have been traffic impacts and the community has changed. New people create a "quality of disturbance," and while the retreat center is quiet, she was concerned about the industrial use of the press, although she can't hear them from her property. Neighbors to the east can see the book storage tents. Singer stated that the community relationships are what keep her there, and while Ratna Ling reaches out, it does so on their own terms.

**Charles Judson**, President of Weeks Drilling and Pump, manages the water system for Ratna Ling and for the two previous owners. Judson said that Ratna Ling is unique to work with, and stated that previous owners wanted much higher use. Ratna Ling worked with professionals to develop a unique water system. Judson never noticed any evidence of violations, found Ratna Ling to be straight forward and easy to deal with business partners. They even showed him ways of doing a better job and being more environmentally sensitive.

**Bruce Hammond, Santa Rosa**, has also done business with Ratna Ling and said they adopted green building practices early on, practice sustainable land management, hired a cutting edge architect and are environmentally sensitive. During construction, workers were asked to carpool and stick to a careful schedule to minimize traffic.

**Rue Furch, Sebastopol**, stated that people in coastal hills all live at end of road and have to work together, and when there are divisions in the community it is awful. The area is densely wooded, the roads are single lane and not well maintained. The religious aspect of the project is not being questioned - the issue is a land use decision. Religious worship was discussed at length in the General Plan update, but the definition of what is ancillary still was never resolved, especially with weddings at wineries. Ms. Furch compared the size of the tents to the Dry Creek Casino, and opposed a printing facility in the RRD zone. She was concerned about precedent being set that would open up other uses.

**Pete Prieto**, Meyers Grade Road, asked what the purpose was of having regulations if they aren't followed. Printing presses are not permitted in RRD, and it should be a cut and dry decision. Prieto met with Ratna Ling staff and still does not agree that the use is ancillary. If it is absolutely necessary, it can't be ancillary.

**John Howland, Timber Cove Road** stated that the main point surrounding property expansion is the major commercial print operation that is undeniably industrial and that the retreat is ancillary to the printing operation.

Howland said that an EIR is needed. The referrals should have stated that it is a print operation and did not reflect the true nature of the project. Many of the studies are out of date, incorrect, and misleading. It would be irresponsible to approve the request without an EIR.

**Michael Singer**, neighbor and fire chief of Timber Cove VFD, stated that Ratna Ling bought the department a new engine and they were grateful for it. He personally opposes the project because of the 39,000 square foot book and paper storage. Singer said he doubts that Ratna Ling will be able to obtain a fire permit to make it permanent because it is defined as a membrane structure, not a tent. Membrane structures must meet building code requirements in a high fire zone, and incombustible materials must be used in construction. Singer anticipates that Ratna Ling will need warehouses to meet the code, and the height should be evaluated. Local fire personnel are not trained to deal with industrial fires.

**Commissioner Cook** asked what the road maintenance agreement includes. Singer stated that Sonoma County uses Fire Safe standards, need sufficient paved or gravel access (depending on slope) and turn around room on properties.

**Mike Reilly, Forestville**, stated that since the applicant agreed to dismantle the presses if they change ownership that there will be no precedent to foster industrial use in the RRD zone. The facility cannot be seen or heard, and the only impact on the community is traffic, which the applicant has volunteered to reduce by half. One truck trip per day is not going to create a significant impact. Ratna Ling has always cooperated with the County and Reilly is not aware of any notices of violation. They are only seeking to make their teachings available and to restore a culture, and he is proud to have them in his district. Reilly supports the request.

**Barbara Bryant, Berkeley**, supports the project and goes to retreats at Ratna Ling.

**Matthew Breit**, Ratna Ling volunteer, left NYC to come to Ratna Ling, and wanted to find out how to make most out of his life. Day begins at 5:30 studies Buddhist Yoga, then breakfast, chanting mantras, reading, working on texts, mindfulness, and centers on using work as a spiritual path. The creation of sacred texts are integral to the retreat process.

**Bruce Johnson, Sea View Road**, said the community felt misled when Dharma Press moved their entire operation onto the site. He asked how the press can be ancillary when it is the mother ship and said there will be excessive truck traffic from industrial use.

**Doug Nurenborg**, volunteer at Ratna Ling and project manager since 2004, said he worked with neighbors to alleviate construction impacts, gave out his personal cell and email numbers, was happy to respond to inquiries, and Ratna Ling held an open house for the community. They hosted monthly meetings to look at ways to mitigate traffic concerns and provided signage to the community. They encourage carpooling, encourage the truck to use alternate routes, and banned concrete and sand and gravel trucks from using Meyers Grade and Sea View Roads at considerable expense.

**Bob Dozor, Santa Rosa**, said his daughter wrote "Work is Meditation." He expressed gratitude to Ratna Ling for helping his daughter with her personal growth and supported the project.

**Dale Freeman, Sea View Road** resident, cycles a lot, and stated that the area has become cycling attraction. He was concerned about potential for accidents. Freeman could not understand why the text could not be printed in Berkeley, and worried that Ratna Ling will want to add more.

**Nancy Feeham, Sea View Road** resident, said that neighbors have lands zoned the same and are only allowed to build four houses. What is permitted at Ratna Ling is the equivalent of 72 houses and this isn't fair.

**Russell Wells, Timber Cove Road**, expressed concern about precedent and asked for an EIR. He criticized the mitigated negative declaration saying it lacked information and analysis and that it does not address cumulative impacts. Reports are obsolete, incomplete, and ignore obvious factors. The Initial Study even used the

applicant's proposal statement to justify conclusions. The EIR should be prepared by an objective third party, and not paid for by the applicants. The book storage tents should be removed.

**Christian Doering, Sea Ranch**, likes Ratna Ling, and said neighbors have benefitted from it. Ratna Ling bought a fire truck, provided training, installed a hydrant for a 6,000,000 gallon reservoir, and has donated an emergency shelter trailer to the Red Cross. They established a rest area for cyclists with water fountain. Doering is happy to have Ratna Ling as a neighbor.

**Scott Stegeman, environmental consultant**, regarding the ancillary argument, asked what findings could be written that would not kick door wide open for anyone to say there is a psychological need for something on property. Stegeman asked if faith in and of itself should be the basis for what deciding what is an accessory use.

Stegeman stated that anyone can go to the IRS and ask for non profit status as a church, then come in and ask for something as an ancillary use. According to Stegeman, problems arise when we drift away from land use principals and base decisions on faith.

Stegeman said that the project setting described in the mitigated neg dec was inconsistent with Exhibit B. There was no discussion of Odiyan at all, although it is linked at the hip with Ratna Ling. There were many things missing and not accounted for in the traffic report, such as the baseline not addressing bus service. Conditions of the road and degradation were not analyzed, and the project will tear up the road.

**Homer Canelis, Cazadero** resident, said his family has lived in the area since the 1870s. At one time ranches were cut into 40 acre parcels, which changed the landscape. This was resolved over time and what was two groups became one with more diversity. Canelis expressed confidence that, in time, the two groups will work out their differences and become unified.

**Jim Finn, Jenner**, said the BZA is only place besides the Board of Supervisors where people have a chance to address local issues that are bothering them. Finn said that the project in is out of character for the rural area and book printing causes disturbance. Finn expressed concern about precedent being set for other similar groups.

**Jacob Bayless, Kruse Ranch Road**, loves Buddhism and thinks Ratna Ling is marvelous. The core matter is the press facility which is not compatible. The retreat center does not require a press. Bayless asked for denial of the project.

**Carol Vellutini, local resident**, has family in the area since the 1800's. Vellutini said we can't keep stamping out projects without defining ancillary. Truck trips to develop the project have impacted the area.

**Curtis Caton**, on rebuttal, appreciated the comments and patience expressed. A number of last minute paper submissions were submitted and he asked for copies to give to Jean Kapolchok. He asked those showing support to stand and about 30-40 people stood. Caton added that many others who support the project had to leave.

Caton commented that a lot of what was being said was attempting to make it into larger or bigger issue than it actually is. Ratna Ling is not asking for a General Plan amendment or zone change, but a Master Use Permit that is built upon prior actions already approved by the BZA, which directly responded to neighbor concern. The original application established the relationship as the primary use as a retreat center and ancillary use, and this issue has been studied and analyzed. After careful study, staff concludes that their request is appropriate and there are no significant impacts. Caton stated that the press is deeply connected to primary use of retreat center.

**Steve Butler**, on rebuttal, spoke regarding alleged deficiencies in the environmental analysis calling for an EIR. Butler stated that an EIR is only required when there is evidence of a significant adverse physical impact on the environment that cannot be mitigated. The only actual new construction will be the 6 bedroom house on an existing pad and driveway, small storage structures, and 8 tent structures on existing wooden platforms which were already part of the existing baseline. Other aspects which were previously approved can be built regardless of the action taken today by the BZA. Due to the modest nature of the expansion, an EIR is not needed.

**Commissioner Lynch** stated that he sensed a misunderstanding of intentions, and neighbors are concerned about continued expansion at Ratna Ling and have felt deceived.

Caton said the reason for the master use permit was to put all plans for the future into one document. Many meetings had been held to develop a "wish list." Many have already been approved. They need more retreat participants and accommodations. Ratna Ling voluntarily interrupted construction in 2009 because of neighbor concern, and learned their lesson.

**Commissioner Lynch** asked if Ratna Ling plans to continue engaging the community and Mr. Caton said that they would continue to work with community to become unified. Even during the acrimonious period, outreach has still been there and the facility extended participation in Tibetan Yoga to neighbors on site. Several neighbors regularly attend. This was offered free as a gesture, and Ratna Ling will make additional efforts to lower the intensity of the acrimony.

**Commissioner Lynch** said the real concern is the press, what is being called "ancillary use," and fear of continued expansion. Limits need to be defined and Ratna Ling needs to include the neighbors. Caton pledged to do that, adding that they have not asked for unlimited rights to do anything. There was some misunderstanding that permit did not list clear limitation on how much printing would occur. That is why they came up with the reduced truck trips.

**Commissioner Fogg** asked if we were looking at the 20 year master development plan. Caton stated that unless circumstances change dramatically, they won't be back in for 20 years. Caton claimed that the changes to the initial application are modest.

**Commissioner Fogg** stated that it would appear that neighbors think differently and there is a perception of "mission creep."

**Commissioner Liles** asked if the storage building would have power and utility hookups. Mr. Gretchen said there are no plans for water hook ups and he was not sure about power. The primary use is to store linens and furniture for the cottages.

**Commissioner Liles** referred back to Michael Singer's statement that the tents may not be approved by the fire marshall. Mr. Gretchen said that this was the first he had heard about it and will talk to the fire marshall.

**Commissioner Lynch** expressed concern about what would happen if the temporary buildings could not be permitted. The other commissioners agreed that this needs to be clarified with the fire marshall.

**Commissioner Cook** asked that the square footage referred to in Condition 56 and Exhibit B be corrected to reflect the same amount. She expressed concern about the issues mentioned by Mr. Singer about the temporary storage building

**Commissioner Fogg** asked if there was enough parking at capacity. Mr. Caton said that there is plenty of parking and carpooling is encouraged when possible.

#### **Public Hearing Closed at 4:55**

#### **Commission Discussion**

**Commissioner Liles** asked **Staff** to go over the allowed uses in RRD zoning. **Deputy Director Barrett** stated the uses allowed by right without a use permit to be large family daycare, contractor equipment storage yards, management of land for watershed, pet fancier facilities, residential uses, growing of and harvesting of crops, boarding of horses, cleaning, packing, and polishing of crops, removal of timber and fuel wood, timber management. Uses allowed with a use permit include lodging facilities, schools, gravel mining, farm labor camps, agricultural cultivation, livestock feedyard, commercial kennel, commercial stables, commercial



aquaculture, commercial wood yards, contractor equipment storage, growing and harvesting and storage of products, commercial mushroom farming, slaughterhouse, animal processing plant, rendering, lumber planing, logging mills, and more. **Deputy Director Barrett** added that anything related to the primary use must be subordinate and ancillary to it. It is a judgment call to decide which is the most intense use and in this case book storage was determined to be an accessory use. **Deputy Director Barrett** added that the press facility was already vested based on the 2004 use permit.

**Commissioner Bennett** expressed concern that the use could be intensified to include other uses, such as building statues, and suggested conditioning against this.

**Commissioner Fogg** suggested adding a condition that the presses be restricted to printing religious material.

**Commissioner Cook** noted that the issue is land use, not cultural, but it also appears that the storage and press are vested as an incidental use. She suggested a condition for a periodic review to assure that creep is not occurring with possible sanctions if violations are noted. The traffic impacts were still not clear to her.

**Deputy Director Barrett** recalled a project she worked on which established a road mitigation fee for aggregate hauling that was based on extensive analysis of how truck weight impacts road. It found that smaller trucks had less impact, the number of axles were factored in, and the fee is calculated on tonnage. Similar mitigations could be added in to the project to help pay for road repairs.

**Commissioner Liles** asked if the excess height of the storage buildings could be resolved if they are made permanent structures. Deputy Director Barrett said that if design review is conducted exceptions can be made for height limit. Staff approved the extra five feet for the temporary use. The BZA can also approve the exception or may require that the permanent structures meet the height limit.

**Commissioner Liles** asked for information regarding violations on the site and **Staff Demidovich** said Ben Neuman, Building and Code Enforcement Manager, said that the site was brought into conformance with the 2004 use permit and brought into compliance. There is an open violation pending outcome of the BZA hearing.

**Commissioner Liles** asked for a discussion of ancillary. Deputy Director Barrett consulted the Zoning Code and said that accessory use means a use of land or a building which is related and subordinate to the primary use of the land.

**Commissioner Bennett** stated that he did not think there was need for an EIR.

**Commissioner Cook** suggested periodic review of the use permit to give the neighbors a chance for a public hearing. The other commissioners concurred.

**Commissioner Liles** stated that this applicant created the concern about creep, but when looking at what other types of uses could be allowed in the RRD zone, he noted that the impacts could be a lot worse. Mr. Canelis said it well when both sides used the words "opponents" over and over again. This is not the way a neighborhood usually operates, and it would be wise for the neighborhood to start working together.

**Commissioner Lynch** said that the periodic review would help with the distrust issues held by the neighbors, but the temporary buildings are still an issue. If, as Mr. Singer claims, they don't meet fire code, a way needs to be found to resolve the matter.

**A straw vote was taken to approve the project, and staff was asked to address the following items:**

- The Use Permit shall be subject to a three year review of approval, applicant shall submit deposit for such as part of the conditions of compliance which will provide for modification or revocation of the permit. It will be noticed as a public hearing and go to a larger area than the normal 300 foot range.
- Applicant shall provide the total maximum tonnage for the 24 foot truck and shall contribute annually a fair share contribution for maintenance of roads as determined by Public Works.

- Use of the press shall be limited to printing of Tibetan Buddhist text.
- The applicant was asked to return with a proposal on how they would limit production of artifacts such as prayer beads, meditation cushions, and art projects.
- Modify Condition 82 to require that the applicant shall pay back taxes and remain current.
- Talk to the Fire Marshall about how to deal with making the tents permanent and bring back a recommendation.

Action: A straw vote was taken to approve the project with modified conditions. Staff was directed to bring back information regarding Fire Marshall relative to the temporary storage buildings and to address artifact production. Continued until June 7<sup>th</sup> at 1:05 p.m.

Appeal Deadline:

Resolution No.:

Fogg: Aye

Ayes: 5

Bennett: Aye

Noes: 0

Cook: Aye

Absent: 0

Liles: Aye

Abstain: 0

Lynch: Aye

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Minutes adopted April 19, 2012



**COUNTY OF SONOMA**  
**PERMIT AND RESOURCE MANAGEMENT DEPARTMENT**

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

**MEMO**

**Date:** April 9, 2012  
**To:** Cynthia Demidovich  
**From:** Ben Neuman, Manager Building and Safety Division  
**Subject:** Ratna Ling Temporary Tents – UPE08-0016  
35755 Hauser Bridge Rd.

The question has been raised whether or not the existing tent structures built under permit and inspection will be required to meet requirements contained within the 2010 California Building Code and wildfire exposure provisions as identified in Chapter 7A.

Short answer: The subject structures need only comply with the code and regulations in effect at the time of permit application and need not comply with Chapter 7A.

Long answer: Section 1.1.9 of the California Building Code states that only those standards approved by the California Building Standards Commission that are effective at the time an application for a building permit is submitted shall apply to the plans and specifications for, and to the construction performed under, that permit.

Section 102.6 of the California Building Code states that legal occupancy of any existing structures shall be permitted to continue without change, except as specifically covered in this (building) code.

Chapter 7A of the California Building Code became effective via emergency ratification on June 21, 2006 and applied to the permits submitted after that date. Section 705A contained within the emergency regulations allowed each jurisdiction the ability to determine whether or not the requirements of Chapter 7A would apply to ancillary buildings and structures. In this case, PRMD determined the subject structures need not comply with Chapter 7A. Of note, this section was rewritten as Section 710A in the 2010 California Building Code and required compliance with Chapter 7A. The 2010 California Building Code became effective on January 3, 2011, long after the subject structures were permitted and built.

Building permit applications were submitted between March and August 2008 for the subject structures. Neither the use, nor size of the structures have changed, or is proposed to be changed. The subject structures met the standards for a permanent structure and no accommodation was provided for temporary use. The change from temporary to permanent status is not considered a change of occupancy. The structures need only comply with the code in effect at the time of permit application. There is no justification to impose the more restrictive requirements of the 2010 California Building Code.

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## Cynthia Demidovich

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**From:** Roberta MacIntyre  
**Sent:** Friday, May 18, 2012 3:22 PM  
**To:** Ben Neuman  
**Cc:** DeWayne Starnes; Cynthia Demidovich  
**Subject:** Ratna Ling  
**Attachments:** Isd-HelpDesk@sonoma-county.org\_20120518\_143632.pdf

Ben,

I am not sure if it matters but I finally had time to digest your findings of the memo (attached) regarding the fire resistance of the membrane structures at the Ratna-Ling Site. It appears that the code in place at the time of construction *did not* yet have the wildland-urban interface construction requirements in place, but those came in at a later date (see 2007 CBC Page 237, & 2007 CBC Page 237 January 1, 2009 Supplement – attached). Therefore, the building(s), if constructed prior to January 1, 2009, meet the construction requirements in place at the time of construction.

Respectfully,

**Roberta MacIntyre, Fire Marshal**  
**Sonoma County Fire & Emergency Services Department**  
**Fire Prevention Division**  
**2300 County Center Drive - Suite 221-A, Santa Rosa CA, 95403**  
**(707) 565-1154**



Attorney-client communication/Privileged and confidential

~~Confidentiality Statement~~

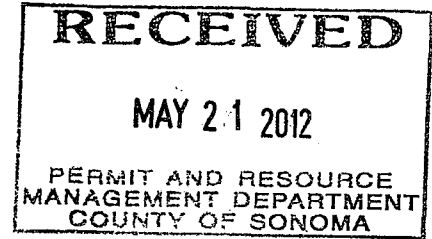
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EXHIBIT D



**J. Kapolchok**  
**+ Associates**

Land Use Planning  
Urban Design



May 18, 2012

Cynthia Demidovich, Project Planner  
Permit and Resource Management Department  
County of Sonoma  
2550 Ventura Avenue  
Santa Rosa, CA 95403

**RE: Ratna Ling Master Use Permit - Response to Issues Raised by the Board of Zoning Adjustments**

Dear Cynthia,

At the close of the April 5, 2012 public hearing on the Ratna Ling Master Use Permit request, the Board of Zoning Adjustments (BZA) discussed the possibility of levying an additional road impact fee as a project condition. The purpose of the fee would be to off-set wear and tear to the neighboring rural roads, a potential impact caused by the transportation of sacred text and non-textual items produced and transported by Ratna Ling. The impact fee levied on the aggregate haulers was cited as a possible basis for the establishment of an appropriate fee. In addition, the BZA requested a means of restricting the amount of non-textual sacred objects that are made at Ratna Ling and a determination as to whether converting the Sacred Text Treasuries from temporary buildings to permanent buildings would result in a Building and Fire Code issue.

**I. Additional Road Impact Fee**

We have examined the "Aggregate Hauling Impacts on County Roads" technical report prepared by Economic & Planning Systems and dated December 8, 2008 as well as discussed the issue with the Sonoma County Department of Transportation and Public Works (DTPW). Based on our discussion with DTPW and the conclusions of the Aggregate Hauling Impact study, we believe the levying of a fee is not warranted because the impacts are negligible and any impact to County roads has been offset through the payment of gasoline tax, vehicle registration fees and PRMD traffic impact fees. Therefore, we request that no additional fees be applied.

843 Second Street  
Santa Rosa, CA 95404  
TEL: 707.526.8939  
FAX: 707.526.8985

eMAIL: jkapolchok@sbcglobal.net

EXHIBIT E

We base this request on the following analysis:

Source: "Technical Report: Aggregate Hauling Impacts on County Roads" prepared by Economic & Planning Systems, Inc. December 8, 2008

#### I. Lack of Adopted Policy or Identified Impact

The purpose of the above referenced technical report was to determine road mitigation costs associated with damage to County roads caused by the hauling of aggregate material. The ability to establish an impact fee was based on policies and mitigations in the 1981 ARM Plan and the Plan's FEIR and the 1994 ARM Plan Program EIR (PEIR) update. The PEIR specifically called for contributions to the Road Mitigation Fund.

The relevant item of transportation at Ratna Ling will be restricted to an average of one round trip a day. The truck length cannot be greater than 24 ft, as typically measured by CalTrans. Given these restrictions, neither the traffic study nor the mitigated Negative Declaration found abnormal wear and tear to the roadways. Condition No. 33 requires payment of Traffic Mitigation fees per Section 26, Article 88 of the Sonoma County Code prior to issuance of a building permit for any new building.

#### II. Lack of Significant Wear and Tear on County Rural Roads

According to the Aggregate Hauling Impact Report, aggregate is transported in 3-axle and 5-axle trucks weighing up to 80,000 lbs (40 tons). Ratna Ling will transport the sacred text and non-textual art objects or receive supplies in 2-axle and single-axle trucks. In 2011, 56% of the transport occurred on single axle trucks: 44% on dual axle trucks. The shipping weight has varied from significantly less than 10 tons to a maximum of 11.8 tons. Assuming standard weights for a single-axle and double axle trucks, the historic mix of trucks and an average shipping weight of approximately 9.5 tons, the gross vehicle weight is approximately 31,000 lbs.

In order to arrive at a mitigation based on tonnage, the Aggregate Hauling Impact Report used equivalent single axle loads or ESALs to help express the cumulative "wear and tear" impact of heavy vehicles on county roads. Although one ESAL is equivalent to 18,000 lbs. of pressure on the pavement, the report does not use a simple conversion. The report's methodology is detailed in Appendix B.

Sonoma County Permit and Resource Management (PRMD) and Department of Transportation and Public Works (DTPW) prepared the "Cumulative ESAL Method - County Road Impacts From Aggregate Trucks" (Appendix B). According to Appendix B, the cumulative physical impact that aggregate haul trucks have on county roads is a function of the number of trucks, the weight of

the trucks, the strength of the roadway, and the number of miles of roadway driven. The report also states that the total gross vehicle weight of the truck has a huge effect on the degree of impact. To this point, the report includes both a Table (Table B-1) and a Figure (Figure B-1) that converts truck weight, spread over axles, to ESAL (attached).

As can be seen from the Table and Figure, lighter trucks, those in the 20,000 lb. to 35,000 lb. range generate minimal ESAL. A single ESAL, 18,000 lbs. of pressure is not reached until a 3-axle truck has a gross vehicle weight of approximately 41,000 lbs. Given the negligible impact exerted by lighter trucks, the report disregarded the potential impact of all empty trucks (23,000 to 30,000) because it was felt that county roads can accommodate the weight without significant wear and tear and, "To the extent that they contribute to a significant cumulative impact, these impacts are considered fully mitigated by existing fuel tax and registration fee contributions and no further mitigation requirement is considered necessary."<sup>1</sup>

As indicated, Ratna Ling has volunteered to restrict the size of trucks to a maximum of 24 ft. Using historical shipment data and factoring in a higher than normal average shipping weight, the gross vehicle weight (truck and load) of Ratna Ling's transport of sacred texts and objects and delivery of production supplies would essentially be within the empty truck weight range (estimate of 31,000 lbs. GVW).

Based on this and the analysis found in the County's Aggregate Hauling report, it is considered that the trucks associated with Ratna Ling transport/delivery will exert a minimal "wear and tear" impact on the county road network. To the extent that there is an impact, it is believed, as has been found in the County's report, that the impact has been addressed through the payment of and the future payment of Sonoma County traffic impact fees, existing fuel tax and registration fees.

### III. Department of Transportation and Public Works

We have directly consulted with the Department of Transportation and Public Works for guidance in the preparation of our response to the BZA. From this conversation, we understand that the issue of imposing a truck impact fee in addition to the existing traffic impact fees has been thoroughly reviewed by the department and DTPW is recommending that no additional fee be levied.

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<sup>1</sup> Appendix B: Cumulative ESAL Method – County Road Impacts From Aggregate Trucks. Economic and Planning Systems, December 2008.

## **II. Non-textual Sacred Objects**

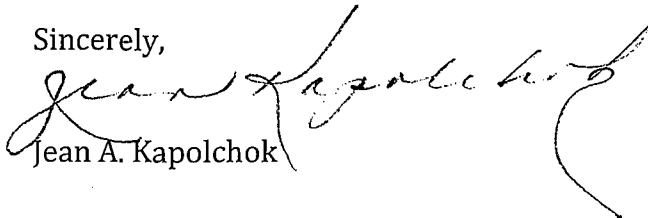
The Board of Zoning Adjustments (BZA) also requested that Ratna Ling propose a method for limiting the quantity of non-textual sacred art objects produced in an annual period. Because this Master Use Permit application seeks to address activity many years into the future, it is difficult to know which of the many types of such objects might be produced at Ratna Ling, much less predict quantities or values at this time. After giving this request serious consideration, it is believed that proposed conditions #59, which identifies the use and restricts where it can be produced; #60, which defines the use per the proposal statement and #61, which limits the production by including it as part of the traffic impact measurement, gives the assurances sought by the BZA. Taken together, these conditions provide that total production at the Press facility will be limited to what can be transported in an average of one truck trip per day. This transportation limit would apply to non-textual sacred objects as well as texts. This places a natural limit on production, and further means that there will be no impact whatsoever on the neighbors or environment from non-textual production.

## **III. Potential Code Impact of Converting the Sacred Text Treasuries from Temporary to Permanent Buildings**

Ben Neuman, PRMD Code Enforcement was specifically asked by PRMD to opine on this issue. His memo, of April 9, 2012, addressed to you clearly states that it is his professional opinion that the building would be considered code compliant. You have also asked that the Fire Marshall address the issue of converting, per Use Permit, temporary buildings to permanent buildings. As is indicated in Roberta McIntyre, County Fire Marshall, email of May 18, 2012, to Ben Neuman, the buildings are in compliance.

Thank you for considering this material and forwarding this as our responses to the questions asked by the Board of Zoning Adjustments.

Sincerely,

  
Jean A. Kapolchok



## APPENDIX B

### CUMULATIVE ESAL METHOD COUNTY ROAD IMPACTS FROM AGGREGATE TRUCKS

*Prepared by Sonoma County Permit and Resource Management Department and  
Department of Transportation and Public Works*

The cumulative physical impacts that aggregate haul trucks have on County roads is a function of the number of trucks, the weight of the trucks, the strength of the roadway, and the number of miles of roadway affected.

The number of annual truck trips generated by aggregate hauling in the County is directly related to the annual demand for aggregate. From 1995 to 2005, the average annual aggregate demand rate was of 4,675,000 tons per year. Assuming the mix of trucks is 70 percent 5-axle (truck and trailer) and 30 percent 3-axle (conventional single-box dump truck) the average tonnage for each trip would be 21.25 tons and the resultant number of round-trip truck trips per year to haul the 4,675,000 tons would be 220,000 (154,000 5-axle trips and 66,000 3-axle trips). If the average round-trip distance is 15 miles, the total miles logged by aggregate trucks in the County would be about 3.3 million miles per year.

Approximately 33 percent of the aggregate haul traffic occurs on County-maintained roadways, thus, the number of miles logged by aggregate haul trucks on County roads is estimated to be 1,089,000 miles (33 percent x 3,300,000 miles). Half of these miles (544,000 miles) would be with fully loaded trucks; the other half would be with empty trucks.

The total gross vehicle weight of the trucks has a huge effect on the degree of impact. A typical fully loaded 5-axle truck/trailer combination weighs 80,000 pounds or 40 tons; a typical loaded 3-axle dump truck weighs 48,000 pounds or 24 tons. The California Vehicle Code limits loaded trucks to those weights unless special permits are obtained.

Truckers achieve the greatest cost efficiency by hauling the largest load possible. As a result, the majority of loaded trucks operate in the highest weight category. Many aggregate trucks are topped off on the scales so that their gross vehicle weight is close to the 80,000 pound maximum.

The weight of the trucks weakens the structural strength of the road over time. The magnitude of the impact is influenced by a number of factors such as the total weight of the vehicle and the number of axles that the weight is dispersed over. Engineers assess the weight impacts of heavy vehicles in terms of the Equivalent Single-Axle Loads (ESALs). One ESAL is equal to 18,000 pounds of pressure on the pavement.

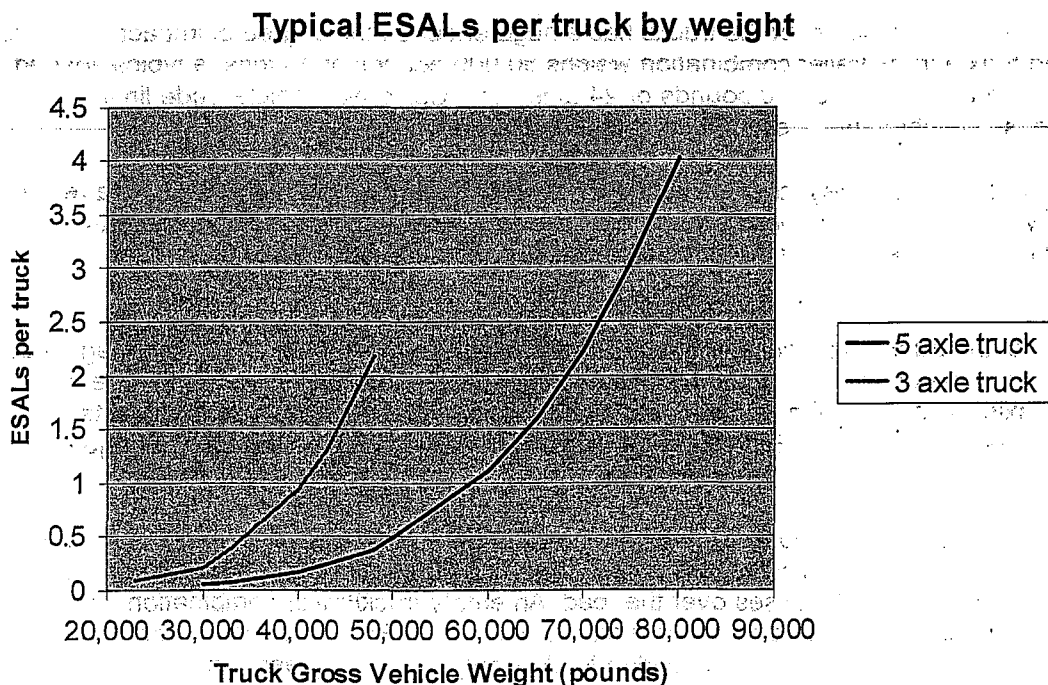
Tables B-1 and Figure B-1 below demonstrate how the ESAL impacts go up exponentially with vehicle weight. Table B-1 indicates that a fully loaded 80,000 pound truck generates 4.03 ESALs every time the truck passes over the road. An empty truck/trailer combination weighs about 30,000 pounds and would be roughly equivalent to 0.09 ESALs. In other words, even though the weight of an 80,000 pound loaded truck is only 2.6 times greater than the empty 30,000± pound truck, it has nearly 45 times the impact. Similarly, a fully loaded 3 axle truck generates an ESAL of 2.18, while the empty truck also generates an ESAL of 0.09 (less weight than a 5-axle truck, but distributed over fewer axles).

Since lighter vehicles such as automobiles and small trucks have such a negligible impact compared to heavier vehicles, engineers typically do not consider them when calculating the structural requirements of roads. One 80,000 pound tractor semi-trailer is often said to have the equivalent wear and tear as 10,000 automobiles. Empty trucks have a very minor impact.

**TABLE B-1: Effect of Truck Weight on ESAL**

Gross Vehicle Weight in pounds (vehicle weight plus load weight)	Net load weight per loaded truck in pounds	ESAL's generated per truck	# of truck trips	ESALs from trips
<b>5-Axle Trucks</b>				
80,000	50,000	4.03	154,000	660,620
30,000	Empty	0.09	154,000	13,860
<b>3-Axle Trucks</b>				
48,000	25,000	2.18	66,000	143,880
23,000	Empty	0.09	66,000	5,940

**FIGURE B-1: ESAL Increase by Truck Weight**



Once overall traffic load is expressed in terms of ESALs a Traffic Index (TI) is assigned. The higher the TI, the greater the structural strength and design requirements of the road. Table B-2 indicates the TI associated with different levels of road service.

**TABLE B-2: Traffic Indexes and Structural Requirements for Different Road types.**

Type of Road	Traffic Index (TI)	ESALs for 20-year life
Industrial	9	1,034,000
Arterial	8	371,660
Secondary Arterial	7	126,900
Collector	6	35,400
Residential	5	7,805

Historically, most rural roads in the county were seldom improved beyond the requirements for a traffic index of 5 or 6 because of lower projected traffic and truck traffic and because many of the roads were developed before current standards.

The cumulative impact of aggregate haul trucks on County roads can be quantified in terms of ESALs. Using the assumptions stated earlier, loaded aggregate haul trucks would result in an annual impact of about 764,500 ESALs (154,000 5-axle trips x 4.03 plus 66,000 3-axle trips x 2.18) while the empty trucks would generate another 19,800 ESALs (154,000 5-axle trips x 0.09 plus 66,000 3-axle trips x 0.09). Thus the combined total ESAL impact of aggregate haul trucks in the County is 784,300 ESALs per year. Comparing this ESAL total to the 20-year ESAL design totals in Table B-2 indicates that it would exceed by about two-fold the 20-year ESAL design total for an arterial road in a single year, thus indicating that the design life would be exhausted in 6 months.

The lighter empty trucks are responsible for less than 3 percent of the road impact attributable to aggregate haul trucks. Since the county roads can more easily accommodate the weight of empty trucks without significant wear and tear and the weight of these trucks is not excessive compared to the weight of many other types of trucks and vehicles in the traffic mix, this analysis considers the impacts of all empty trucks to be individually insignificant. To the extent that they contribute to a significant cumulative impact, these impacts are considered fully mitigated by existing fuel tax and registration fee contributions and no further mitigation requirement is considered necessary.

However, the average annual impact of 764,500 ESAL's resulting from loaded aggregate haul trucks is considered significant. This impact is often not fully recognized because it is dispersed over many days and over many different roads, road conditions and road lanes. If the average round trip is 15 miles, the loaded half would average 7.5 miles. If the County's share of the 7.5 miles is 33 percent, then 2.5 miles of the average loaded trip would be on County roads. As a result, the cumulative public road impact of aggregate haul trucks would exceed the cost of repaving 2.5 miles of arterial every 6 months. The road repair impacts would be even greater and more frequent on roadways that are not currently built to arterial standards. Over a 20-year period, the impact would be roughly equivalent to repaving 100 miles (2.5 miles per 6 months or 5 miles per year x 20 years).

Resolution Number

County of Sonoma  
Santa Rosa, California

June 7, 2012  
PLP08-0021 Cynthia Demidovich

RESOLUTION OF THE BOARD OF ZONING ADJUSTMENTS,  
COUNTY OF SONOMA, STATE OF CALIFORNIA, ADOPTING A  
MITIGATED NEGATIVE DECLARATION AND GRANTING A USE  
PERMIT FOR A REVISED MASTER PLAN FOR A RETREAT  
CENTER ON PROPERTY LOCATED AT 35755 AND 36000  
HAUSER BRIDGE ROAD, CAZADERO; APN 109-230-024 and  
-018.-

WHEREAS, the applicant, Ratna Ling Retreat Center c/o Jack Petranker, filed a Use Permit application with the Sonoma County Permit and Resource Management Department for a Master Plan for the Ratna Ling Buddhist Monastery expanding an existing retreat center with an accessory non-profit Tibetan Buddhist printing facility for property located at 35755 and 36000 Hauser Bridge Road, Cazadero; APN 109-230-024 and -018; Zoned RRD (Resources and Rural Development), B6-240 acre density; Supervisorial District No 5 ("the Project"); and

WHEREAS, a Mitigated Negative Declaration was prepared for the Project and noticed and made available for agency and public review in accordance with the California Environmental Quality Act ("CEQA") and the State and County CEQA Guidelines; and

WHEREAS, at its regularly scheduled meeting on April 5, 2012, the Board of Zoning Adjustments took a 5-0 straw vote to approve the project and continued the matter to June 7, 2012, for final decision, and

WHEREAS, in accordance with applicable provisions of law, the Board of Zoning Adjustments held a public hearing on June 7, 2012, at which time the Board of Zoning Adjustments heard and received all relevant testimony and evidence presented orally or in writing regarding the Mitigated Negative Declaration and the Project. All interested persons were given an opportunity to hear and be heard regarding the Mitigated Negative Declaration and the Project; and

WHEREAS, the Board of Zoning Adjustments has had an opportunity to review this Resolution and finds that it accurately sets forth the intentions of the Board regarding the Mitigated Negative Declaration and the Project.

NOW, THEREFORE, BE IT RESOLVED that the Board of Zoning Adjustments makes the following findings:

1. The use, as conditioned, is consistent with the RRD (Resource and Rural Development) General Plan land use designation and the zoning district regulations as a Tibetan Buddhist retreat center, an accessory non-profit press facility and reservoir, as it would not detract from or impinge upon lands used for timber, geothermal and mineral resource production or natural resource conservation, and watersheds, fish, and wildlife habitat will be protected.
2. The use is consistent with the intent and purpose of the RRD zoning district because it is a lodge that is an allowed use in the General Plan and zoning code.
3. Based upon the whole record (including the Initial Study and all comments received) there is no substantial evidence that the Project will have a significant environmental effect. Changes or alterations have been required in, or incorporated into, the Project

through the Conditions of Approval imposed herein that avoid or substantially lessen the potentially significant environmental effects of the Project. These changes or alterations have been agreed to by the applicant. The Mitigated Negative Declaration has been completed in compliance with CEQA State and County guidelines, and the information contained therein has been reviewed and considered.

4. The establishment, maintenance or operation of the use for which application is made will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such use, nor be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the area. The particular circumstances in this case are:
  - a. A Traffic Study dated July 29, 2011, was prepared for the proposed project by W-Trans. The study determined that according to design standards published by AASHTO both Hauser Bridge Road and Seaview Road currently meet the low-volume criterion and are projected to continue to meet this criterion under future conditions. The study concluded that there was no evidence of a site-specific safety problem attributed to inadequate sight distance. However, the study did recommend that a curve warning sign with a supplemental 15 mph advisory speed limit sign be installed on Hauser Bridge Road near the intersection of Seaview Road to warn drivers of the road conditions. The Sonoma County Department of Public Works reviewed the Traffic Study prepared by W-trans and conditioned the proposed project to place pavement markers along the center of the pavement at one location to separate opposing traffic along the vertical curve in the road alignment at post mile 6.82.
  - b. A Greenhouse Gas Analysis dated January 18, 2012, was prepared for the proposed project by URS Corporation. The analysis found that the proposed project would not have a significant impact on GHG emissions. However, additional reductions in green house gas emissions are required as a condition of approval to meet the County General Plan objectives.
  - c. The new six-guest room retreat/house will be visible from Hauser Bridge Road, however existing trees and shrubs provide some screening between the proposed six-guest room retreat/house and Hauser Bridge Road. The seasonal campground is not visible from Hauser Bridge Road.
  - d. The six-guest room retreat/house and a campground will not generate hazardous materials as the use is residential in nature. The existing operation of the accessory press facility generates minimal amounts of hazardous materials. The accessory press facility has a Hazardous Materials Business Plan approved and on file with the Sonoma County Hazmat/Fire Division.
  - e. An existing 20 acre-foot reservoir is located on the project site and has the capacity to provide water to the existing facility, the proposed six-guest room retreat/house, and the eight-tent campground.

BE IT FURTHER RESOLVED that the Board of Zoning Adjustments hereby adopts the Mitigated Negative Declaration and Mitigation Monitoring Program set forth in the Conditions of Approval. The Board of Zoning Adjustments certifies that the Mitigated Negative Declaration has been completed, reviewed, and considered, together with comments received during the public review process, in compliance with CEQA and State and County CEQA Guidelines, and finds that the

Mitigated Negative Declaration reflects the independent judgment and analysis of the Board.

BE IT FURTHER RESOLVED that the Board of Zoning Adjustments hereby grants the requested Use Permit, subject to the Conditions of Approval in Exhibit "A", attached hereto.

BE IT FURTHER RESOLVED that the Board of Zoning Adjustments designates the Secretary as the custodian of the documents and other material which constitute the record of proceedings upon which the Board's decision herein is based. These documents may be found at the office of the Sonoma County Permit and Resource Management Department, 2550 Ventura Avenue, Santa Rosa, CA 95403.

BE IT FURTHER RESOLVED that the Board of Zoning Adjustments' action shall be final on the 11<sup>th</sup> day after the date of the Resolution unless an appeal is taken.

THE FOREGOING RESOLUTION was introduced by Commissioner \_\_\_\_\_, who moved its adoption, seconded by Commissioner \_\_\_\_\_, and adopted on roll call by the following vote:

Commissioner  
Commissioner  
Commissioner  
Commissioner  
Commissioner

Ayes:        Noes:        Absent:        Abstain:

WHEREUPON, the Chair declared the above and foregoing Resolution duly adopted; and

SO ORDERED.

**UPDATED PROPOSAL STATEMENT FOR RATNA LING**

**MASTER USE PERMIT APPLICATION**

~~MARCH 26, 2013~~

Applicant/Owner: Ratna Ling Buddhist Retreat Center  
Location: 35755 and 36000 Hauser Bridge Road, Cazadero, CA  
APN 109-230-024 and 109-230-018  
Subject: Use Permit for Master Plan/Master Use Permit  
General Plan: Resources and Rural Development, 240 acre density  
Zoning: RRD B6-240  
Ord. Reference: Sonoma County Code sections 26-10-020(t) and 26-10-020(cc)

**PROJECT HISTORY & CURRENT REVISIONS**

Ratna Ling<sup>1</sup> submitted its initial application dated March 11, 2011. Before submittal and while the application was pending, Ratna Ling spent over three years meeting with neighbors to listen, discuss and consider community input. The initial application was a Master Use Permit application for an expanded retreat use, permanent storage of sacred texts, and other items.<sup>2</sup> The Board of Zoning Adjustments unanimously approved the initial application on June 7, 2012. Depending on the time of year, Ratna Ling will now limit itself to a maximum of 98 people per night for six months and a maximum of 122 people per night for six months of each year. Specifically, Ratna Ling requests that occupancy be limited to:

December, January & February: an average of 67 people  
March, April & May: an average of 70 people  
June, July & August: an average of 110 people  
September: an average of 90 people  
October and November: an average of 70 people

<sup>1</sup> "Ratna Ling" and "the Center" or "Center" are used interchangeably in this Updated Project Description.

<sup>2</sup> See previous Project Descriptions, dated March 15, 2011 and December 19, 2011. To the extent this updated description conflicts with the 2011 Project Descriptions, this version supersedes the earlier versions.

## PARCEL HISTORY

The 107 acre Ratna Ling property (also called the "Timber Hill Parcel") was previously used as a private school. In 2000, the County approved an exclusive resort, spa, swimming pool, and freestanding pub on the Ratna Ling property. After the Timber Hill parcel was offered for sale, but before it was purchased, representatives of the religious community that would become Ratna Ling discussed with County officials their intent to use the 107 acre property, not only for a non-commercial retreat center but also, as an integral accessory to the retreat function, for a sacred text printing and publishing facility. In a February 2004 letter to the Board of Supervisors, the Head Lama stated: "Purchase of the Timber Hill property as a retreat center for students whose religious practice is the printing of sacred texts would complete the Odiyan mandala's southern quadrant . . . ." Having received encouragement to proceed, the purchase was made in early 2004 by the church corporation sole, officially known as Head Lama of the Tibetan Nyingmapa Meditation Center (TNMC), the same entity that owns the Odiyan Monastery. In 2008, Ratna Ling purchased the adjacent 13 acre "Dixie Parcel," which is immediately north and northwest of the Ratna Ling parcel. Combined, these parcels are 120 acres and Ratna Ling proposes to use both for its Buddhist Retreat Center.

## RATNA LING

Members of the Ratna Ling Retreat Center feel fortunate to have occupied a location of physical beauty and spiritual inspiration in western Sonoma County since 2004. By carrying out Tibetan Buddhist religious practices there, and making Buddhist teachings available to retreatants from the community and from around the world, Ratna Ling has endeavored to make positive contributions to the already-recognized culture and reputation of the County for supporting diverse creative activities. Ratna Ling is grateful to the County and its officials, whose endorsement of the Center's goals have allowed it to pursue projects both compelling in value and unique on an international scale.

Ratna Ling's operations have evolved, as reflected in a number of different use and building permits issued over time. This evolution has led to some uncertainty for both Ratna Ling and the County concerning the range of permitted uses and structures on the property. In order to achieve clarity for the benefit of Ratna Ling, the County and our neighbors, the Center wishes to pursue this Application for a Master Use Permit to achieve four important goals. First, Ratna Ling proposes to carry forward all uses described in proposal statements associated with and approved under previously issued UPE04-0032 and UPE07-00898, as well as all previously issued building, septic and other permits. Second, the Master Use Permit will harmonize previously approved and newly proposed uses into a single document that includes a project description and site plan that details permitted and proposed structures and their appropriate uses. Third, the Master Use Permit proposes objective performance standards with which to measure and monitor the intensity of uses on the property. Finally, the Master Use Permit augments the existing permits to describe all uses and structures anticipated by Ratna Ling for the reasonably foreseeable future. These changes will still keep operations well within historically authorized impact limits, as measured by the County-approved Timber Hill



Resort use permit issued in 2000, and simply modify existing uses that the County has already deemed to be salutary and appropriate.

Ratna Ling is a Buddhist retreat center and all retreats that are authorized by the Master Use Permit either focus on Buddhist practices or are designed to expose non-Buddhists to Buddhist practices. Every retreat participant is reminded verbally, and in writing, to maintain the sacred environment at Ratna Ling. All retreats include daily meditation sessions and Kum Nye Yoga. Kum Nye Yoga is a gentle Tibetan Yoga practice that focuses on healing and bringing energies together to work smoothly and harmoniously. In keeping with Buddhist requirements, all meals are vegetarian. Every guest cottage contains information about Buddhist practices and every retreat participant has access to the center's library containing an array of books and other resources on the Buddhist traditions and practices.

It is sincerely hoped that the Master Use Permit will constitute a comprehensive planning document that enables both Ratna Ling and the County to administer this special property with greater clarity and efficiency in the years ahead.

### **ENVIRONMENTAL STEWARDSHIP**

The Center is leader in environmental stewardship at the project site. Gene Gretchen, is an internationally recognized leader in environmentally conscious practices and he is the Co-director and Facilities Manager of the Center.<sup>3</sup> Mr. Gretchen has implemented and maintains many environmentally sensitive practices on the project site. The Center only uses non-toxic, vegetable-based ink at its printing presses. Ratna Ling's landscaping is drought tolerant. The Center captures rain water off the roofs of some of its buildings. Almost all faucets and fixtures on the project site are low flow. The Center maintains an on-site organic garden that supplies most of the produce used in the communal kitchen. Ratna Ling's volunteers, guests, and work study participants move about the site by foot, bike or electric golf carts, resulting in insignificant Green House Gas Emissions. The Center uses sustainable green products wherever possible, such as the cork floors in its main conference center building. Retreat participants are also reminded to be mindful of the environment and Ratna Ling's commitment to the best possible environmental practices.

### **COMMUNITY CONTRIBUTIONS**

The Center remains committed to working harmoniously with its neighbors and County officials as it continues its unique and indisputably worthy mission. While remaining true to the spiritual purposes of its projects, which have drawn positive worldwide attention to Sonoma County, the Center has more than distinguished itself by its numerous contributions to the economic welfare of the County as a whole, and by many acts of generosity to the immediate Seaview Ridge community.

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<sup>3</sup> A copy of Mr. Gretchen's CV is attached to this update.

The list of businesses from which Ratna Ling has purchased goods and services includes nearly 200 local vendors spread from nearby Gualala to Sebastopol, Santa Rosa and Petaluma. More than 150 individual Sonoma County residents have been employed by the Center, either directly or indirectly through contractors and sub-contractors, to provide a variety of services. To the maximum extent practicable, Ratna Ling has agreed to give preference to contractors in the Fort-Ross-Seaview area on future construction projects.

The Center will continue to place emphasis on being a good neighbor, as it has in the past. The Center's representatives have met frequently with representatives of the adjacent community to discuss common interests and listen to specific concerns. We pledge to continue that open line of communication and policy of cooperation.

For the benefit of its neighbors, The Center has provided very substantial assistance to the Timber Cove Volunteer Fire Department: donation of a new, high-performance fire truck costing \$280,000; facilitating a controlled burn of an obsolete structure for training purposes; and installing wet draft fire hydrants, in addition to making cash contributions to various TCVFD events. Ratna Ling has also donated a \$10,000 emergency shelter trailer to the Red Cross, and a play room in the local school. The Center developed a 20 cubic acre foot reservoir that, when full, can contribute up to 5.5 million gallons of water to the Ridge for emergency use. And Ratna Ling installed a bicycle water fountain, bike racks and resting stones on a pullout from Hauser Bridge Road for use by passing cyclists.

## HISTORY AND RELIGIOUS PURPOSES

The Ratna Ling Retreat Center is part of a family of Buddhist religious non-profit organizations initiated by Head Lama Tarthang Tulku Rinpoche, a Master Teacher in the Nyingma lineage, the oldest branch of Tibetan Buddhism. The Head Lama fled his native Tibet in 1958, just in advance of the violent repression inflicted on Buddhist practitioners and institutions by the Chinese government in the 1960's, eventually settling in Berkeley, California. There, beginning in 1969, he founded a spiritual community dedicated to preserving and spreading the Dharma, the cumulative body of wisdom teachings and practices begun 2,500 years ago by Shakyamuni Buddha in India, and which further developed in Tibet starting in the 8<sup>th</sup> century.

This spiritual community first established its presence in western Sonoma County in 1975, purchasing property on Tin Barn Road in Cazadero, now known as Odiyan, a monastery and retreat center on which beautiful sacred temples and related structures have been erected. Here are conducted traditional rituals for peace and harmony, with prayer wheels and prayer flags sending the blessings of the tradition into the universe to protect the land and all beings everywhere. The Head Lama is on permanent retreat at Odiyan, which is closed to the public.

In 2003, an opportunity was presented to extend the spiritual purposes of Odiyan by obtaining a nearby parcel of land that could serve as a more accessible Buddhist retreat and teaching center. In that year, the 107-acre Timber Hill property on Hauser Bridge Road, Cazadero, came on the market. The parcel had earlier been used as a private school and, from 1983 to 1997, as a resort/guest ranch. Since 1997 the parcel had been owned by developers who had planned to build and operate a new and much higher-end resort. Significantly, by 2003, the new resort developers had *already* secured from the County a use permit for a commercial operation of a much larger scale than its predecessor, and with far greater environmental impacts than the uses sought by this Master Use Permit. The resort plans included a new 13,000 square foot lodge which had already been built, numerous new structures for guest and staff occupancy, a spa, swimming pool and conference center, as well as a "free-standing pub." Thus, before the Ratna Ling Retreat Center ever came on the scene, the County had long since approved a totally public, for-profit, high-traffic commercial resort operation on the property.

A significant religious practice of the Head Lama's spiritual community since the 1970's has been the printing of sacred texts in the Tibetan language for shipment to Asia and free distribution to Buddhist monks, nuns and lay practitioners whose libraries were destroyed by the Chinese. The printed texts are not merely spiritual books, but are truly works of art produced and illustrated with a refined attention to detail and craft that reflect centuries of tradition. (More details on this unique and world-renowned project are provided below under the heading "Changes Related to Sacred Text Production/Storage.")

### **THE CENTER'S INITIAL PERMITTING**

On August 18, 2004, following extensive submissions, UPE04-0032 was issued and the following month was unanimously approved by a resolution of the Board of Zoning Adjustments. Many of the detailed elements of this first Use Permit will be discussed in subsequent sections of this Proposal Statement. However, the major entitled uses were for "a non-commercial retreat center and monastery" and – in recognition of the integral religious significance of the sacred text production to members of this spiritual community - the construction of "a new 18,750 square foot religious printing facility" described as "non-commercial" and as "an ancillary use to the monastery and non-commercial retreat center." In addition to continued residential use of numerous existing structures, County approval was given to a mediation hall and to the construction of 19 new cottages, a library and conference center, and a healing center/therapeutic pool (essentially continuing the "spa" concept earlier approved for the resort developers). All uses were to be undertaken "in accordance with the proposal statement and site plan" filed as part of the approval process.

Importantly, the resolution approving the Use Permit noted that the proposed construction and operations would not produce significant environmental effects, and a Mitigated Negative Declaration consistent with State and County guidelines was attached and approved. The resolution also noted that the uses were consistent with the intent and

purposes of the Resource and Rural Development (RRD) General Plan designation, and would not "be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood."

On August 3, 2007, in order to modify and supplement the 2004 Use Permit, UPE07-00898 was issued. It allowed the expansion and relocation of the previously approved spa/healing center, now called the Healing Center, and further allowed the addition of a reservoir to the site's water system.

In 2008, in recognition of the acute need for space to store sacred texts, Ratna Ling filed an application to build two large underground storage caves adjacent to a proposed new 800-seat Exhibition Hall. Because of the projected five-year duration of such an elaborate construction project, and in response to concerns voiced by Ratna Ling's neighbors, this application was never pursued. Also in 2008, the Center received zoning approval for four book storage structures, further discussed below under "Changes Related to Sacred Text Production/Storage." Finally, and in the same year, the total size of the Retreat Center's site was increased to approximately 120 acres by the acquisition of a 13.1 acre contiguous unimproved property known as the "Dixie" parcel.

#### **BUILD-OUT TO DATE**

Following issuance of the 2004 Use Permit, and pursuant to several subsequently obtained building permits, new structures have been erected on both the west and east sides of Hauser Bridge Road. (Notably, these high quality structural improvements have been accompanied by the planting of numerous trees, shrubs and flowers in an ongoing effort to integrate the aesthetics of the property with the natural beauty of its surroundings.) A Press Building not visible from the road is located on the west side adjacent to 13 pre-existing and permitted residential structures. On the east side, new buildings include a Meditation Hall, Conference Center and Library, and 13 guest cottages. (The 2004 Use Permit allowed for a total of 20 cottages on the east side, one of which was already built. Thirteen were subsequently constructed. Six have not yet been built.) With County approval, a reservoir with a 6.4 million gallon capacity has been completed. With County zoning approval, construction was begun on a small Residential Care Facility for the Elderly, to be called the Nyingma Senior Center, for eventual occupancy by members of the religious community. Finally, Ratna Ling has put up four book storage facilities comprising the Center's Sacred Text Treasury, two on the west side and two on the east.

As a gesture of good will to some of its Seaview Ridge neighbors who expressed concern about construction-related traffic and noise, the Ratna Ling Retreat Center interrupted its planned schedule of already permitted improvements and initiated a voluntary moratorium on major projects in July 2009. That moratorium is still in effect. During this pause, the Center's leaders have developed a long-term plan for future operations and completion of facilities that it now seeks to have embodied in the Master Use Permit. In order to implement this vision and to deal with certain ambiguities in the

prior documentation, a few changes to the current Use Permits are necessary. Together with all previously permitted uses and structures that we intend to carry forward, we believe the changes now proposed are reasonable additions and modifications to those previously approved uses. They are discussed in the following sections of this submission under the headings "Changes-Related to the Retreat-Operations" and "Changes Related to Sacred Text Production/Storage."

## **CHANGES RELATED TO THE RETREAT OPERATIONS**

As detailed in numerous prior filings with the County, the primary purpose of the Ratna Ling Retreat Center is as a place for retreat, contemplation, meditation and the spread of the Buddhist teachings and practices collectively known as the Dharma. Operation of the Center involves high and recurrent fixed costs, such as utilities, insurance and maintenance, which must be defrayed. Within the constraints of its non-profit structure, Ratna Ling's leaders have determined that the Center must increase its income by increasing the average number of participants per retreat if it is to survive as an economic matter. In 2010, there were 17 retreats conducted with an average number of 14 participants. The proposal statement underlying the 2004 Use Permit projected that by 2011 there could be as many as 120 retreats per year with an average of 25 participants. But to accommodate higher-than-average attendance in peak retreat periods, the Center has concluded that it must plan for a modest increase in its housing facilities, for which there is amply demonstrated water and septic capacity; and it must seek related clarifications to the existing approved uses. Thus, all of the changes proposed in this section are designed to facilitate an emphasis on a more productive retreat function while staying below impact levels previously approved for the Timber Hill resort operation that preceded Ratna Ling.

**1. Construction of One Additional Residential Building to House 12 Occupants.** The 2008 acquisition of the 13.1 acre unimproved "Dixie" parcel makes available land with verified water and septic capacity, creating the potential for an increase in Ratna Ling's residential capacity. This increase is needed for two reasons. The first is to accommodate an expanded retreat operation so that higher income can be generated from an increased number of participants per retreat. Second, the long-time members of Ratna Ling's extended spiritual community are an aging group. Many have the desire to spend their retirement years living and working as volunteer residents supporting and participating in the Center's religious activities. It is therefore proposed to build a small, 6 bedroom residence facility that could accommodate up to 12 occupants on the "Dixie" parcel.

**2. Permission to Erect Up to Eight Tent Structures on a Seasonal Basis Consistent with Campground Designation to House Up to Three Occupants Each.** It is possible that peak occupancy for a successfully expanded retreat operation could occur at a time of year that coincides with the need to house a number of volunteers needed to support peak production periods for the sacred text activity. While it is not certain that the need for on-site housing in temporary seasonal structures will ever arise,

the Center wishes to anticipate this eventuality in the summer months by securing appropriate permission in this Master Use Permit.

**3. Maximum Site Occupancy and Flexible Use of Existing and Future Housing:** Paragraph 39 of the 2004 Use Permit specifies: "Maximum occupancy shall be 27 persons occupying the long-term resident housing and 40 persons occupying the cabins at the retreat center, for a maximum of 67 persons in site at any one time." But paragraph 38 contains this statement: "Nine existing cabins and two existing single family dwellings located on the west side of Hauser Bridge Road shall be used to house long-term residents." While this language doesn't expressly prohibit occupancy of the 11 existing structures by persons other than long-term residents, it might be interpreted that way and thus should be clarified. Ratna Ling's goals are to raise the occupancy number to a maximum of 98 people per night for six months and a maximum number of 122 people per night for six months; and also to modify the current language to make it clear that long-term residents (staff) and retreatants alike can occupy any of the residential facilities in accord with shifting seasonal needs, new programs, and the realities of work and retreat within the community. Ratna Ling has determined that this higher occupancy level is not only needed for retreatants, but for the volunteers required to carry out the cooking, cleaning and administrative functions to support the retreat activity.

With respect to the use of the residential facilities by staff and retreatants without distinction, the confusion in the present wording was probably unintentionally caused by residential distinctions made in the proposal statement underlying the 2004 Use Permit. That proposal closely tracked the prior categories and numbers for "staff" and "guests" used by the Timber Hill resort developers, generally projecting residency for Ratna Ling volunteers (those who would support retreat operations and sacred text publishing) in the old cabins on the west side, and retreat guests in new cottages on the east side of the property. Experience since the Center began operations has shown that these distinctions are both meaningless and unnecessary. Many resident volunteers, including some who work at the press, also participate in retreat activities; and many retreatants also choose to devote time to the religious practice of working on the sacred text production; in fact, this activity, which has deep religious significance, is in many cases integrated into their retreats. Thus, the categories of "staff" and "retreatant" are fluid, and change from time to time for specific individuals and for different retreats. Further, there are times in the year when press activity is limited, so that space could be made available in the older cabins to house over-flow retreatants if the newer cottages have been filled. Such residential flexibility would assist the Center in achieving its economic goal to increase the average number of participants per retreat and accomplish the spiritual objective of further spreading the Dharma. So long as total site occupancy does not exceed a revised maximum number, and all other use restrictions are observed, it should not matter *who* (long-term residents, retreat visitors or other visitors) occupies *which* residential facilities (cabins, cottages or additional structures the Center wishes to build).

Therefore, the proposal is to raise maximum site occupancy to 98 people per night for six months and 122 people per night for six months, no more than 40 of which shall be "long-term residents" spending more than 6 consecutive months living on the

property. Long-term residents and retreat visitors may occupy any of the residential facilities.

**4. Non-Textual Sacred Art Projects.** The 2004 proposal statement did not clarify the need for a separate use related to art objects other than texts, but there were several references to such activity in both the proposal statement and staff report. Non-textual art, including prayer wheels, art prints and sacred art generally were all mentioned in relation to the press operation. In the Buddhist tradition, it is a cherished religious practice to make such items as thankas (a sacred art form which combines painting and textiles), malas (strings of prayer beads similar to rosaries), prayer flags, meditation cushions and similar items for devotion and practice. Such art projects could be carried on by retreatants, as well as by staff volunteers during times of the year when they are not completely engaged by other responsibilities. Like the sacred texts, the vast majority of such objects produced would be donated and used internally within the related Buddhist organizations.

The proposal is to expressly permit the activity of making non-textual sacred art objects at Ratna Ling.

**5. Nyingma Senior Center.** Construction of the planned 6-bed unit for elderly members of the spiritual community was allowable under applicable zoning regulations without a Use Permit. Sonoma County Code, Chapter 26-10-010(p). After obtaining other necessary permits, the foundation and preliminary framing for this structure were completed, at which point the voluntary moratorium on construction was initiated in 2009. While it does not appear that a use permit is necessary for the completion of the Senior Center, such use is referenced in this Master Use Permit application so that, in the future, a single document may be referred to identifying all uses permitted on site.

**6. Aggregation of per-unit square footage storage capacity.** Under exemptions in the Building Code, Ratna Ling understands it is allowed to erect a 120 square foot storage structure for each of the 34 currently approved residences without obtaining additional permits. The Center wishes to have flexibility in planning the size and location of what it calculates as a total allowable 4,080 square feet of storage capacity, only a portion of which has yet been utilized. Rather than proliferate many small structures, the Center seeks the right to opt to utilize this total allowable capacity by constructing fewer but larger residential storage buildings, both as shown on the accompanying Site Plan (as Potential Storage Buildings) and as may be sought by future building permit applications. These storage structures will be used for equipment and supplies, and not for sacred texts.

## CHANGES RELATED TO SACRED TEXT PRODUCTION/STORAGE

In the Tibetan Nyingma Buddhist tradition embraced by the Ratna Ling community, the copying and disseminating of sacred writings has been a central religious practice since the 8<sup>th</sup> century. After the advent of the printing press in Tibet, facilities to reproduce these texts were almost exclusively developed at Buddhist monasteries and retreat centers where the books could be cared for at all stages of production within a sacred environment. The savage destruction of an estimated 6,000 monasteries, retreat centers and temples during the Cultural Revolution of the 1960's had a devastating effect on these facilities and on Tibetan libraries. By a conservative estimate, 90% of Tibet's written heritage was lost.

Like other refugees who fled this oppression, Head Lama Tarthang Tulku's priority was to preserve and restore this crippled tradition by taking advantage of religious freedoms afforded in the West. He founded Dharma Publishing in Berkeley in the 1970's to begin the enormous task of printing, shipping and distributing free of charge to Buddhists in Asia the treasured works in the Tibetan language that had been destroyed. In 1989, he sponsored what has become an annual World Peace Ceremony in Bodhi Gaya, India, the place of the Buddha's enlightenment to which over 10,000 monks, nuns and lay practitioners now come from all parts of Asia to receive the sacred texts. When the Ratna Ling Retreat Center was established with the support of Sonoma County officials as an annex to Odiyan in 2004, he realized his dream of uniting the teaching and practice functions of a monastery, retreat center and sacred text production facility, consistent with the traditional religious practices of Tibetan Buddhism.

There are several significant reasons why it is necessary to seek changes in the 2004 Use Permit's terms as they affect the printing and storage of the texts produced at Ratna Ling. First, as interpreted by the County, the Use Permit sets specific limits on the number of religious books that can be produced at Ratna Ling. Second, the number of book requests from monasteries in Tibet and other parts of Asia has increased dramatically in recent years. To those who yearn for the replenishment of their libraries, the religious publication practice of Ratna Ling's volunteer community produces the only available free source of important sacred collections. Demand has thus grown well beyond earlier estimates. Third, the ever-changing political climate in Tibet, marked by periodic demonstrations and Chinese government crackdowns, often makes it impossible to ship and distribute completed texts contemporaneously with production. Instead, they must be stored until conditions in Tibet relax. And finally, TNMC's 2006 elimination of duplicative printing facilities in Berkeley, and the consolidation of the publication activity at Ratna Ling as discussed in the 2004 proposal statements, made possible not only the uniting of all members of the spiritual community devoted to this unique project, but also a more efficient production process to meet the increased demand.

### **1. Changes in the County's Articulation of Limits on Press Production.**

The 2004 Use Permit listing of conditions contained no specific numerical expression of a limit on press output. It simply approved a "non-commercial printing press facility" that would be "ancillary" to the retreat operation. The press has been operated in exactly



this manner. Then and now the Center's primary goal of spreading the Dharma through the teaching function of the retreats has been linked to the ancillary and spiritually-motivated work practice of supporting the press. The vast majority, well over 90%, of the press output, is given away free of charge, so the publication activity is unquestionably non-commercial and religious in character.

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The Use Permit's approval of "a new 18,750-square-foot religious printing facility" was generally made subject to the condition that the "use shall be operated in accordance with the proposal statement" submitted by TNMC's representatives. Based on then-current conditions, the proposal statement contained an estimate that production of books and art would amount to "a little under 100,000 per year." (It also noted the Center's intention to move to Ratna Ling its Berkeley-based printing operations and staff at some point in the future.) From the time press activity began in the new facility, Ratna Ling did not view this earlier 100,000 book output estimate as a condition of the Use Permit setting a limit on production. For reasons of demand cited earlier, production has in certain periods exceeded that annual figure. Because Ratna Ling now understands that the County views the 2004 Use Permit as settling a numerical limit, an important goal of this Master Use Permit application is to resolve this issue by establishing a sensible but sensitive impact metric as the single measure of annual press output.

Using any number of "books" as a standard is itself a source of confusion, because a single volume can range from a few pages to thousands. And, in the Tibetan tradition a single book in some cases is a bound set of what others might call separate volumes of widely varying length. Instead, the proposal is to condition the press use only on the objectively verifiable standard of an average of no more than 1 truck round trip per day on an average annual basis related to the press operation. This figure includes trips necessary to bring in paper and other supplies, as well as trips to transport finished texts out for shipment abroad. Moreover, in contrast to the projections used in the approved 2004 proposal statement, the current proposal of 1 truck round trip per day contemplates trucks only 24 feet in length instead of 40 feet, with a consequent reduction in noise and road impact. This volume of truck traffic is a small fraction of the previously approved auto traffic volumes associated with the retreat function.

Concerning other possible impacts from press operations, there essentially are none. The press building is located on a sufficiently lower elevation that it *cannot be seen* from Hauser Bridge Road nor from any neighboring properties. And the operation of its modern equipment *cannot be heard* from off the Center's property; indeed it cannot even be heard from most residential locations on the Ratna Ling property itself.

After studying the efficiencies achieved by consolidation of press functions at Ratna Ling, including necessary truck traffic flows, Ratna Ling is satisfied that it can meet the fluctuating demands for the sacred texts and still operate within this reasonable annual average of 1 truck (2 trips) per day as a measure of impact. From a land use standpoint, this is the single meaningful way to limit press production. The uncertainties associated with the "book count" method should be eliminated.

Moreover, and provided that all uses sought by this Master Use Permit Application are approved, Ratna Ling proposes that those portions of the use permit authorizing the operation of a printing facility for production of sacred texts and other works of art shall terminate in the event that the property subject to this use permit is conveyed to a third party not affiliated with the traditions and practices of Tibetan Buddhism. In the event of such a sale, Ratna Ling will dismantle and remove the printing equipment prior to conveying the property.

**2. Text Storage.** The 2004 Use Permit does not address what intervening experience has revealed as an acute need, a place where partially and fully completed texts can be safely stored and ceremonially respected by daily religious ritual in keeping with the Tibetan Nyingma Buddhist tradition. Shifting demands for certain collections, complicated by periodic political pressures in Tibet, have made it necessary on an ongoing basis to retain quantities of partially completed books, while more urgently needed volumes are coming off the presses. The difficulty of predicting future political realities in Tibet makes it imprudent to predict that Ratna Ling can ever achieve a perfect match between press output and relatively prompt shipment abroad.

As earlier noted, construction of massive underground caves for storage, proposed in 2008, has been determined to be too disruptive of the neighborhood to pursue. Currently, books are stored on-site in a Sacred Text Treasury comprised of four structures with a combined square footage of 39,270 square feet, authorized by permits BLD08-1067, -1188, -2124 and -3658. Storage is accomplished in a religiously prescribed manner with sophisticated equipment assuring climate control. Daily prayer and chanting by members of the spiritual community take place in these storage structures which, like the press building itself, are generally not visible from the road or neighboring properties.

Because of a predictably continuing need for storage at current levels, the proposal is that the Master Use Permit recognize a storage use of not to exceed 39,270 square feet.

**3. Press Building Occupancy.** The 2004 Use Permit states that “maximum occupancy for the non-commercial printing press facility is 27 persons.” This limitation was in part clearly tied to the identical limit expressed for occupancy of the older existing cabins described as “long-term resident housing.” But as previously explained, the numerical sub-limits on staff residents and temporary retreat-attending residents are not realistic. And the number 27 places an artificial constraint on some manual finishing tasks in the text production process, as, for instance, when folding and wrapping take place. Under the current restriction, it has become necessary to move texts out of the press building (sometimes in bad weather) to other locations so volunteers (including some from the Seaview Ridge community) and retreatants in excess of the numerical limit can finish the pre-shipment work. If the requested truck traffic impact metric for press output is approved, there is no remaining reason to place an artificial cap on the number occupying the press building, other than the “occupancy load” limit mandated by fire regulations.

The proposal is that the current limit of 27 persons be eliminated and replaced by fire regulation requirements.

**Existing Physical Condition**

Uses and Structures - The current uses on the Ratna Ling parcels are a retreat center, a religious printing press, volunteer or work study housing, guest housing, a conference center that consists of a communal kitchen and dining room, offices for volunteers and work study participants, a meditation hall, a library, and a classroom facility. In addition to the conference center, there are 14 guest cottages; nine cabins; one commons; four single-family dwellings; 17 storage buildings; four Sacred Text Treasuries; a printing press building; a partially constructed Senior Center; and various remnant buildings, wells, water tanks, and pump houses. Almost all of the structures on the project site are connected by asphalt paths sized for electric golf carts. These are not full sized roads. Staff, volunteers, and guests all park in the main parking lot and use the golf carts, bicycles or walk to get around the site.

There are also eight wooden tent platforms in the southwest corner of the Ratna Ling property. The platforms are connected by existing dirt paths, approximately five feet wide and have existing infrastructure, such as water and electricity.

Traffic - The retreat center currently has 25 volunteers and 1,381 retreat participants per year with the accompanying traffic.

Water Supply - Currently, the Center's water demand is 4.26 AF/year, but only 1.79 AF/year of groundwater is used to meet this demand. This demand is supplied as follows:

1.79 AF/year	groundwater from wells
<u>2.47 AF/year</u>	<u>Treated surface water from the existing reservoir</u>
<b>4.26 AF/year</b>	<b>Total current water demand</b>

These amounts are not projections; they are based on actual water use at the retreat facility during the last four years.

\* \* \*

## Proposed Project

The proposed project will result in almost no new County-approved construction. In an abundance of caution, the applicant is asking the County to analyze the environmental impacts of five new guest cottages; the conversion and expansion of an existing storage structure to a guest cottage, one six-bedroom residential dwelling unit, a healing center, a partially-existing campground area, and a partially-constructed senior center. All of these items except for the campground and the six-bedroom single family dwelling are authorized by prior permits and the applicant has a vested right to construct them.

General Plan Consistency Discussion - In 1989, the now superseded Sonoma County General Plan was adopted. The Ratna Ling site was given a Resources and Rural Development (RRD) land use designation by the 1989 plan. Section 2.8.1 of the 1989 plan listed as permitted uses in the RRD land use category "public and private schools and churches." It also allowed "lodging, campgrounds and similar recreational and visitor serving uses" provided that such uses did not run afoul of the primary purpose of the RRD District to protect resource areas.

On September 9, 2004, the Sonoma County Board of Zoning Adjustments adopted a resolution approving UPE 04-0032. The major entitled uses approved by UPE 04-0032 included "a non-commercial retreat center and monastery" and, in recognition of the integral religious significance of the Sacred Text production to members of the Ratna Ling spiritual community, the construction of "a new 18,750 square foot religious printing facility" described as "non-commercial" and as "an ancillary use to the monastery and non-commercial retreat center." The findings in the September 9, 2004, resolution, included, among other things, that the proposed use was consistent with the RRD land use designation and applicable zoning district regulations and that the proposed use would not be detrimental to the health, safety, peace, comfort and general welfare of persons or property in the area.

On September 23, 2008, the now effective Sonoma County General Plan 2020 was adopted. The Natural Resource Land Use Policies are set forth in Section 2.7 of the 2020 Plan. Permitted RRD uses carried forward from the 1989 General Plan include "public and private schools" and "places of religious worship." The RRD land use designation continues to allow "lodging, campgrounds and similar recreation and visitor serving uses" so long as they do not run afoul of the primary purposes of the RRD Zoning District to protect resource lands. The uses sought pursuant to this Master Use Permit are minor clarifications and modest expansions of the previously approved uses, all of which have been found by the County to be consistent with both the RRD General Plan land use designation and RRD implementing zoning regulations. The uses of the Ratna Ling site for religious practice, the housing of individuals associated with that practice, and the ancillary printing of Sacred Texts which are an integral part of the Ratna Ling Buddhist religious practice are acceptable uses in the RRD General Plan land use category. The modest requested additions to existing and previously approved uses do not pose a threat to the resource values of the site.

Revised Occupancy – As revised, the proposed occupancy fluctuates seasonally. This project description reduces overall the applicant's prior requests for occupancy, for volunteers and retreat participants. The applicant requests a maximum occupancy limit of 98 people per night for six months and 122 people per night for six months, as follows:

December, January & February: an average of 67 people

~~March, April & May: an average of 70 people~~

June, July & August: an average of 110 people

September: an average of 90 people

October and November: an average of 70 people

New Structures -As is set forth above, the only new, not yet permitted construction is the six-bedroom residential dwelling unit and four new storage buildings. In an abundance of caution, the Center is including construction of five new cottages and the conversion and expansion of a storage structure to be Cottage 20 in the Master Use Permit, even though construction of these structures is already protected by a vested right. Cottage 20 has been relocated in order to move it farther away from a drainage way. The infrastructure for the residential dwelling unit will be placed within the existing driveway that goes from Hauser Bridge Road to the site for the residential dwelling unit. Other new construction includes the Healing Center and completion of the previously approved and partially-constructed Senior Center, which are also already authorized by a vested right. Infrastructure for these structures already exists.

Biotics - According to the Project biologist,<sup>4</sup> the Master Use Permit will not have any impact on biotics. Construction of the previously-approved Healing Center, for which the applicant has a vested right, will result in the removal of one Oak tree and three Bay trees.

Fire – The applicant met on-site with County staff to confirm that the proposed project complies with all fire laws and regulations.<sup>5</sup> During an on-site meeting with Roberta MacIntyre, the County's Fire Marshal, with Zippy Singer, the captain of the local volunteer fire protection district, present,<sup>6</sup> Ratna Ling agreed to comply with every single recommendation from the County Marshal.

Traffic - The Master Use Permit will not substantially increase existing traffic. Retreat participants arrive by car – many carpool – and upon arrival, park their cars in the designated lot and walk or ride bikes to get around the project site and typically do not drive again until the end of the retreat, when the participant leaves the Center. Based on the current operations, the traffic consultant concluded that the proposed project will only generate an additional 38 trips per day. Since Ratna Ling is now reducing its occupancy

<sup>4</sup> Letter from Ted Winfield, Ph.D., dated March 13, 2013.

<sup>5</sup> As with most Fire Protection Districts in Sonoma County, the TCFPD, which is a special district comprised entirely of volunteers, contracts with the Sonoma County Department of Emergency Services to review plans and conduct inspections. The Department of Emergency Services has full time, trained staff members and space in PRMD to meet with the public to perform these obligations.

<sup>6</sup> In their personal capacities, Mr. Singer and his wife actively oppose the Master Use Permit Application.

to fluctuate seasonally, the occupancy and concomitantly traffic numbers, will be even lower than what was evaluated in the traffic analysis. Even without considering the new, lower, and seasonal occupancy, the consultant noted this is likely an *overestimate* of actual trips.<sup>7</sup> Thus, the traffic analysis is extraordinarily conservative. The applicant's traffic consultant also concluded that retreat participants arriving on Fridays and leaving on Sundays will not substantially impact traffic on Hauser Bridge Road.<sup>8</sup> The Master Use Permit will limit truck trips, for transportation of the Sacred Texts, to one truck (two trips) per day. Additionally, traffic would be further reduced by Ratna Ling's commitment to utilize local contractors where practicable. Sonoma County's Department of Transportation reviewed the applicant's earlier statements and concluded that one truck/two truck trips per day will not adversely impact road quality.

Water Supply - With the Master Use Permit, the water demand will increase from 4.26 AF/year to 6.29 AF/year. This is an increase of 2.03 AF/year. The increased demand will be met exclusively with rain water captured in or on the banks of the existing, clay-lined reservoir and water that is collected from building roofs. Since the Master Use Permit will not change the amount of groundwater the Center uses, there is no change in groundwater consumption. Nevertheless and since groundwater will be used to partially supply the final operation, the applicant's consultant, EBA Engineering, prepared a Groundwater Availability Study<sup>9</sup> in accordance Sonoma County General Policy WR-2e. This study analyzed the reservoir's recharge and concluded that, with the increased water use, the reservoir's water balance is neutral and there is adequate water to supply the structures and uses allowed by the Master Use Permit. However, as a good neighbor practice, the applicant is volunteering for the following condition of approval:

In the event of a drought year, the applicant shall proportionally reduce its occupancy to correspond to the reduced rainfall. For purposes of this condition "drought year" shall mean that there is less than 18" of rainfall for the entire rainy season, as the rainfall is measured on the project site on March 1 of each year. The applicant may install its own rain meter or may hire a consultant to measure the rainfall. In the event that there is less than 18" of rainfall on March 1, the applicant shall do all of the following: (i) reduce water used to supply landscaping and all other non-domestic uses and (ii) have a qualified person, as determined by PRMD, calculate proportionally reduced occupancy rates based on the amount of water available after the applicant reduces the water demand for non-domestic uses. The applicant shall adhere to the qualified person's reduced occupancy recommendations.

<sup>7</sup> W-Trans Traffic Study, dated July 29, 2011, p. 2.

<sup>8</sup> W-Trans Traffic Study, dated January 10, 2013.

<sup>9</sup> Geologic Groundwater Report for General Plan Policy WR-2e, prepared by Mike Delmanowski at EBA Engineering, dated March 26, 2013.

Even though the water balance for the increased reservoir uses is neutral and this condition of approval is not essential, the applicant volunteers it as a good neighbor practice.

### CHANGES TO THE PHYSICAL CONDITION

The proposed project will result in the following changes to the existing physical condition:

- A. Physical Structures – the project proposes the following new structures:
1. *Six Bedroom Dwelling/Residence* - a 3,000 square foot retreat house on 36000 Hauser Bridge Road (a separate legal parcel) at a disturbed site that used to have four or five trailers on it. The building pad, driveway, gate, and utilities all exist. The only physical changes are installing additional utilities, which will run down the existing driveway, installing septic, and constructing the house.
  2. *Senior Center* – Ratna Ling has a vested right to finish the partially constructed senior center, which is approximately 5,900 square feet. The foundation, driveway, parking, and major structural supports all exist. The Master Use Permit application includes completing this structure.
  3. *Guest Cottages* – Ratna Ling also has a vested right to construct five new cottages - cottages 11, 12, 13 and 14, and to convert and expand an existing storage building into Cottage 20. Cottage 11 will be located in a disturbed area. As previously mentioned, Cottage 20 has been relocated to move it farther away from a drainage way. Each cottage is approximately 1,010 square feet, for a total of 5,050 square feet in new cottage construction.
  4. *Healing Center* – the previously approved healing center would be constructed under the Master Use Permit and will be 9,900 square feet. This will result in the removal of one Oak Tree and three Bay Trees. Even though it is not necessary, the applicant is volunteering to plant 12 replacement trees. Utilities will be placed in the existing asphalt path.
  5. *Campground/Tents* – the Master Use Permit includes eight seasonal tents to be used from May to October. These tents will be re-installed on existing wood platforms and will be served by existing infrastructure and dirt paths that are roughly five feet wide.
- B. Uses – The Master Use Permit will increase the occupancy limits for the printing press building from 27 to whatever is permitted by Chapter 13 of the Sonoma County Code, which incorporates the California Fire Code by reference. The Master Use Permit will also change the temporary status of the four existing Sacred Text Storage Buildings to permanent, but there will be no physical

changes to any of these structures. Ratna Ling proposes that those portions of the use permit authorizing the operation of a printing facility for production of sacred texts and other works of art shall terminate in the event that the project site is conveyed to a third party not affiliated with the traditions and practices of Tibetan Buddhism. In the event this type of conveyance, Ratna Ling will dismantle and remove the printing equipment.

- C. Water Supply – There will be no change to groundwater use. The proposed project will increase use of water in the existing, clay-lined reservoir by 2.03 AF/year. The only water used to replenish the reservoir will be rain that falls directly on the surface or banks of the reservoir and rainwater captured from roofs. EBA Engineering evaluated the water supply and demand and concluded that, even with the increased demand, the recharge for the reservoir is neutral and will provide adequate water for the propose project. Although it is not necessary, the applicant volunteered for a condition of approval restricting occupancy during drought years.

Attachments:

1. W-Trans letter dated January 10, 2013
2. EBA Engineering Geologic Report for General Plan Policy WR-2e/Groundwater Supply Analysis dated March 26, 2013
3. EBA Engineering letter dated March 26, 2013, responding to the Kamman comment letter
4. Ted Winfield & Associates letter and report dated March 13, 2013, updating Biotics Information
5. CV for Gene Gretchen, Site Manager for Ratna Ling
6. Updated Site Plan dated March 26, 2013



# GENE GRETCHEN

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## RECOGNIZED ENVIRONMENTAL EXPERTISE

### **MAJOR AWARDS:**

- 2002 European Union Awards for the Environment, Management Award for Sustainable Development, presented by Ms. M. Wallstrom, EU Commissioner for the Environment
- 2001 Malta Environmental Award for Sustainable Development, presented by the Minister for the Environment
- 1997 US EPA Stratospheric Ozone Protection Award, presented by Al Gore

### **EXPERIENCE:**

- 2008-2009 Group VP, STMicroelectronics Corporate Headquarters  
Managed environmental groups for 7 plants in 3 continents, all of which won their respective countries' highest environmental awards
- 2007-2008 Managing Director, STMicroelectronics,  
Muar, Malaysia  
7500 employees
- 1993-2007 Managing Director, STMicroelectronics  
Malta  
2400 employees
- 1980-1993 Managing Director, TAG Semiconductors,  
Philippines  
600 employees

### **ENVIRONMENTAL ACHIEVEMENTS IN MALTA:**

Reduced water consumption by 90%, recycled ratio over 80%

Reduced land fill from 7 tons per day to 0

Reduced hazardous waste by 90%

Eliminated all Class 1 and 2 hazardous chemicals from production process

Eliminated all Class 1 ODS from production

Recycling of all paper products

Reduced energy usage by 5% per year

Planted over 10,000 trees

Spurred enactment of environmental legislation in Malta; up to 1993, there was neither environmental legislation nor a Minister for the Environment.

**SPEAKING ENGAGEMENTS:**

2005 Malta	International Semiconductor Environmental Safety and Health Conference (Sponsor and speaker)
1999 Williamsburg, VA	International Semiconductor Environmental Safety and Health Conference
1998 Paris	European Foundation of Quality Management
Multiple Years San Francisco, CA	SEMI West
Multiple Years Europe	SEMI Europe
Multiple Years University of Malta	Guest Lecturer, Corporate Social Responsibility

**BOARD MEMBERSHIP:**

Malta Council for Science and Technology

STMicroelectronics Corporate Steering Committee for Corporate Social Responsibility

Malta Federation of Industry

**CERTIFICATES:**

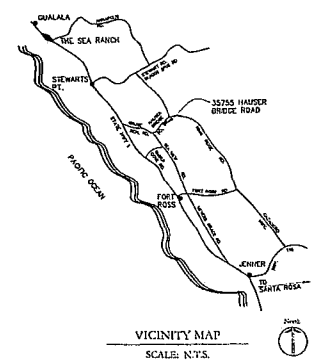
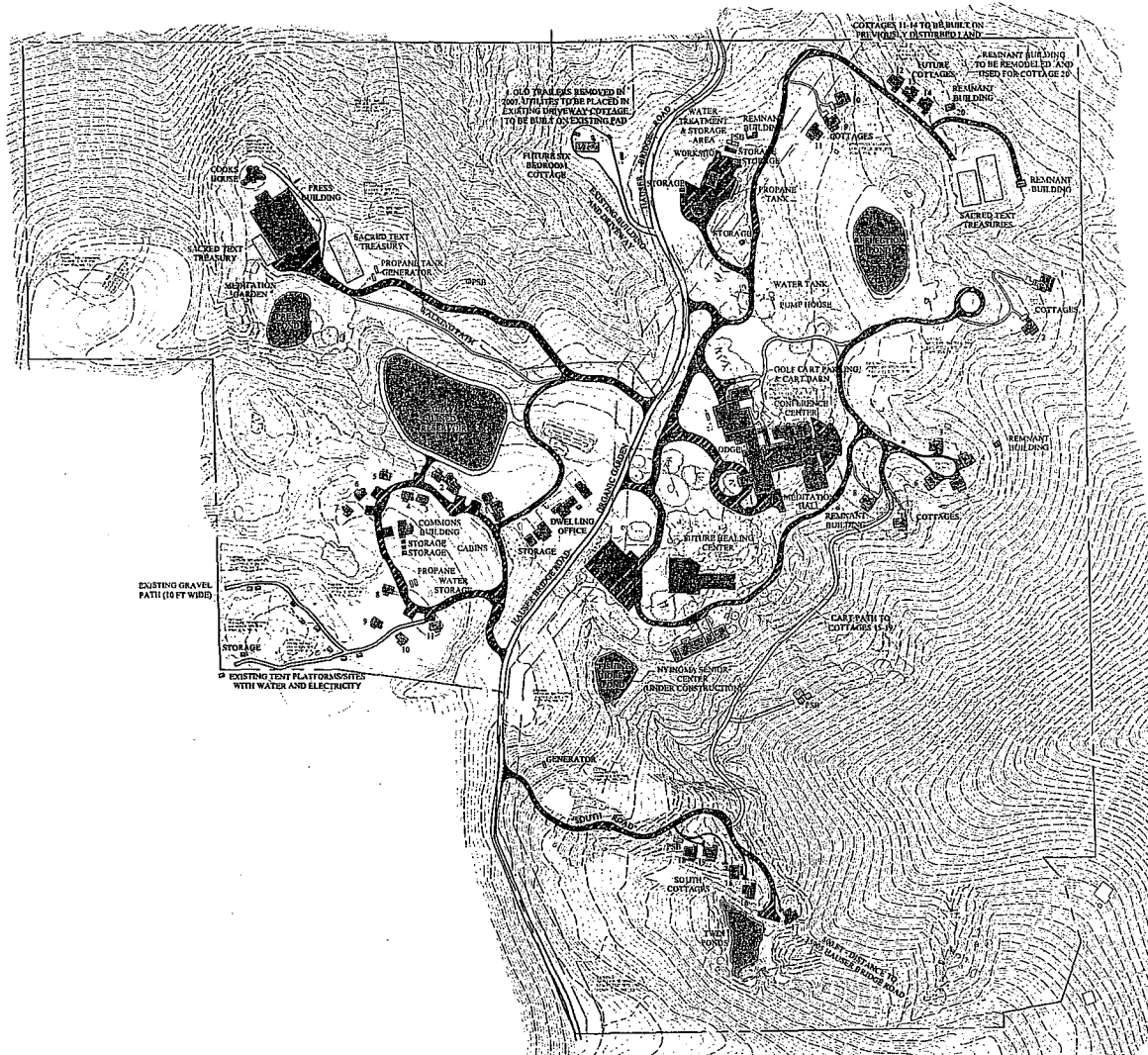
ECO-Management and Audit Scheme (EMAS) 1995  
First Semiconductor facility in the world to be EMAS certified








ISO 14001 International Standard for Environmental Protection

**EDUCATION:**

BACHELOR OF SCIENCE, Industrial Technology, California State University at San Luis Obispo

Numerous Continuing Education Courses on Environmental and Quality Management



- LEGEND**
-  EXISTING ROAD / DRIVEWAY (8 FT TYPICAL)
  -  EXISTING STRUCTURE
  -  PERMITTED NOT YET BUILT PER VESTED RIGHTS
  -  EXISTING BUILDING TO BE DEMOLISHED PERMANENT PER USE PERMIT
  -  STRUCTURE CURRENTLY UNDER CONSTRUCTION PER VESTED RIGHTS
  -  PROPOSED STRUCTURE
  -  PSB POTENTIAL STORAGE BUILDING
- NOTES:**
- ALL NEW CONSTRUCTION ON DISTURBED LAND EXCEPT HEALING CENTER (VESTED) SHARED UTILITIES WITH SENIOR CENTER.
  - PONDS FOR ORNAMENTAL USE EXCEPT FOR FIRE SUPPRESSION.

**SITE PLAN  
MASTER USE PERMIT**

CLIENT: HEAD LAMA OF TIBETAN  
NYINGMAPA MEDITATION CENTER

DATE: MAY 23, 2013



RATNA LING RETREAT CENTER  
CAZADERO, CALIFORNIA

**SHERWOOD**  
Design Engineers  
One Marina Street  
San Francisco, CA 94111  
(415) 777-7300  
(415) 777-7301  
www.sherwoodeng.com



# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

### MEMO

**Date:** April 9, 2012  
**To:** Cynthia Demidovich  
**From:** Ben Neuman, Manager Building and Safety Division  
**Subject:** Ratna Ling Temporary Tents – UPE08-0016  
35755 Hauser Bridge Rd.

The question has been raised whether or not the existing tent structures built under permit and inspection will be required to meet requirements contained within the 2010 California Building Code and wildfire exposure provisions as identified in Chapter 7A.

Short answer: The subject structures need only comply with the code and regulations in effect at the time of permit application and need not comply with Chapter 7A.

Long answer: Section 1.1.9 of the California Building Code states that only those standards approved by the California Building Standards Commission that are effective at the time an application for a building permit is submitted shall apply to the plans and specifications for, and to the construction performed under, that permit.

Section 102.6 of the California Building Code states that legal occupancy of any existing structures shall be permitted to continue without change, except as specifically covered in this (building) code.

Chapter 7A of the California Building Code became effective via emergency ratification on June 21, 2006 and applied to the permits submitted after that date. Section 705A contained within the emergency regulations allowed each jurisdiction the ability to determine whether or not the requirements of Chapter 7A would apply to ancillary buildings and structures. In this case, PRMD determined the subject structures need not comply with Chapter 7A. Of note, this section was rewritten as Section 710A in the 2010 California Building Code and required compliance with Chapter 7A. The 2010 California Building Code became effective on January 3, 2011, long after the subject structures were permitted and built.

Building permit applications were submitted between March and August 2008 for the subject structures. Neither the use, nor size of the structures have changed, or is proposed to be changed. The subject structures met the standards for a permanent structure and no accommodation was provided for temporary use. The change from temporary to permanent status is not considered a change of occupancy. The structures need only comply with the code in effect at the time of permit application. There is no justification to impose the more restrictive requirements of the 2010 California Building Code.

S:\CODE\_ENF\2008\UPE\UPE08-0016.doc

## Cynthia Demidovich

---

**From:** Roberta MacIntyre  
**Sent:** Friday, May 18, 2012 3:22 PM  
**To:** Ben Neuman  
**Cc:** DeWayne Starnes; Cynthia Demidovich  
**Subject:** Ratna Ling  
**Attachments:** Isd-HelpDesk@sonoma-county.org\_20120518\_143632.pdf

Ben,

I am not sure if it matters but I finally had time to digest your findings of the memo (attached) regarding the fire resistance of the membrane structures at the Ratna-Ling Site. It appears that the code in place at the time of construction *did not* yet have the wildland-urban interface construction requirements in place, but those came in at a later date (see 2007 CBC Page 237, & 2007 CBC Page 237 January 1, 2009 Supplement – attached). Therefore, the building(s), if constructed prior to January 1, 2009, meet the construction requirements in place at the time of construction.

Respectfully,

**Roberta MacIntyre, Fire Marshal**  
**Sonoma County Fire & Emergency Services Department**  
**Fire Prevention Division**  
**2300 County Center Drive - Suite 221-A, Santa Rosa CA, 95403**  
**(707) 565-1154**



Attorney-client communication/Privileged and confidential

~~Confidentiality Statement~~

The confidential information in this communication is intended for the use of the addressee only (or by others who have been authorized to receive it). This communication may contain information that is subject to the attorney/client privilege, and exempt from disclosure under applicable law. If you are not the intended recipient, or if you are not the agent responsible for delivering this transmittal to the intended recipient, you are hereby notified that any dissemination, distribution or reproduction of this communication is prohibited. If you have received this communication in error, please notify the sender immediately by email, by telephone at (707) 565-1154 or by facsimile at (707) 565-1172, and destroy all copies of this communication. Thank you.

LAW OFFICES OF  
CLEMENT, FITZPATRICK & KENWORTHY  
INCORPORATED  
3333 MENDOCINO AVENUE, SUITE 200  
SANTA ROSA, CALIFORNIA 95403  
FAX: 707 546-1360

TELEPHONE: (707) 523-1181

STEPHEN K. BUTLER

July 9, 2013

*VIA EMAIL*

[Cynthia.demidovich@sonoma-county.org](mailto:Cynthia.demidovich@sonoma-county.org)

Cynthia Demidovich  
Sonoma County PRMD  
2550 Ventura Avenue  
Santa Rosa, CA 95403

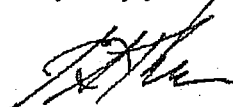
Re: *Ratna Ling Master Use Permit Application*  
*PLP 08-0021*

Dear Ms. Demidovich:

The purpose of this letter is to amend the applicant's March 26, 2013 Project Proposal. The applicant respectfully requests that it be allowed to modify its March 26, 2013 Project Proposal by reducing the size of the 6-bedroom dwelling on the "Dixie Parcel" from 6 bedrooms to 5 bedrooms. Additionally attached are the perc test reports showing that the soils on the Dixie Parcel are suitable for a 5-bedroom dwelling.

Please feel free to call me at 707-523-1181, if you have any questions about this letter. Please note that all other aspects of the March 26, 2013 Project Proposal will remain in full force and effect.

Very truly yours,



STEPHEN K. BUTLER

TW/pd  
attachments  
c(w/attachments): client

Tina Wallis  
Supervisor Efren Carrillo

EXHIBIT M



**FILE COPY**

ANALYSIS  
PLANNING  
SURVEYING  
ENGINEERING

2952 Mendocino Avenue, Suite C  
Santa Rosa, California 95403

(Office) 707-578-3433  
(Fax) 707-526-3433

November 11, 2008

County of Sonoma  
Department of Permit and Resource Management  
2550 Ventura Ave.  
Santa Rosa, CA 95403

Attn: Ms. Tracey FitzGerald, R.E.H.S.

Subject            Percolation Test Report - Supplemental  
Worksite         36000 Hauser Bridge Road, Cazadero  
                      APN 109-230-018  
D4E Project #    6742.1

Dear Tracey,

Transmitted herewith are:

- ✓ Perc Test Data
- ✓ Site Sketch
- ✓ Soil Profiles
- ✓ Soil Sample Analysis

Adequate presoak was performed; the test was set up to comply with County Standards; the test was performed with my review in accordance with the intent of the established requirements of Sonoma County Department of Permit and Resource Management. This report is a true and accurate indication of the suitability of the site for on-site sewage disposal as measured by the Standards of Sonoma County and the Permit and Resource Management Officer.

Based on current Permit and Resource Management requirements, the attached test data establishes the percolation rates shown below:

Existing Soil Depth (inches)	Average Percolation Rate (minutes per inch)
12 (Holes 29-37, 41, 42)	3
24 (Holes 25-27, 30, 35, 36)	22
36 (Hole 34)	4

I recommend that sewage disposal needs be met with:

SYSTEM TYPE	Drip Irrigation		LOCATION
	Mound		
Primary	✓	Or ✓	Holes 6 & 7 from 10/23/08 report and Hole 25
1 <sup>st</sup> Expan	✓	Or ✓	Hole 1 from 10/23/08 report, Holes 27 & 28, and Profile 08A
2 <sup>nd</sup> Expan	✓	Or ✓	Holes 26, 33, 34, 35, 41 and Profile 08C

Based upon currently applied standards, the area tested appears to be adequate for a 5-bedroom house with a 200% expansion area. Previous report dated 10/23/08 and this report indicate a total area adequate for a 10-bedroom house with 200% expansion.

SEPTIC SYSTEM SIZE:

- The **Mound** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **170' x 30'**.
- The **Drip Irrigation** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **100 Sq Ft** per bedroom.

I recommend the following design features:

- ✓ An effluent sump and pump **are** required;
- ✓ The system construction plans should be prepared by a Civil Engineer;
- ✓ A detailed topographic map of the septic area is **required**.

Some factors which may affect future usability of the area tested are:

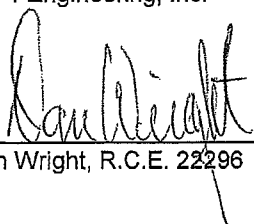
- ✓ Future building location and/or driveway location;
- ✓ Future changes in drainage patterns or groundwater;
- ✓ Future well location on site if any;
- ✓ Septic site is less than 100 feet from the property line and any future well on the adjacent property may be less than 100 feet from proposed leachlines making the area tested or a portion of it unusable;
- ✓ Existing well setback.

Drip irrigation septic systems are currently limited to 480 gallons of effluent per day by North Coast Regional Water Quality requirements. However, it is possible to use a drip irrigation system plus mound septic systems to support 1140 gallons per day, or six cabins.


Please review this report and issue written comments regarding Sonoma County Department of Health Services requirements for approval of a permit to construct an on-site sewage disposal system in the test area described.

Any persons seeking to utilize this report are advised to obtain and consult the Sonoma County Department of Health Services response requested above.

Sincerely,  
Dimensions 4 Engineering, Inc.

By   
Dan Wright, R.C.E. 22296



By   
John Cohn, E.I.T. 117140

Enc.: map  
Perc data

cc: Ratna Ling, Owner Attn: Doug Nurnberg  
File



SONOMA COUNTY  
 PERMIT AND RESOURCES MANAGEMENT DEPARTMENT  
 2550 Ventura Ave. - Santa Rosa, CA 95403

SOIL PERCOLATION TEST DATA

Address of Percolation Test: 36000 Hauser Bridge Road				A.P. Number: 109-230-018		Winter Groundwater Test: no		"Wet Weather Perc" no			
Owner's Name: Ratna Ling				Field Check: Yes <input type="radio"/> No <input checked="" type="radio"/>		By: Time:					
Owner's Mailing Address: 35755 Hauser Bridge Road				Review of Data: Rates Acceptable: Yes <input type="radio"/> No <input type="radio"/>							
City/State/Zip Code: Cazadero, CA 95421			Telephone Number: 707-322-6330			Remarks:			Receipt Information:		
Water Supply: <input checked="" type="radio"/> Private <input type="radio"/> Public			Lot or Parcel Size: 13 acres								
Test Conducted By: Dimensions 4 Engineering			Telephone Number: (707) 578-3433								
Address/City/State/Zip Code: 2952 Mendocino Ave, Santa Rosa, California 95403											
Type of Soil: Empire Loam				Date of Test: November 5, 2008		Circle One: Initial Test <input type="radio"/> Supplemental <input checked="" type="radio"/>			Sanitarian: T. FitzGerald REHS		

Hole Number	Depth of Hole	Pipe Length	Presoak Remain	Start		First Measurement		Second Measurement		Third Measurement		Fourth Measurement		Fifth Measurement		Sixth Measurement		Rate MPI
				Time	Inches	Time	Inches	Time	Inches	Time	Inches	Time	Inches	Time	Inches	Time	Inches	
25	24"	24"	0"	9:00	12	10:00	d/r	10:10	20	10:20	d/r	10:30	19 1/2	10:40	d/r	10:50	20	↙
				11:00	d/r	11:10	19 3/8	11:20	22 1/4r	11:30	18 3/4	11:40	22r	11:50	18	12:00	20 1/4	4
26	24"	24"	0"	9:00	12	10:00	d/r	10:10	15 3/8	10:20	18	10:30	19 7/8	10:40	21	10:50	22 1/2r	↙
				11:00	16 1/2	11:10	18 1/8	11:20	19 1/2	11:30	21	11:40	22 1/8r	11:50	15 3/8	12:00	17 1/8	9
27	24"	24"	0"	9:00	12	10:00	15 1/8	11:00	15 7/8	12:00	16 1/2	1:00	17 1/4	2:00	17 7/8	3:00	18 1/2	96
28	24"	24"	1/2"	9:00	12	10:00	16 1/2	11:00	17 3/8	12:00	18	1:00	18 5/8	2:00	19 1/8	3:00	19 5/8	120
29	12"	12"	0"	9:00	0	10:00	d/r	10:10	d/r	10:20	11 1/8r	10:30	10 1/2r	10:40	11r	10:50	d/r	↙
				11:00	10 5/8r	11:10	9 3/4	11:20	d/r	11:30	10 1/8r	11:40	9 1/2	11:50	d/r	12:00	10 1/8	4
30	24"	24"	0"	9:00	12	10:00	d/r	10:10	20 3/8	10:20	23 1/4r	10:30	17 3/8	10:40	20 1/2	10:50	22 1/2r	↙
				11:00	18 3/4	11:10	20 1/2	11:20	22r	11:30	17 5/8	11:40	19 7/8	11:50	21 1/8	12:00	22 3/8	8
31	36"	45"	5"	9:00	33	10:00	34	11:00	34 3/4	12:00	35 3/8	1:00	35 3/8	2:00	35 5/8	3:00	35 5/8	-
32	24"	36"	0"	9:00	24	10:00	26	11:00	27	12:00	27 5/8	1:00	27 7/8	2:00	28 3/8	3:00	28 7/8	240





ANALYSIS  
PLANNING  
SURVEYING  
ENGINEERING

2952 Mendocino Avenue, Suite C  
Santa Rosa, California 95403

(Office) 707-578-3433  
(Fax) 707-526-3433

SOIL PROFILES  
36000 Hauser Bridge Road  
APN 109-230-018  
8/19/08

Witness: Dan Wright, R.C.E.  
Tracey FitzGerald, R.E.H.S.  
Backhoe: Bohan & Canelis (Nick)

Profile 08A	21% Slope ±
0" - 34"	Very dark grayish brown (10YR3/2) clay loam; less than 5% rock; blocky; friable; dry; excellent pores; many fine roots.
34" - 48"	Dark yellowish brown (10YR3/4) clay loam; less than 5% rock; blocky; friable to firm; dry; good pores; some roots.
48" - 55"	Dark yellowish brown (10YR4/4) soft shale; 30+% rock; blocky; firm; dry; some pores; few roots. Hydro at 30". No seepage or groundwater.

Profile 08B	10% Slope ±
0" - 22"	Similar to Horizon 1, 08A.
22" - 49"	Similar to Horizon 2, 08A.

Profile 08C	18% Slope ±
0" - 28"	Similar to Horizon 1, 08A.
28" - 63"	Similar to Horizon 2, 08A.

Profile 08D	25% Slope ±
0" - 27"	Similar to Horizon 1, 08A.
27" - 56"	Similar to Horizon 2, 08A.

Profile 08E	18% Slope ±
0" - 20"	Similar to Horizon 1, 08A.
20" - 54"	Similar to Horizon 2, 08A.

# Oakley Laboratory & Field Services

1645 Chapman Way • Santa Rosa, CA 95403 • Telephone 707-575-1075

August 23, 2008  
Job No. 08-103.440

Dimension 4 Engineering  
2952 Mendocino Avenue  
Santa Rosa, Calif. 95401

Attention: Mr. John Cohn

Re: Results of Soil Texture Analysis  
By Bouyoucous Hydrometer Method and Bulk Density Test

Client: Ratna Ling, # 6742

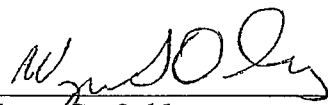
Client Address: 36000 Hauser Bridge Road

The results of the soil texture analysis on samples received on August 20, 2008 are as follows:

Sample Location	08A @ 30"
% Plus No. 10 (WT)	30.5
% Sand	47.8
% Clay	28.0
% Silt	24.2
Bulk Density Test	--

We are pleased to provide laboratory services for you and look forward to your continued work. If you have any questions, please call.

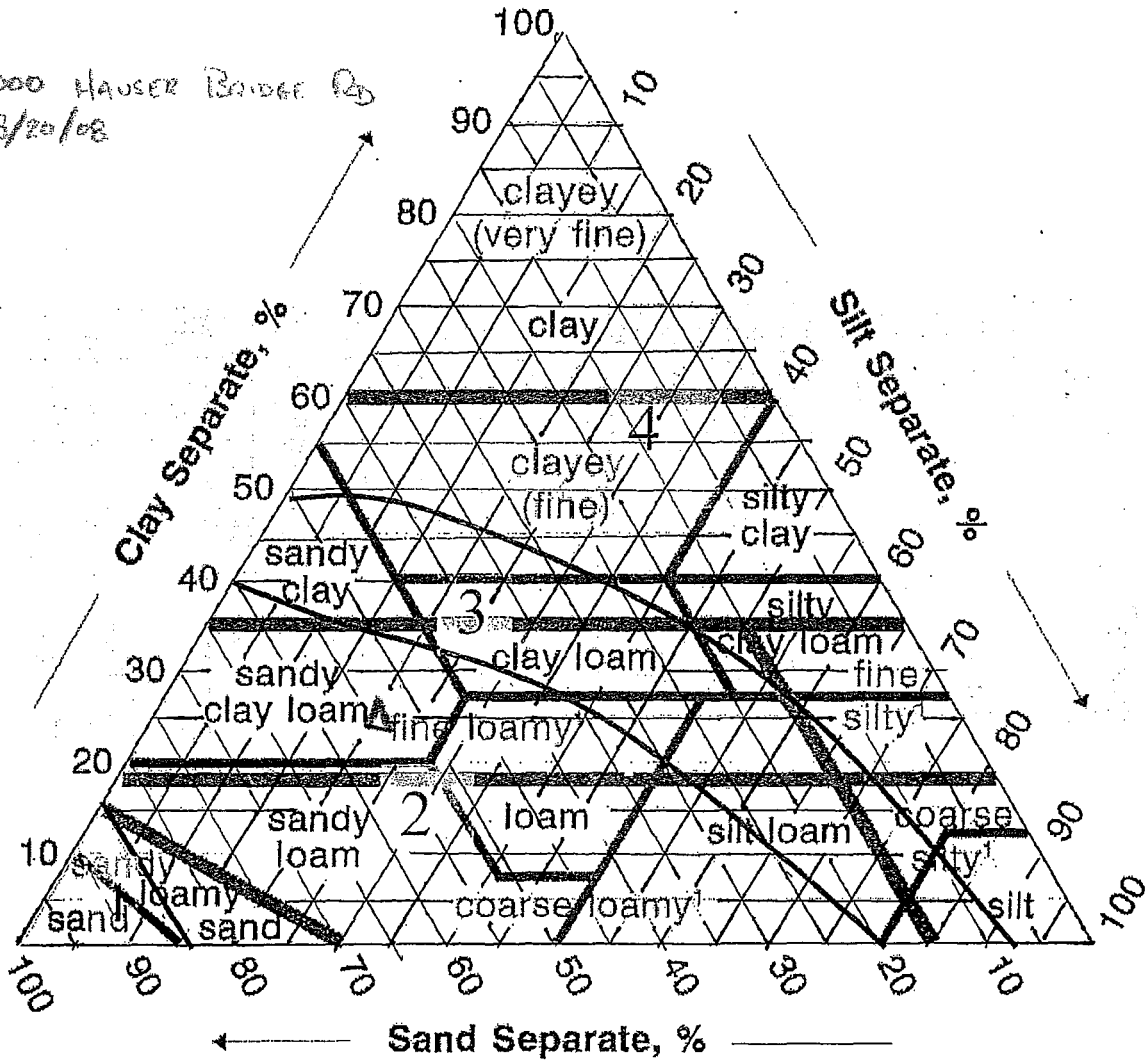
Oakley Laboratory and Field Services

By:   
Wayne G. Oakley  
Laboratory Director

TEXTURAL TRIANGLE

**Combined Texture Triangles:  
Fine Earth Texture Classes ( — ) &  
Soil Textural Family Classes ( ——— )**

36000 HAUSER BRIDGE Rd  
OBA  
30"  
8/20/08



<sup>1</sup> Very fine sand (0.05 - 0.1) is treated as silt for family groupings; coarse fragments are considered the equivalent of coarse sand in the boundary between the silty and loamy classes.

*Soil 2 to 2.5 mm size every 10% increase*



**COUNTY OF SONOMA**  
**PERMIT AND RESOURCE MANAGEMENT DEPARTMENT**

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

Subject: **Soils Evaluation for On-Site Sewage Disposal Purposes**

Don Wright P.O. 104 Drayman  
2952 Mendocino Ave Sct  
Santa Rosa, CA 95413

Date: 1/12/11

36000 Hansen Bridge Rd  
Site Address:

109 230 015  
Assessor's Parcel Number:  
EV01-11702

Property Owner:

Site I.D. #:

Subdivision #

Lot #:

Your soils evaluation for the subject property has been reviewed and filed. Review of the data indicates potential for the following type of sewage disposal system:

Area 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100  
12.5% slope (average of 24' x 12' pump, 0.3 gal/day)  
1.2 gal/day  
sized at: 1.2 gal/day

Design by a Registered Environmental Health Specialist or Registered Civil Engineer is required.

Complete topographic map of site is necessary.

The following critical design elements need to be observed. Final approval cannot be given until these have been addressed:

As discussed previously, the design cannot exceed 430 gpd  
flow. Refer stated the data that no new sewage disposal  
permits will be issued without RWQCB approval.

The sewage disposal capability of the site is dependent upon topography and setbacks. The acceptable sewage discharge volume (i.e., number of bedrooms in a dwelling) will be based upon the final sewage disposal system design.

Construction of the septic system cannot occur until plans have been approved and a permit has been issued by our office. **All septic systems must comply with standards in effect at the time of permit application.**

For further information, please feel free to contact the undersigned at (707) 565-1110 between 7:30 & 9:00 a.m.

Very truly yours,

Jacques Verast  
District Environmental Health Specialist



FILE COPY

6742.1

ANALYSIS  
PLANNING  
SURVEYING  
ENGINEERING

2952 Mendocino Avenue, Suite C  
Santa Rosa, California 95403

(Office) 707-578-3433  
(Fax) 707-526-3433

October 23, 2008

County of Sonoma  
Department of Permit and Resource Management  
2550 Ventura Ave.  
Santa Rosa, CA 95403

Attn: Ms. Tracey FitzGerald, R.E.H.S.

Subject Percolation Test Report  
Worksite 36000 Hauser Bridge Road, Cazadero  
APN 109-230-018  
D4E Project #

Dear Tracey,

Transmitted herewith are:

- ✓ Perc Test Data
- ✓ Site Sketch
- ✓ Soil Profiles

Adequate presoak was performed; the test was set up to comply with County Standards; the test was performed with my review in accordance with the intent of the established requirements of Sonoma County Department of Permit and Resource Management. This report is a true and accurate indication of the suitability of the site for on-site sewage disposal as measured by the Standards of Sonoma County and the Permit and Resource Management Officer.

Based on current Permit and Resource Management requirements, the attached test data establishes the percolation rates shown below:

Existing Soil Depth (inches)	Average Percolation Rate (minutes per inch)
12	39
24 (Holes 1-14)	70
24 (Holes 14-24)	99
36	65

I recommend that sewage disposal needs be met with:

SYSTEM TYPE	Drip			LOCATION
	Mound	At-Grade	Irrigation	
Primary	✓	Or ✓	Or ✓	Holes 8-14
1 <sup>st</sup> Expan	✓	Or ✓	Or ✓	Holes 2-7
2 <sup>nd</sup> Expan	✓	Or ✓	Or ✓	Holes 2-7

Based upon currently applied standards, the area tested appears to be adequate for a 5-bedroom house with a 200% expansion area.

Percolation Test Review

Site: 36000 Hauser Bridge Road, Cazadero

Date: October 23, 2008

Page 2 of 2

SEPTIC SYSTEM SIZE:

- The **Mound** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **85' x 30'**.
- The **At-Grade** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **83' x 38'** providing enough to handle 4-bedrooms with 200% expansion.
- The **Drip Irrigation** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **660 Sq Ft** per bedroom.

I recommend the following design features:

- ✓ An effluent sump and pump **are** required;
- ✓ The system construction plans should be prepared by a Civil Engineer;
- ✓ A detailed topographic map of the septic area is **required**.

Some factors which may affect future usability of the area tested are:

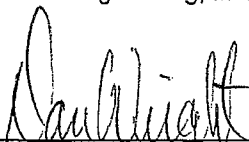
- ✓ Future building location and/or driveway location;
- ✓ Future changes in drainage patterns or groundwater;
- ✓ Future well location on site if any;
- ✓ Septic site is less than 100 feet from the property line and any future well on the adjacent property may be less than 100 feet from proposed leachlines making the area tested or a portion of it unusable;
- ✓ Existing well setback.

Drip irrigation septic systems are currently limited to 480 gallons of effluent per day by North Coast Regional Water Quality requirements. However, it is possible to use a drip irrigation system plus mound septic systems to support 1140 gallons per day, or six cabins.

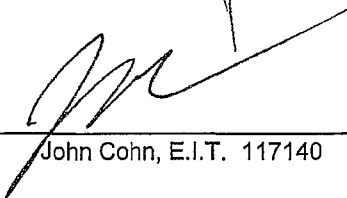
Please review this report and issue written comments regarding Sonoma County Department of Health Services requirements for approval of a permit to construct an on-site sewage disposal system in the test area described.

Any persons seeking to utilize this report are advised to obtain and consult the Sonoma County Department of Health Services response requested above.

Sincerely,  
Dimensions 4 Engineering, Inc.

By   
Dan Wright, R.C.E. 22296



By   
John Cohn, E.I.T. 117140

Enc.: map  
Perc data

cc: Ratna Ling, Owner Attn: Doug Nurnberg  
File





ANALYSIS  
PLANNING  
SURVEYING  
ENGINEERING

2952 Mendocino Avenue, Suite C  
Santa Rosa, California 95403

(Office) 707-578-3433  
(Fax) 707-526-3433

SOIL PROFILES  
36000 Hauser Bridge Road, Cazadero  
APN 109-230-018  
9/30/08

Witness: Dan Wright, R.C.E.  
Tracey FitzGerald, R.E.H.S.

Profile 08F	10% Slope ±
0" – 12"	Very dark grayish brown (10YR3/2) sandy loam; less than 5% rock; blocky; friable; dry; excellent pores; many roots.
12" – 24"	Dark yellowish brown (10YR4/6) sandy loam; less than 5% rock; blocky; friable to firm; dry; good pores; some roots.
24" – 36"	Yellowish brown (10YR5/8) soft sandstone; less than 5% rock; blocky to massive; firm; dry; few pores; few roots.

No seepage or groundwater

Profile 08G	10% Slope ±
0" – 16"	Similar to Horizon 08F, 0" – 12". Some fine roots.
16" – 40"	Yellowish brown (10YR5/4) sandstone to shale; massive; extremely firm; dry; few pores; no roots.

No seepage or groundwater.

Profile 08H	9% Slope ±
0" – 25"	Similar to Horizon 08F, 0" – 12". Massive roots.
25" – 43"	Dark yellowish brown (10YR3/4) sandy loam; less than 5% rock; blocky; friable; dry; good pores; some roots.

No seepage or groundwater.

Profile 08I	9% Slope ±
0" – 24"	Similar to Horizon 08F, 0" – 12".
24" – 36"	Dark yellowish brown (10YR4/4) sandy loam; less than 5% rock; blocky; friable; dry; good pores; some roots.
36" – 46"	Dark yellowish brown (10YR4/4) sandy loam; less than 5% rock; blocky; friable to firm; dry; fair pores; few roots.

No seepage or groundwater.





LAW OFFICES OF  
CLEMENT, FITZPATRICK & KENWORTHY  
INCORPORATED

3333 MENDOCINO AVENUE, SUITE 200  
SANTA ROSA, CALIFORNIA 95403

FAX: 707 546-1360

TELEPHONE: (707) 523-1181

TINA WALLIS  
E-MAIL: [twallis@cfk.com](mailto:twallis@cfk.com)

June 20, 2013

Cynthia Demidovich  
Sonoma County PRMD  
2550 Ventura Avenue  
Santa Rosa, CA 95403

Re: *Ratna Ling Buddhist Retreat Center*  
*PLP 08-0021*

Dear Ms. Demidovich:

Enclosed are photographs depicting the existing physical condition at Ratna Ling and showing the views, from Hauser Bridge Road, to areas of proposed new construction. Generally, the pictures move from north to south along Hauser Bridge Road.

Photo 1: Looking towards Cabins 16-19 and the proposed new residential storage unit near them. The trees will remain in place and will screen the new residential storage building.



EXHIBIT N

Photo 2: The driveway to cottages 16-19, labeled the "South Road" on the March 26, 2013 Site Plan for the Master Use Permit, and the new residential storage building. All trees will be preserved and will screen the new residential storage building.



Photo 3: Looking towards the campground area from Hauser Bridge Road. The heavily vegetated hill will screen all views of the campground from Hauser Bridge Road.



Photo 4: Another view looking towards the campground area from Hauser Bridge Road.



Photo 5: Existing parking lot with pervious pavers. This is where retreat participants and volunteers park their cars.



Photo 6: Main entry to Ratna Ling, as seen from Hauser Bridge Road.



Photo 7: View of existing lodge and conference center from Hauser Bridge Road.



Photo 8: View looking towards the printing press structure from Hauser Bridge Road. The topography and vegetation screen the structure.



Photo 9: View looking towards future cottages 11, 12, 13, 14, and 20. The topography and vegetation will screen the cottages and they will not be visible from Hauser Bridge Road.





Photo 10: Bike rack and water for cyclists on Hauser Bridge Road.



Photo 11: Gate at the intersection of Hauser Bridge Road and the curved driveway leading the existing building pad for the six-bedroom dwelling. The building pad used to have several trailers on it. All trees on this parcel will be preserved and will screen the dwelling.



Photo 12: View of curved driveway to the existing building pad (former trailer site) for the six-bedroom dwelling. All trees will be preserved to screen the view from Hauser Bridge Road.



Photo 13: Most prominent view of the building pad for the six bedroom dwelling from Hauser Bridge Road.



Photo 14: Roughly 50 feet north of the most prominent view of the building pad for the six-bedroom dwelling, there is dense tree cover that will screen the structure.



Photo 15: Most prominent view of the sacred text storage building from Hauser Bridge Road.



Cynthia Demidovich  
June 20, 2013  
Page 9

Please feel free to call me at 707-523-1181 if you have any questions about this letter.

Very truly yours,

  
TINA WALLIS

TW/pd  
c: client



# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

October 10, 2013

Tina Wallis  
Clement, Fitzpatrick & Kenworthy  
3333 Mendocino Ave., Ste. 200  
Santa Rosa, CA 95403  
Via Email: twallis@cfk.com

Re: Ratna Ling Master Use Permit Application

Dear Ms. Wallis:

This purpose of this letter is to respond to your request for clarification of Ben Neuman's April 9, 2012, memo to Cynthia Demidovich and to make a formal determination that the membrane, or tent-type structures are required to comply with the 2007 California Building Code's requirements.

Chapter 7 of the Sonoma County Code regulates building construction and structure-specific issues. Sonoma County Code section 7-2 states that the Chief Building Official administers and enforces Chapter 7 of the Sonoma County Code. Sonoma County Code section 7-13 adopts the California Building Code ("CBC") and other codes by references, unless section 7-13 expressly amends a specific section of the California Building Code.<sup>1</sup> On October 23, 2007, the Sonoma County Board of Supervisors introduced Resolution No. 07-0891 and waived the reading of Ordinance 5754,<sup>2</sup> which amended Chapter 7 of the County Code to incorporate the 2007 California Building Code by reference.

As it was adopted on November 6, 2007, section 101.9 of the CBC states:

Only those standards approved by the California Building Standards Commission that are effective at the time an application for building permit is submitted shall apply to the plans and specifications for, and to the construction performed under, that permit. . . .  
(emphasis added)

Thus, under the clear language of the 2007 CBC, as the Board of Supervisors adopted it, the date of a building permit application governs the standards that apply to the structures covered by the building permit. Ratna Ling submitted several building permit applications in 2008<sup>3</sup> for the tent structures

<sup>1</sup> The California Building Code is revised every three years. Thus, typically, Chapter 7 of the Sonoma County Code is updated every three years to adopt the revised CBC by reference, unless a section of the CBC is expressly amended. Sonoma County adopted Ordinance 5754, which included the 2007 CBC, on November 6, 2007. The County's adoption of the 2007 CBC became effective on January 1, 2008.

<sup>2</sup> A copy of Resolution No. 07-0891 and Ordinance 5754 are attached to this letter as Exhibit 1.

<sup>3</sup> The permit applications were:

Permit Application Date:	Permit Issued Date:	Permit No.
April 16, 2008	04-16-2008	BLD 08-1350
May 9, 2008	05-09-2008	BLD 08-1714
May 27, 2008	06-05-2008	BLD 08-2124
July 22, 2008		BLD 08-2910
May 27, 2008	08-28-2008	BLD 08-3658

currently being used to store sacred texts on the Ratna Ling property at 35755 Hauser Bridge Road. Since these permits were submitted during 2008, and the 2007 CBC was in effect at that time, it is my determination that the building permits are governed by the 2007 CBC's requirements. It is my understanding that a member of the public commented that the tent structures are subject to the 2010 CBC. This opinion is incorrect because it conflicts with the express language of the 2007 CBC. Furthermore, the express language of Chapter 7-13 of the Sonoma County Code states that the Chief Building Official administers and enforces Chapter 7 of the County Code, and therefore, the CBC.

Chapter 7A of the CBC governs materials and construction methods for exterior wildfire exposure for structures located in a "Wildland-Urban Interface Fire Area."<sup>4</sup> The Ratna Ling property is within a Wildland-Urban Interface Fire Area. I am told that the County received a comment that the tent structures do not comply with the 2010 CBC, including Chapter 7A of the 2010 CBC. This comment is in error for two reasons. First, as is previously determined, the tent structures must comply with the 2007 CBC, not the 2010 CBC. Second, the tent structures are exempt from Chapter 7A's requirements because they are accessory structures. When the State<sup>5</sup> adopted Chapter 7A of the CBC, section 704.A.5,<sup>6</sup> compliance with Chapter 7A for accessory structures is only mandated "where required" by local jurisdictions. Thus, local jurisdictions had the ability to exempt accessory structures from compliance with Chapter 7A, which Sonoma County did. Accordingly, PRMD staff determined that the tent structures were exempt from complying with Chapter 7A of the then-adopted CBC because the tent structures are accessory structures. The Chapter 7A exemption determination occurred in 2008. This exemption means that the material and flammability requirements set forth in Chapter 7A do not apply to the tent structures.

Finally, changing the classification of the tent structures from temporary to permanent has no practical effect. When PRMD reviewed and checked the plans for the tent structures, PRMD required that the tent structures met all criteria for permanent structures. The change from temporary to permanent is not a change of occupancy under the CBC that triggers any additional requirements.

Please feel free to call me at 565-1925 if you have any questions about this letter.

Sincerely,



DeWayne Starnes  
Interim Director, PRMD  
Chief Building Official for Sonoma County

---

<sup>4</sup> Broadly stated, the purpose of the Wildland-Urban Interface Fire Area is to establish minimum standards for materials and material assemblies and provide a reasonable level of exterior wildfire exposure protection for buildings. In order to assess the risk of fire, the California Department of Fire evaluated three criteria: (1) fuel hazard; (2) the probability of wildland fire; and (3) housing density of at least one house per 40 acres of land. CDF then mapped and ranked the wildland fire hazard severity zones. There are three rankings: (1) moderate; (2) high and (3) very high. The Ratna Ling property is ranked "high."

<sup>5</sup> Sonoma County's practice is not to do a formal ordinance amendment when the State does an emergency ratification mid-code (i.e., in between three year code adoption/update cycles). The State adopted Phase I of the CBC Chapter 7A on May 18, 2006. During Phase I, Sonoma County looked at the application of Chapter 7A to residential structures, but did not apply Chapter 7A's requirements to appurtenant or accessory structures.

<sup>6</sup> See 2007 CBC section 704.A.5. A copy of Chapter 7A, including section 704.A.5, is attached hereto as Exhibit 2.

## SONOMA COUNTY MUTUAL AID AGREEMENT

WHEREAS, all parties hereto are located within the County of Sonoma; and

WHEREAS, the parties hereto severally maintain and operate fire protection organizations for the purpose of providing emergency services within their respective jurisdictions; and

WHEREAS, it is to the mutual advantage and benefit of the parties hereto that each of the other parties render supplemental protection in the event of an emergency of a magnitude that has or appears to have developed beyond the control of a single party and therefore requires the assistance of one or more of the parties hereto; and

WHEREAS, agreement between the parties hereto of the type and for the purpose and effect of this agreement is expressly authorized by Section 13855 and 14092 of the Health and Safety Code of the State of California and Title 5, Division 2, Part 2, Chapter 4, Article 2 of the Government Code and Title 1, Division 7, Chapter 5 of the Government Code (Joint Exercise of Powers Act) and is otherwise duly authorized by law; and

WHEREAS, it has heretofore been determined by the governing authority of each of the parties hereto that it is mutually advantageous to render assistance to one another in the suppression and control of fires and emergency incidents and that the benefit to be derived by each of the parties hereto of availability hereunder of additional protection to life and property against loss resulting from an emergency incident within the boundaries of jurisdiction of each party is ample consideration for each to enter into this agreement; and

WHEREAS, the County of Sonoma currently maintains a radio communication system (herein called CENTRAL DISPATCH) by which the various fire protection agencies throughout Sonoma County may be alerted and which receives emergency calls from the public throughout the County, which said system is maintained and operated by the County of Sonoma; and

WHEREAS, the County of Sonoma has signified its willingness to make this communications system available for use in the performance of a master County-wide mutual aid agreement; now therefore

IT IS AGREED as follows:

1. In the event of an emergency within the areas of responsibility of one of the parties hereto, which is of such magnitude that the regular

resources of such party cannot readily control the same, the incident commander in charge of the emergency for said party may request assistance from one of the parties of this agreement in the manner provided below.

2. Whenever possible, all requests for aid shall be made directly to CENTRAL DISPATCH either by radio or telephone. CENTRAL DISPATCH shall then alert the appropriate agency committed to render mutual aid. In any event, all parties hereto shall make every effort to keep CENTRAL DISPATCH advised of any major fire, other emergency or out-of-area assignment of vehicles.
3. Upon receipt of a request for aid from CENTRAL DISPATCH or directly from a party to this agreement, the agency to whom the request is made shall respond to its fullest ability to do so but in doing so is not required to leave its own area unprotected. The decision of the fire chief or other duly designated officer in charge of the agency from whom aid is requested, as to what equipment is available for mutual aid response, shall be final.
4. The agency legally responsible for the emergency incident shall remain in charge and provide general directions to all aiding agencies through their incident commander. At the request of the incident commander of the responsible agency, any aiding agency shall withdraw from the scene of the incident.
5. It is mutually agreed and understood that this agreement shall not relieve any party hereto of the responsibility for protection within its own jurisdiction nor does this agreement create any right in or obligation to third persons by any party hereto which would not exist in the absence of this agreement.
6. It is agreed that this agreement for mutual aid shall constitute the sole consideration for the performance hereto and that no party hereto shall be obligated to reimburse any other for use of resources. During the course of rendering aid, the resources of each party shall be at the risk of that party. Each party hereto shall protect its personnel performing under this agreement by adequate workers compensation insurance. Each party hereto shall obtain and maintain in full force and effect adequate public liability and property damage insurance to cover claims for injury to persons or damage to property arising from the performance of this agreement.
7. This agreement shall be and remain in full force and effect from and after the date of execution set out opposite the signature of each party signatory hereto or until terminated or modified as herein provided. This



agreement may be modified at any time by mutual consent of the parties hereto. Any party to this agreement may withdraw at any time on thirty(30)days' written notice to each of the other parties and thereafter such withdrawing party shall no longer be a party to this agreement, but the agreement shall continue to exist among the remaining parties. Any party hereto may be excluded from this agreement upon thirty(30)days' written notice executed by at least a majority of the parties hereto.

8. It is expressly declared to be the intention of each party signatory hereto that this agreement be entered into with any one or more of the parties named herein whether or not joined into by all the parties named herein.

IN WITNESS WHEREOF the parties hereto have caused this agreement to be executed on the day and year set out opposite the signature of each thereof. Said execution having been theretofore first duly authorized in accordance with law.

This agreement made and entered into by and between the following agencies:

**CITY FIRE DEPARTMENTS-**

City of Healdsburg	City of Santa Rosa
City of Petaluma	City of Sebastopol
City of Rohnert Park	City of Sonoma

**FIRE PROTECTION DISTRICTS-**

Bennett Valley FPD	Rancho Adobe FPD
Bodega Bay FPD	Rincon Valley FPD
Cloverdale FPD	Roseland FPD
Forestville FPD	Russian River FPD
Geyserville FPD	Schell-Vista FPD
Glen Ellen FPD	Timber Cove FPD
Gold Ridge FPD	Valley of the Moon FPD
Graton FPD	Windsor FPD
Kenwood FPD	
Monte Rio FPD	

**COMMUNITY SERVICES DISTRICTS-**

Cazadero CSD  
Occidental CSD

STATE AND FEDERAL AGENCIES -

California Department of Forestry & Fire Protection, North Bay Ranger Unit  
U.S. Coast Guard Training Center Fire Department, Coast Guard Training  
Center, Two Rock  
Sonoma Developmental Center

FIRE BRIGADES -

Hewlett Packard

COUNTY FIRE AGENCIES -

County Service Area Number 40

Annapolis VFC  
Bloomfield VFC  
Bodega VFC  
Camp Meeker VFC  
Dry Creek VFC  
Fitch Mountain VFC  
Fort Ross VFC  
Jenner VFC  
Knights Valley VFC  
Lakeville VFC  
Mayacamas VFC  
Mountain VFC  
Pole Mountain Lookout  
San Antonio VFC  
Sea Ranch VFC  
Two Rock VFC  
Valley Ford VFC  
Wilmar VFC

**From:** Reese, Kenneth [<mailto:Kenneth.Reese@amr.net>]  
**Sent:** Thursday, November 14, 2013 4:24 PM  
**To:** Vern Losh; Luttrell, Dick  
**Subject:** RE: REDCOM Response

The address is: 35755 Hauser Bridge Rd, Cazadero, CA 95421. This is the Ratna Ling Retreat Center.

That address would be: 21780 North Coast Highway 1, Jenner, CA 95450. The Tiimber Cove Inn

Both have the same response.

Alarm 1 (TIM, FTR, TSR, CAZ, MRO, CDF)  
Alarm 2 (GFD,FTR, OCD, SOUTH COAST AND REDWOOD COAST)  
Alarm 3 (ADD ITIONAL 1'S 3 FROM AGENCY ALREADY ASSIGNED BUT ADDS BDB)

That address would be: 21780 North Coast Highway 1, Jenner, CA 95450. The Tiimber Cove Inn

Ken Reese  
REDCOM  
**From:** Vern Losh [<mailto:vernlosh@gmail.com>]  
**Sent:** Monday, November 11, 2013 8:16 AM  
**To:** Luttrell, Dick  
**Cc:** Reese, Kenneth; 'Vern Losh'  
**Subject:** REDCOM Response

Dick,

I am working with a client on some fire code and response questions up on the north coast. Can you provide me the apparatus response list in your computer that is assigned to their property? I am looking for agency, type apparatus and a list of responding apparatus for first, second, and third alarm structure fire response.

The address is: 35755 Hauser Bridge Rd, Cazadero, CA.95421. This is the Ratna Ling Retreat Center.

Could I also get the same data for another address on the North Coast as a comparison?  
That address would be: 21780 North Coast Highway 1, Jenner, CA 95450. The Tiimber Cove Inn

Thanks, Vern

Vern Losh  
1306 Creekside Court  
Healdsburg, CA 95448  
707.540.2929

**Cynthia Demidovich**

---

**From:** Roberta MacIntyre  
**Sent:** Friday, December 13, 2013 1:57 PM  
**To:** 'Vern Losh'; 'Vern Losh'  
**Cc:** DeWayne Starnes; Dean Parsons; Verne Ball; Jennifer Barrett; Tennis Wick; Al Terrell; Cynthia Demidovich; Timber Cove FPD; Ben Neuman; Steve Mosiurchak  
**Subject:** Ratna Ling Membrane Structures Fire Resistance  
**Attachments:** FES-noReply@sonoma-county.org\_20131213\_142554.pdf  
**Importance:** High

Mr. Losh,

Attached is a copy of a letter recognizing that the fire resistance requirement for the membrane structures located at the Ratna Ling Retreat Center has been met.

Thank you so very much.

Respectfully,

**Roberta MacIntyre, Assistant Chief/Fire Marshal**  
**Sonoma County Fire & Emergency Services Department**  
**Fire Prevention Division**  
**2300 County Center Drive - Suite 220-B, Santa Rosa CA, 95403**  
**(707) 565-1154**



Attorney-client communication/Privileged and confidential

-----Confidentiality Statement-----

The confidential information in this communication is intended for the use of the addressee only (or by others who have been authorized to receive it). This communication may contain information that is subject to the attorney/client privilege, and exempt from disclosure under applicable law. If you are not the intended recipient, or if you are not the agent responsible for delivering this transmittal to the intended recipient, you are hereby notified that any dissemination, distribution or reproduction of this communication is prohibited. If you have received this communication in error, please notify the sender immediately by email, by telephone at (707) 565-1154 or by facsimile at (707) 565-1172, and destroy all copies of this communication. Thank you.

EXHIBIT Q



*County of Sonoma*  
**FIRE & EMERGENCY SERVICES DEPARTMENT**

FIRE SERVICES \* EMERGENCY MANAGEMENT \* HAZARDOUS MATERIALS



Al Terrell, DIRECTOR/FIRE CHIEF

December 13, 2013

Vern Losh,  
1306 Creekside Court  
Healdsburg, CA 95448

Dear Mr. Losh,

This letter is a follow-up of our phone call on or about December 11, 2013 and the letter I sent dated December 9, 2013, related to Permit No. PLP08-0021.

I have obtained satisfactory proof (attached) that the membrane structures meet the fire propagation performance criteria of NFPA 701 and thus are in compliance Section 3102 of the 2007 California Building Code, as adopted and amended by Sonoma County Code.

The attached information shall be retained on the premises on which the membrane structures are located and be available to fire officials upon request.

Thank you for making fire safety a priority. Please let me know if I may be of further assistance.

Respectfully,

Roberta MacIntyre, Assistant Chief/Fire Marshal  
Sonoma County Fire and Emergency Services

*Cc: Chief Al Terrell- Sonoma County Fire and Emergency Services; Tennis Wick, Director - PRMD; Jennifer Barrett, Deputy Director Planning - PRMD; Dean Parsons, Project Review Manager - PRMD; Verne Ball, Deputy County Counsel - County Counsel; Cynthia Demidovich PRMD, Planner III - PRMD; DeWayne Starnes, Deputy Director Engineering - PRMD; Chief Singer, Timber Cove FPD - 30800 Seaview Rd. Cazadero, CA 95421*



# Certificate of Flame Resistance

Registered No  
F444.08

Mahaffey Fabric Structures  
4161 Delp Street  
Memphis, TN 38118  
800-245-8368

Manufactured Date  
10/05

This is to certify that the materials described below have been flame retardant treated (or are inherently nonflammable)

For: Ratna Ling Retreat Center Address 1: 35755 Hauser Bridge Road  
City: Cazadero State, Zip: CA, 95421-9611

Certification is hereby made that: (Check "a" or "b")

(a) The articles described below have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.

Name of Chemical:  
Method of Application:

Chem. Registered No.:

(b) The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use, and are equal to or exceed NFPA 701, CPAI 84, ULC 109.

*The flame retardant process used will not be removed by washing.*

FERRARI TEXTILE CORPORATION  
Name of Applicator of Flame Resistant Finish

Signed: [Signature]  
Manufacturing Department - Mahaffey Fabric Structures

Description: #702 Ferrari Opaque Blockout Vinyl for: (1) 10Mx25Mx5M clearspan fabric structure (top and gables)  
Serial Numbers: 8125210C (1)

## CHAPTER 31

# SPECIAL CONSTRUCTION

### SECTION 3101 GENERAL

**3101.1 Scope.** The provisions of this chapter shall govern special building construction including membrane structures, temporary structures, pedestrian walkways and tunnels, awnings and canopies, marquees, signs, and towers and antennas.

### SECTION 3102 MEMBRANE STRUCTURES

**3102.1 General.** The provisions of this section shall apply to air-supported, air-inflated, membrane-covered cable and membrane-covered frame structures, collectively known as membrane structures, erected for a period of 180 days or longer. Those erected for a shorter period of time shall comply with the *California Fire Code*. Membrane structures covering water storage facilities, water clarifiers, water treatment plants, sewage treatment plants, greenhouses and similar facilities not used for human occupancy, are required to meet only the requirements of Sections 3102.3.1 and 3102.7.

**3102.2 Definitions.** The following words and terms shall, for the purposes of this section and as used elsewhere in this code, have the meanings shown herein:

**AIR-INFLATED STRUCTURE.** A building where the shape of the structure is maintained by air pressurization of cells or tubes to form a barrel vault over the usable area. Occupants of such a structure do not occupy the pressurized area used to support the structure.

**AIR-SUPPORTED STRUCTURE.** A building wherein the shape of the structure is attained by air pressure and occupants of the structure are within the elevated pressure area. Air-supported structures are of two basic types:

**Double skin.** Similar to a single skin, but with an attached liner that is separated from the outer skin and provides an airspace which serves for insulation, acoustic, aesthetic or similar purposes.

**Single skin.** Where there is only the single outer skin and the air pressure is directly against that skin.

**CABLE-RESTRAINED, AIR-SUPPORTED STRUCTURE.** A structure in which the uplift is resisted by cables or webbings which are anchored to either foundations or dead men. Reinforcing cable or webbing is attached by various methods to the membrane or is an integral part of the membrane. This is not a cable-supported structure.

**MEMBRANE-COVERED CABLE STRUCTURE.** A nonpressurized structure in which a mast and cable system provides support and tension to the membrane weather barrier and the membrane imparts stability to the structure.

**MEMBRANE-COVERED FRAME STRUCTURE.** A nonpressurized building wherein the structure is composed of a

rigid framework to support a tensioned membrane which provides the weather barrier.

**NONCOMBUSTIBLE MEMBRANE STRUCTURE.** A membrane structure in which the membrane and all component parts of the structure are noncombustible.

**3102.3 Type of construction.** Noncombustible membrane structures shall be classified as Type IIB construction. Noncombustible frame or cable-supported structures covered by an approved membrane in accordance with Section 3102.3.1 shall be classified as Type IIB construction. Heavy timber frame-supported structures covered by an approved membrane in accordance with Section 3102.3.1 shall be classified as Type IV construction. Other membrane structures shall be classified as Type V construction.

**Exception:** Plastic less than 30 feet (9144 mm) above any floor used in greenhouses, where occupancy by the general public is not authorized, and for aquaculture pond covers is not required to meet the fire propagation performance criteria of NFPA 701.

**3102.3.1 Membrane and interior liner material.** Membranes and interior liners shall be either noncombustible as set forth in Section 703.4 or meet the fire propagation performance criteria of NFPA 701 and the manufacturer's test protocol.

**Exception:** Plastic less than 20 mil (0.5 mm) in thickness used in greenhouses, where occupancy by the general public is not authorized, and for aquaculture pond covers is not required to meet the fire propagation performance criteria of NFPA 701.

**3102.4 Allowable floor areas.** The area of a membrane structure shall not exceed the limitations set forth in Table 503, except as provided in Section 506.

**3102.5 Maximum height.** Membrane structures shall not exceed one story nor shall such structures exceed the height limitations in feet set forth in Table 503.

**Exception:** Noncombustible membrane structures serving as roofs only.

**3102.6 Mixed construction.** Membrane structures shall be permitted to be utilized as specified in this section as a portion of buildings of other types of construction. Height and area limits shall be as specified for the type of construction and occupancy of the building.

**3102.6.1 Noncombustible membrane.** A noncombustible membrane shall be permitted for use as the roof or as a skylight of any building or atrium of a building of any type of construction provided it is at least 20 feet (6096 mm) above any floor, balcony or gallery.

**3102.6.1.1 Membrane.** A membrane meeting the fire propagation performance criteria of NFPA 701 shall be permitted to be used as the roof or as a skylight on build-

LAW OFFICES OF  
CLEMENT, FITZPATRICK & KENWORTHY  
INCORPORATED

3333 MENDOCINO AVENUE, SUITE 200  
SANTA ROSA, CALIFORNIA 95403

FAX: 707 546-1360

TELEPHONE: (707) 523-1181

TINA WALLIS  
[twallis@cfk.com](mailto:twallis@cfk.com)

December 13, 2013

*via U.S. Mail and email:*

[Cynthia.demidovich@sonoma-county.org](mailto:Cynthia.demidovich@sonoma-county.org)

Cynthia Demidovich  
Sonoma County PRMD  
2550 Ventura Avenue  
Santa Rosa, CA 95403

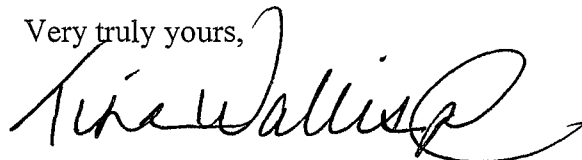
Re: *PLP 08-0021 Ratna Ling Buddhist Retreat Center*

Dear Ms. Demidovich:

The purpose of this letter is to follow up on Fire Marshal MacIntyre's December 9, 2013 letter to Vern Losh. Mr. Losh is a fire consultant representing Ratna Ling. The tenth item in Fire Marshal MacIntyre's letter requests confirmation that the membrane structures Ratna Ling currently uses to store sacred texts comply with Section 3102 of the 2007 California Building Code. I am attaching a copy of the "Certificate of Flame Resistance" showing that the membrane fabric meets NFPA 701 standards, as Section 3102 required.

Please call me at 523-1181 if you have any questions about this letter.

Very truly yours,

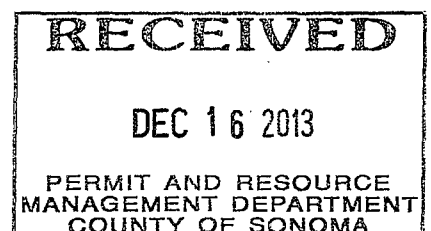


TINA WALLIS

TW/pd  
enclosure

c (w/enc.): J.T. Wick, Department Director  
Sonoma County PRMD  
Roberta MacIntyre, Fire Marshal  
County of Sonoma Fire and Emergency Services  
client

EXHIBIT R







# Certificate of Flame Resistance

Registered No  
F444.08

Mahaffey Fabric Structures  
4161 Delp Street  
Memphis, TN 38118  
800-245-8368

Manufactured Date  
10/05

This is to certify that the materials described below have been flame retardant treated (or are inherently nonflammable).

For: Ratna Ling Retreat Center Address 1: 35755 Hauser Bridge Road  
City: Cazadero State, Zip: CA, 95421-9611

Certification is hereby made that: (Check "a" or "b")

(a) The articles described below have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.

Name of Chemical: \_\_\_\_\_ Chem. Registered No.: \_\_\_\_\_  
Method of Application: \_\_\_\_\_

(b) The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use, and are equal to or exceed NFPA 701, CPAI 84, ULC 109.

*The flame retardant process used will not be removed by washing.*

FERRARI TEXTILE CORPORATION  
Name of Applicator of Flame Resistant Finish

Signed: *[Signature]*  
Manufacturing Department - Mahaffey Fabric Structures

Description: #702 Ferrari Opaque Blockout Vinyl for: (1) 10Mx25Mx5M clearspan fabric structure (top and gables.)  
Serial Numbers: 8125210C (1)

REGISTERED  
FIRE SITE  
DATE STA.

REGISTERED  
FIRE SITE  
DATE STA.





County of Sonoma  
**FIRE & EMERGENCY SERVICES DEPARTMENT**



FIRE SERVICES \* EMERGENCY MANAGEMENT \* HAZARDOUS MATERIALS

To: Permits and Resource Management Department  
Planning Division  
Cynthia Demidovich

From: Roberta MacIntyre, Fire Marshal  
Fire Prevention Division  
2250 Ventura Ave. Santa Rosa, Ca 95403  
707-565-1154 [rmacinty@sonoma-county.org](mailto:rmacinty@sonoma-county.org)

Date: February 12, 2014

Permit# PLP08-0021

Scope Ratna Ling Master Use Permit Application

On or about January 21, 2014 I received a copy of a set of documents related to the fire resistance requirements of membrane structures associated with the referenced project.

After reviewing the documents, it appears that sufficient evidence has been provided to prove that the membrane structures are in compliance with the *required fire resistive requirements for membrane structures*. (Ref Section 3102 of the 2007 California Building Code)



**COUNTY OF SONOMA**  
**PERMIT AND RESOURCE MANAGEMENT DEPARTMENT**

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

**MEMO**

**Date:** February 14, 2014  
**To:** Cynthia Demidovich, Planner III  
**From:** DeWayne Starnes, Building Official  
**Subject:** PLP08-0021, Ratna Ling

I have received and reviewed the set of documents dated January 21, 2014 regarding the fire resistance requirements of the membrane structures associated with the above referenced project.

After my review of the documents, I have determined that sufficient evidence and information has been provided to substantiate the membrane structures are code compliant.

On October 10, 2013, I sent a letter to Ms. Tina Wallis (attached) indicating that the above referenced project are in compliance with the 2007 California Building Code (CBC) requirements per Section 101.9 of the CBC. Additionally, Chapter 7A of the 2007 CBC governs materials and construction methods for exterior wildfire exposure for structures located in a "Wildland-Urban Interface (WUI) Fire Area and these structures were not required to comply with this section of code. Sonoma County exempted accessory structures from compliance with the WUI at that time. Compliance with this section of code was mandated only where required by the local jurisdiction. Sonoma County did not mandate compliance for accessory structures, and these structures were, and are considered accessory. The statute of limitations for appeal of this determination has long since expired.

EXHIBIT T

LAW OFFICES OF  
CLEMENT, FITZPATRICK & KENWORTHY  
INCORPORATED  
3333 MENDOCINO AVENUE, SUITE 200  
SANTA ROSA, CALIFORNIA 95403  
FAX: 707 546-1360

TELEPHONE: (707) 523-1181

TINA WALLIS  
EMAIL: [twallis@cfk.com](mailto:twallis@cfk.com)

July 11, 2013

***HAND DELIVERED***

Cynthia Demidovich  
Sonoma County PRMD  
2550 Ventura Avenue  
Santa Rosa, CA 95403

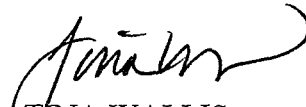
Re: *Ratna Ling Master Use Permit Application*  
*PLP 08-0021*

Dear Ms. Demidovich:

The purpose of this letter is to confirm that Ratna Ling had 1,381 retreat participants for a total of 5,301 retreat days in 2012. There are more than 365 retreat days because there can be multiple retreat participants on any one day (e.g., 10 retreat participants on one day equals 10 retreat days). Please note that these numbers are based on actual 2012 participants, which Gene Gretchen, Ratna Ling's Operations Manager, carefully calculated by reviewing Ratna Ling's retreat records for 2012.

Please feel free to call me at (707) 523-1181 if you have any questions about this letter.

Very truly yours,

  
TINA WALLIS

TW/pd  
c: client

EXHIBIT U

## Cynthia Demidovich

---

**From:** Roberta MacIntyre  
**Sent:** Friday, June 22, 2012 2:32 PM  
**To:** Cynthia Demidovich; Ben Neuman  
**Cc:** Jennifer Barrett; Mark Aston; Timber Cove FPD; Roberta MacIntyre  
**Attachments:** Conditions Following Site Visit RATNA LING.doc

**Importance:** High

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Cynthia & Ben,

Attached are the conditions I think we need to follow through with regarding the membrane structures at Ratna Ling.

All are requirements of the code regardless of any other circumstances except for Items 5 & 8. These additional items likely would have been applied at the time of initial submittal had it been known that these were not going to actually be "temporary" structures.

Item 5 & 8 I believe are both reasonable and necessary to provide acceptable conditions that would give the local firefighting forces a fighting chance at keeping any fires manageable and preventing them from getting into the wildland.

I am leaving on vacation /Sunday and will be returning on July 2. I am hopeful this will not create a problem with the process.

Respectfully,

Roberta MacIntyre  
Assistant Chief, Fire Marshal  
Sonoma County Fire  
(707) 565-1154

RATNA LING

**CONDITIONS:**

1. Additions, remodels, and other improvements made to structures without the approval of the County through the construction permitting process shall be made code compliant. (For example the addition to membrane structure #1 and the lack of fire sprinkler protection therein.) *(2010 CBC 1.8.4.1)*
2. A building area analysis shall be provided to County Fire which describes the actual calculated areas of membrane structure 1 & the print-shop, and membrane structure 3 & 4, to determine if their individual areas are considered separately making them separate buildings, or if their individual areas are considered as part of an aggregate area making them a single building regardless of being independent structures. In the event that membrane structure #1 and the print shop are considered as two independent buildings, a separate fire sprinkler riser shall be provided for each separate building. In the event that membrane structure #3 and membrane structure #4 are considered as two independent buildings, a separate fire sprinkler riser shall be provided for each separate building. *(CBC & NFPA codes applied at time of const. - see also 2010 NFPA13 Sec 8.2.5)*
3. Fire protection systems for each of the four membrane structures shall be reviewed for compliance with approved plans and code requirements at time of construction. Fire protection system permits shall be reviewed for completeness and system owner shall work with County Fire & PRMD to resolve any outstanding permit issues. This may include outstanding inspections, tests, certifications, etc. Additional fees for time invested by County staff not already captured as part of the permit at time of issuance shall be as provided by current fee schedule. *(CBC & CFC codes applied at time of const. and 2010 CFC 104.7)*
4. Evidence shall be provided to County Fire that demonstrates fire access in compliance with the applicable Fire Code. *(CFC at time of construction for construction & 2010 CFC 501.1 for maintenance)*
5. To provide early detection and prevent conflagration and/or a wildland fire, the fire alarm system used to provide fire sprinkler system monitoring shall be improved to include detection of products of combustion. Heat detection may be used in areas not suitable for detection of products of combustion with approval of County Fire Marshal. *(2010 CFC 102.1-4)*
6. There shall be a minimum clearance of at least 3 feet (914 mm) between the fabric envelope and all contents located inside membrane structures. *(2010 CFC 2404.11)*
7. Fire protection systems shall be maintained, inspected and tested in accordance with California regulations and code requirements. Documents of the system maintenance, inspection and tests for the past five years shall be provided to County Fire. *(2010 CFC 901.6)*

8. To provide for improved firefighting opportunities during an interior fire attack, and to prevent large fires beyond the capabilities of local firefighting forces, pile storage of combustible material shall be limited to 75 feet in any direction in addition to the 12 foot height limitation. *(2010 CFC 102.1-4 & 2306.2)*
  
9. Aisles and distances between piles in buildings, or portions of buildings, used for combustible storage shall be a minimum of 44 inches (1118 mm) wide. *(2010 CFC 315.2, 2010 CFC 102.1-4 & 2010 CFC 2306.9.1.1)*
  
10. Membrane structure tops and sidewalls shall be made either from fabric which has been flame resistant treated with an approved exterior chemical process by an approved application concern, or from inherently flame resistant fabric approved and listed by the State Fire Marshal (see CCR, Title 19, Division 1, Chapter 8). An affidavit or affirmation shall be submitted to the fire code official and a copy retained on the premises on which the membrane structure is located. The affidavit shall attest to one of the following relative to the flame propagation performance criteria of the fabric: *(2010 CFC 102.1-4 & 2010 CBC 3102.3.1)*
  - a. Membranes and interior liners are noncombustible as set forth in the California Building that applied at time of construction.
  - b. Membranes and interior liners are noncombustible as set forth in the 2010 California Building code Section 703.4
  - c. Membranes and interior liners are flame resistant in accordance with appropriate standards set forth in CCR, Title 19, Division 1, Chapter 8.

**MAJOR PRE-APPLICATION MEETING  
COUNTY FIRE COMMENTS**

**File Number:** PLP08-0021  
**Site Address:** 35755 Hauser Bridge Rd  
**Applicant Name:** Ratna Ling Retreat Center c/o Jack Petranker  
**Owner Name:** Same  
**APN:** 109-230-024 & -018

**Date of Review:** July 5, 2011  
**By:** MACINTYRE

**RE: EXPANSION OF RETREAT CENTER**

**Scope includes:**

Construction of 6-bedroom residential facility; operation of seasonal campground; manufacturing of scared objects; construction of health clinic; construction of a 4,080 storage building; change in use of existing buildings with an area of 39,270 sq ft to text storage; change in occupancy load of press building from 27 to 94 persons.

**Comments:**

Permitting or development approval of new parcels, (excluding lot line adjustments as specified in Government Code Section 66412(d)); and road construction, including construction of a road that does not currently exist, or extension of an existing road, is subject to the Sonoma County Fire Safety Ordinance (Sonoma County Code). All applications for development approvals must be approved by the Sonoma County Fire Marshal, and shall be accompanied by: plans, engineering calculations, and other data necessary to determine compliance with the provisions of the codes, and shall be in compliance with the following conditions: *(Ref. California Code of Regulations Title-14, Division 1.5, Chapter 7, Subchapter 2, Articles 1 – 5, & Sonoma County Code Chapter 13, Article IV, Section 13-17 & Sonoma County Code Chapter 13, Article V, Division A, Section 13-24)*

1. Due to the scope of this project a Fire Services Pre-Construction meeting is suggested.
  
2. If this project is determined to be a "Project" according to the California Environmental Quality Act (CEQA), the Sonoma County Fire and Emergency Services shall be listed as a Responsible Agency for purposes of review and comment.



3. The subject property must currently be in full compliance with Zoning regulations, Building Code regulations, Hazardous Materials regulations, and Fire Code Regulations.
4. A building permit shall be obtained for the construction of any new structures, the addition or remodeling of any existing structure, or any change in the use or character of a building that will place it in a different occupancy group.
  - a. If the proposed six-bedroom residential facility is intended to house occupants who are primarily transient in nature, the building shall be constructed as an R-1 Occupancy as defined in the 2010 California Building Code.
  - b. The maximum area of an accessory use structure associated with a residential use of a property is 3,000 sq ft (including structures used for storage). The proposed 4,080 sq ft "residential storage building" shall be treated as a structure with a commercial use.
  - c. A building permit may be required for a change in use of existing buildings with an area of 39,270 sq ft to text storage.
5. This facility requires an annual fire safety inspection. The county or fire district which inspects the facility may charge and collect a fee for the inspection from the owner of the facility in an amount, as determined by the county or fire district, sufficient to pay its costs of that inspection.
6. Facility operator shall develop (or update) an emergency response plan consistent with Chapter 4 of the 2010 California Fire Code as adopted and amended by Sonoma County Code. Fire safety plans, emergency procedures, and employee training programs shall be approved by the fire code official.

**7.** Applicable Fire Code operational permits shall be obtained prior to the initiation of any activity where an operational permit is required by the California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Operational Permit may be required at this facility:

- a. Private educational facility
- b. Hazardous material: storing, transporting on site, dispensing, using or handling hazardous materials
- c. Hazardous Production Materials facility
- d. High-piled storage exceeding 500 square feet

- e. LP-gas Storage and use over 500 gallons water capacity and Operation of cargo tankers that transport LP-gas
- f. Open flames and candles in connection with an assembly area, dining area of a restaurant or drinking establishment
- g. Organized camp
- h. Place of assembly
- i. Residential occupancy housing 10 or more occupants
- j. Special events
- k. Temporary membrane structures, tents with an area in excess of 400 square feet

8. Applicable Fire Code construction permits shall be obtained prior to any construction that would require such permit required by California Fire Code as adopted and amended by Sonoma County Code. The following Fire Code Construction Permits may be required for this project:

- a. Automatic fire-extinguishing system
- b. Fire alarm and detection systems and related equipment
- c. Fire pumps and related equipment
- d. Private fire hydrant

9. To facilitate locating an emergency and to avoid delays in response; all existing and newly constructed or approved roadways and buildings whether public or private shall provide for safe access for emergency fire apparatus and civilian evacuation concurrently, and shall provide unobstructed traffic circulation during an emergency, and shall be constructed and maintained as required by Sonoma County Fire Safe Standards and the California Fire Code, as adopted and amended by Sonoma County Code.

- a. All roadways shall provide year-round unobstructed access to conventional drive vehicles, including sedans and fire engines as required by Sonoma County Fire Safe Standards.
- b. All existing roadway structures, such as bridges and crossings, that are part of an emergency access shall have their allowable weight limit (as determined by an engineer qualified to evaluate roadway structures) posted as required by the California Fire Code as adopted and amended by Sonoma County Code.
- c. All roadways shall be identified by approved road names posted on signs clearly visible and legible from the roadway and at interchanges, as

required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.

- d. All buildings shall be identified by approved address numbers, posted on signs clearly visible and legible from the roadway and at interchanges, as required by the California Fire Code as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - e. Any newly created or approved roadways, newly constructed roadways, extended roadways, and reconstructed or improved roadways shall be constructed and maintained in compliance with the California Fire Code, as adopted and amended by Sonoma County Code, and as required by Sonoma County Fire Safe Standards.
  - f. An affirmative covenant, that includes a road maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.
  - g. Individual parcels, buildings, or groups of buildings served by a private driveway or similar roadway system, shall be provided with an address directory as determined by the County Fire Marshal. The address directory shall be placed at the intersection of those roads, streets and/or private lanes. The directory shall be maintained by the property owner, Homeowner's Association, or other individual or group in charge of the property.
10. Emergency water supply for fire protection shall be available and accessible in locations, quantities and delivery rates as specified in the California Fire Code as adopted and amended by Sonoma County Code.
- a. Fire hydrants shall be installed as required by the California Fire Code as adopted and amended by Sonoma County Code.
  - b. Emergency water supply for fire suppression may be provided in a naturally occurring or manmade containment structure for projects not served by a municipal water system, as long as the specified quantity and delivery rate is immediately provided.
  - c. An affirmative covenant, that includes an emergency water system maintenance agreement approved by the County Fire Marshal, shall be created which shall run with the land in perpetuity.

11. To reduce the intensity of a wildfire by reducing the volume and density of flammable vegetation, the strategic siting of fuel modification and greenbelts shall provide (1) increased safety for emergency fire equipment and evacuating civilians; and (2) a point of attack or defense from a wildfire, and shall be in accordance with the California Fire Code as adopted and amended by Sonoma County Code and Sonoma County Fire Safe Standards.

- a. On each parcel, building setbacks shall be in compliance with the California Fire Code and California Building Code as adopted and amended by Sonoma County Code, and Sonoma County Fire Safe Standards Section 13-55.
- b. All existing buildings shall meet the requirements of: California Code of Regulations, Title-19, Division-1, Section 3.07(b); Chapter 3 of the California Fire Code as adopted and amended by Sonoma County Code; and Chapter 49 of the California Fire Code as adopted and amended by Sonoma County Code.
- c. Any development which designates a facility or land use as a greenbelt shall locate the greenbelt strategically, as a separation between wildland fuels and buildings. The Director of Permit and Resource Management shall approve the location of any greenbelt.
- d. Building setbacks shall be in compliance with Sonoma County Fire Safe Standards Section 13-55.
- e. In areas designated as high- or very-high fire severity areas, an approved a vegetation management plan and agreement to perform annual maintenance shall be provided by the applicant and approved by the County Fire Marshal.
- f. An affirmative covenant, that includes a vegetation management maintenance agreement approved by the County Fire Marshal, which shall run with the land in perpetuity, shall be provided.

12. Existing buildings shall be brought into compliance with the requirements of Chapter 46 of the California Fire Code as adopted and amended by Sonoma County Code.

13. Fire protection systems shall be installed within buildings and structures in compliance with California Fire Code as adopted and amended by Sonoma County Code.
14. Emergency responder radio coverage system shall be provided in compliance with Section 510 of the California Fire Code as adopted and amended by Sonoma County Code.
15. Prior to occupancy, written approval that the required improvements have been installed shall be provided to PRMD from the County Fire Marshal/Local Fire Protection District.

## Cynthia Demidovich

---

**From:** Roberta MacIntyre  
**Sent:** Monday, December 09, 2013 3:28 PM  
**To:** 'Vern Losh'; 'Vern Losh'  
**Cc:** DeWayne Starnes; Cynthia Demidovich; Ben Neuman; Timber Cove FPD  
**Subject:** Ratna Ling Meeting Follow-Up Letter  
**Attachments:** Vern Losh Nov 14 2013 Meeting Followup Letter.pdf

Mr. Losh,

Attached is a copy of my letter summarizing our meeting on November 14, 2013. It appears that the outstanding issues related to Fire approval of the buildings are:

- Fire sprinkler system must be brought into compliance for a permanent structure
- Apparatus access is required to within 150 feet of all portions of the exterior of buildings
- Confirmation is needed that heat-detection was added to the fire alarm system in addition to fire sprinkler system monitoring (I don't remember checking this at the site-visit)
- Proof that the membrane structure(s) meet the non-combustibility requirements of ASTM - E 136, or the fire propagation performance criteria of NFPA 701. (I have not been able to confirm this with the information provided or an internet search of the product.)

Please let me know if you have any questions.

Respectfully,

**Roberta MacIntyre, Assistant Chief/Fire Marshal**  
**Sonoma County Fire & Emergency Services Department**  
**Fire Prevention Division**  
**2300 County Center Drive - Suite 220-B, Santa Rosa CA, 95403**  
**(707) 565-1154**



**Attorney-client communication/Privileged and confidential**

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County of Sonoma  
FIRE & EMERGENCY SERVICES DEPARTMENT

FIRE SERVICES \* EMERGENCY MANAGEMENT \* HAZARDOUS MATERIALS



Al Terrell, DIRECTOR/FIRE CHIEF

December 9, 2013

Vern Losh,  
1306 Creekside Court  
Healdsburg, CA 95448

Dear Mr. Losh,

This letter is a follow-up of our meeting on November 14, 2013 related to Permit No. PLP08-0021.

The following items were noted as items requiring attention to meet Condition #3, Condition #4-c, Condition #7, and Condition #11-b of County Fire Marshal comments related to Permit No. PLP08-0021 dated July 5, 2011. Following the date of these comments, site visits were conducted to determine the status of the noted items. The results of the site visits are provided in italics following each item.

1. Additions, remodels, and other improvements made to structures without the approval of the County through the construction permitting process shall be made code compliant. (For example the addition to membrane structure #1 and the lack of fire sprinkler protection therein.) (2010 CBC 1.8.4.1)

*Those items previously noted have been corrected. No future additions, remodels, etc requiring a building code permit or fire code permit shall be initiated without obtaining approval (through the permitting process) from the authority having jurisdiction to move forward with the proposed improvements.*

2. A building area analysis shall be provided to County Fire which describes the actual calculated areas of membrane structure 1 & the print-shop, and membrane structure 3 & 4, to determine if their individual areas are considered separately making them separate buildings, or if their individual areas are considered as part of an aggregate area making them a single building regardless of being independent structures. In the event that membrane structure #1 and the print shop are considered as two independent buildings, a separate

fire sprinkler riser shall be provided for each separate building. In the event that membrane structure #3 and membrane structure #4 are considered as two independent buildings, a separate fire sprinkler riser shall be provided for each separate building. (CBC & NFPA codes applied at time of const. - see also 2010 NFPA13 Sec 8.2.5)

*It has been determined that the buildings are within their allowable areas.*

3. Fire protection systems for each of the four membrane structures shall be reviewed for compliance with approved plans and code requirements at time of construction. Fire protection system permits shall be reviewed for completeness and system owner shall work with County Fire & PRMD to resolve any outstanding permit issues. This may include outstanding inspections, tests, certifications, etc. Additional fees for time invested by County staff not already captures as part of the permit at time of issuance shall be as provided by current fee schedule. (CBC & CFC codes applied at time of const. and 2010 CFC 104.7)

**The fire sprinkler systems shall be brought into compliance with the requirements in effect at time of construction.**

4. Evidence shall be provided to County Fire that demonstrates fire access in compliance with the applicable Fire Code. (CFC at time of construction for construction & 2010 CFC 501.1 for maintenance)

**Fire apparatus access within 150 feet of all portions of the exterior of structures is required.**

5. To provide early detection and prevent conflagration and/or a wildland fire, the fire alarm system used to provide fire sprinkler system monitoring shall be improved to include detection of products of combustion. Heat detection may be used in areas not suitable for detection of products of combustion with approval of County Fire Marshal. (2010 CFC 102.1-4)

**Confirmation that fire alarm system is provide with heat detection in addition to sprinkler system monitoring is required. A fire alarm permit may be required for modifications to the fire alarm system.**

6. There shall be a minimum clearance of at least 3 feet (914 mm) between the fabric envelope and all contents located inside membrane structures. (2010 CFC 2404.11)

*This item was in compliance at time of site-visit. This is a maintenance requirement and not part of the building requirements.*



7. Fire protection systems shall be maintained, inspected and tested in accordance with California regulations and code requirements. Documents of the system maintenance, inspection and tests for the past five years shall be provided to County Fire. (2010 CFC 901.6)

*This is a maintenance requirement and not part of the building requirements.*

8. To provide for improved firefighting opportunities during an interior fire attack, and to prevent large fires beyond the capabilities of local firefighting forces, pile storage of combustible material shall be limited to 75 feet in any direction in addition to the 12 foot height limitation. (2010 CFC 102.1-4 & 2306.2)

*This item was in compliance at time of site-visit. This is a maintenance requirement and not part of the building requirements.*

9. Aisles and distances between piles in buildings, or portions of buildings, used for combustible storage shall be a minimum of 44 inches (1118 mm) wide. (2010 CFC 315.2, 2010 CFC 102.1-4 & 2010 CFC 2306.9.1.1)

*This item was in compliance at time of site-visit. This is a maintenance requirement and not part of the building requirements.*

10. Membrane structure tops and sidewalls shall be made either from fabric which has been flame resistant treated with an approved exterior chemical process by an approved application concern, or from inherently flame resistant fabric approved and listed by the State Fire Marshal (see CCR, Title 19, Division 1, Chapter 8). An affidavit or affirmation shall be submitted to the fire code official and a copy retained on the premises on which the membrane structure is located. The affidavit shall attest to one of the following relative to the flame propagation performance criteria of the fabric: (2010 CFC 102.1-4 & 2010 CBC 3102.3.1)

- a. Membranes and interior liners are noncombustible as set forth in the California Building Code that applied at time of construction.
- b. Membranes and interior liners are noncombustible as set forth in the 2010 California Building code Section 703.4
- c. Membranes and interior liners are flame resistant in accordance with appropriate standards set forth in CCR, Title 19, Division 1, Chapter 8.

*The applicable code is the 2007 California Building Code as adopted and amended by Sonoma County Code, which was the code in effect at time of construction.*

*The Building Official has determined that the membrane structures are "ancillary buildings". As stated in Section 704 A.5.1 of the 2007 California Building Code, as*

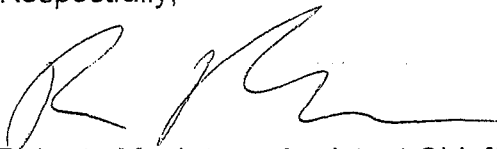
*adopted and amended by Sonoma County Code, the requirements of Chapter 7A of the 2007 California Building Code, are only applicable to ancillary buildings when required by the enforcing agency. It has been determined by the building official that the requirements of Chapter 7A of the 2007 California Building Code, as adopted and amended by Sonoma County Code, do not apply to these ancillary structures.*

*However, the fire resistive properties of the structures are governed by Section 3102 of the 2007 California Building Code, as adopted and amended by Sonoma County Code, and data satisfying this requirement (2007 CBC Sec 3102.1 & Sec 704.4 respectively) have yet to be provided to the local Fire Chief and the County Fire Marshal. (See attached copies of applicable code sections.)*

In summary: Items 3, 4, 5 and 10 still require attention. The balances of the noted items have either been corrected or are maintenance items which will be monitored as part of a routine fire inspection. I look forward to working with you to gain compliance with the remaining items.

Thank you for making fire safety a priority. Please let me know if I may be of further assistance.

Respectfully,



Roberta MacIntyre, Assistant Chief/Fire Marshal  
Sonoma County Fire and Emergency Services

Cc: Cynthia Demidovich PRMD, Planner III – PRMD; DeWayne Starnes, Deputy Director Engineering -PRMD; Chief Singer, Timber Cove FPD – 30800 Seaview Rd. Cazadero, CA 95421

# CHAPTER 31

## SPECIAL CONSTRUCTION

### SECTION 3101 GENERAL

**3101.1 Scope.** The provisions of this chapter shall govern special building construction including membrane structures, temporary structures, pedestrian walkways and tunnels, awnings and canopies, marquees, signs, and towers and antennas.

### SECTION 3102 MEMBRANE STRUCTURES

**3102.1 General.** The provisions of this section shall apply to air-supported, air-inflated, membrane-covered cable and membrane-covered frame structures, collectively known as membrane structures, erected for a period of 180 days or longer. Those erected for a shorter period of time shall comply with the *California Fire Code*. Membrane structures covering water storage facilities, water clarifiers, water treatment plants, sewage treatment plants, greenhouses and similar facilities not used for human occupancy, are required to meet only the requirements of Sections 3102.3.1 and 3102.7.

**3102.2 Definitions.** The following words and terms shall, for the purposes of this section and as used elsewhere in this code, have the meanings shown herein:

**AIR-INFLATED STRUCTURE.** A building where the shape of the structure is maintained by air pressurization of cells or tubes to form a barrel vault over the usable area. Occupants of such a structure do not occupy the pressurized area used to support the structure.

**AIR-SUPPORTED STRUCTURE.** A building wherein the shape of the structure is attained by air pressure and occupants of the structure are within the elevated pressure area. Air-supported structures are of two basic types:

**Double skin.** Similar to a single skin, but with an attached liner that is separated from the outer skin and provides an airspace which serves for insulation, acoustic, aesthetic or similar purposes.

**Single skin.** Where there is only the single outer skin and the air pressure is directly against that skin.

**CABLE-RESTRAINED, AIR-SUPPORTED STRUCTURE.** A structure in which the uplift is resisted by cables or webbings which are anchored to either foundations or dead men. Reinforcing cable or webbing is attached by various methods to the membrane or is an integral part of the membrane. This is not a cable-supported structure.

**MEMBRANE-COVERED CABLE STRUCTURE.** A nonpressurized structure in which a mast and cable system provides support and tension to the membrane weather barrier and the membrane imparts stability to the structure.

**MEMBRANE-COVERED FRAME STRUCTURE.** A nonpressurized building wherein the structure is composed of a

rigid framework to support a tensioned membrane which provides the weather barrier.

**NONCOMBUSTIBLE MEMBRANE STRUCTURE.** A membrane structure in which the membrane and all component parts of the structure are noncombustible.

**3102.3 Type of construction.** Noncombustible membrane structures shall be classified as Type IIB construction. Noncombustible frame or cable-supported structures covered by an approved membrane in accordance with Section 3102.3.1 shall be classified as Type IIB construction. Heavy timber frame-supported structures covered by an approved membrane in accordance with Section 3102.3.1 shall be classified as Type IV construction. Other membrane structures shall be classified as Type V construction.

**Exception:** Plastic less than 30 feet (9144 mm) above any floor used in greenhouses, where occupancy by the general public is not authorized, and for aquaculture pond covers is not required to meet the fire propagation performance criteria of NFPA 701.

**3102.3.1 Membrane and interior liner material.** Membranes and interior liners shall be either noncombustible as set forth in Section 703.4 or meet the fire propagation performance criteria of NFPA 701 and the manufacturer's test protocol.

**Exception:** Plastic less than 20 mil (0.5 mm) in thickness used in greenhouses, where occupancy by the general public is not authorized, and for aquaculture pond covers is not required to meet the fire propagation performance criteria of NFPA 701.

**3102.4 Allowable floor areas.** The area of a membrane structure shall not exceed the limitations set forth in Table 503, except as provided in Section 506.

**3102.5 Maximum height.** Membrane structures shall not exceed one story nor shall such structures exceed the height limitations in feet set forth in Table 503.

**Exception:** Noncombustible membrane structures serving as roofs only.

**3102.6 Mixed construction.** Membrane structures shall be permitted to be utilized as specified in this section as a portion of buildings of other types of construction. Height and area limits shall be as specified for the type of construction and occupancy of the building.

**3102.6.1 Noncombustible membrane.** A noncombustible membrane shall be permitted for use as the roof or as a skylight of any building or atrium of a building of any type of construction provided it is at least 20 feet (6096 mm) above any floor, balcony or gallery.

**3102.6.1.1 Membrane.** A membrane meeting the fire propagation performance criteria of NFPA 701 shall be permitted to be used as the roof or as a skylight on build-

**703.3 Alternative methods for determining fire resistance.** The application of any of the alternative methods listed in this section shall be based on the fire exposure and acceptance criteria specified in ASTM E 119. The required fire resistance of a building element shall be permitted to be established by any of the following methods or procedures:

1. Fire-resistance designs documented in approved sources.
2. Prescriptive designs of fire-resistance-rated building elements as prescribed in Section 720.
3. Calculations in accordance with Section 721.
4. Engineering analysis based on a comparison of building element designs having fire-resistance ratings as determined by the test procedures set forth in ASTM E 119.
5. Alternative protection methods as allowed by Section 104.11.

**703.4 Noncombustibility tests.** The tests indicated in Sections 703.4.1 and 703.4.2 shall serve as criteria for acceptance of building materials as set forth in Sections 602.2, 602.3 and 602.4 in Type I, II, III and IV construction. The term "noncombustible" does not apply to the flame spread characteristics of interior finish or trim materials. A material shall not be classified as a noncombustible building construction material if it is subject to an increase in combustibility or flame spread beyond the limitations herein established through the effects of age, moisture or other atmospheric conditions.

**703.4.1 Elementary materials.** Materials required to be noncombustible shall be tested in accordance with ASTM E 136.

**703.4.2 Composite materials.** Materials having a structural base of noncombustible material as determined in accordance with Section 703.4.1 with a surfacing not more than 0.125 inch (3.18 mm) thick that has a flame spread index not greater than 50 when tested in accordance with ASTM E 84 shall be acceptable as noncombustible materials.

## SECTION 704 EXTERIOR WALLS

**704.1 General.** Exterior walls shall comply with this section.

**704.2 Projections.** Cornices, eave overhangs, exterior balconies and similar projections extending beyond the floor area shall conform to the requirements of this section and Section 1406. Exterior egress balconies and exterior exit stairways shall also comply with Sections 1014.5 and 1023.1, respectively. Projections shall not extend beyond the distance determined by the following two methods, whichever results in the lesser projection:

1. A point one-third the distance to the lot line from an assumed vertical plane located where protected openings are required in accordance with Section 704.8.
2. More than 12 inches (305 mm) into areas where openings are prohibited.

**704.2.1 Type I and II construction.** Projections from walls of Type I or II construction shall be of noncombustible

materials or combustible materials as allowed by Sections 1406.3 and 1406.4.

**704.2.2 Type III, IV or V construction.** Projections from walls of Type III, IV or V construction shall be of any approved material.

**704.2.3 Combustible projections.** Combustible projections located where openings are not permitted or where protection of openings is required shall be of at least 1-hour fire-resistance-rated construction, Type IV construction, fire-retardant-treated wood or as required by Section 1406.3.

**Exception:** Type V construction shall be allowed for R-3 occupancies.

**704.3 Buildings on the same lot.** For the purposes of determining the required wall and opening protection and roof-covering requirements, buildings on the same lot shall be assumed to have an imaginary line between them.

Where a new building is to be erected on the same lot as an existing building, the location of the assumed imaginary line with relation to the existing building shall be such that the exterior wall and opening protection of the existing building meet the criteria as set forth in Sections 704.5 and 704.8.

**Exception:** Two or more buildings on the same lot shall either be regulated as separate buildings or shall be considered as portions of one building if the aggregate area of such buildings is within the limits specified in Chapter 5 for a single building. Where the buildings contain different occupancy groups or are of different types of construction, the area shall be that allowed for the most restrictive occupancy or construction.

**704.4 Materials.** Exterior walls shall be of materials permitted by the building type of construction.

**704.5 Fire-resistance ratings.** For other than high-rise buildings, Group A, E, H, I, L and R occupancies and other applications listed in Section 111 regulated by the Office of the State Fire Marshal, exterior walls shall be fire-resistance rated in accordance with Tables 601 and 602. The fire-resistance rating of exterior walls with a fire separation distance of greater than 5 feet (1524 mm) shall be rated for exposure to fire from the inside. The fire-resistance rating of exterior walls with a fire separation distance of 5 feet (1524 mm) or less shall be rated for exposure to fire from both sides.

For high-rise buildings, Group A, E, H, I, L and R occupancies and other applications listed in Section 111 regulated by the Office of the State Fire Marshal, exterior walls shall be fire-resistance rated in accordance with Tables 601 and 602. The fire-resistance rating of exterior walls be rated for exposure to fire from both sides.

**704.6 Structural stability.** The wall shall extend to the height required by Section 704.11 and shall have sufficient structural stability such that it will remain in place for the duration of time indicated by the required fire-resistance rating.

**704.7 Unexposed surface temperature.** Where protected openings are not limited by Section 704.8, the limitation on the rise of temperature on the unexposed surface of exterior walls as required by ASTM E 119 shall not apply. Where protected



# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

### MEMO

**Date:** July 17, 2013  
**To:** Cynthia Demidovich  
**From:** Ben Neuman, Manager, Building and Safety Division  
**Subject:** Ratna Ling property, 35755 Hauser Bridge Rd

Cynthia,

In February 2010, PRMD received a complaint alleging Ratna Ling was in violation of multiple conditions of use permit UPE04-0032, construction of multiple canvas structures called "Yomes" without permit, use of incinerator toilets without permit, construction of several wood framed structures without permit and the conversion of a loading dock to a production facility without permit.

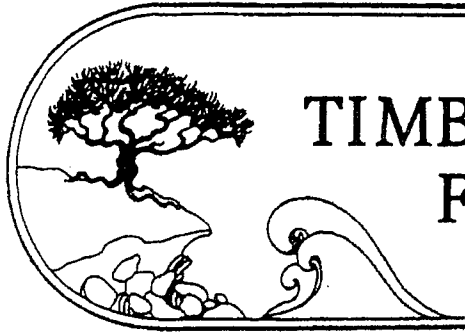
In response to the complaint, a site inspection was conducted by PRMD staff who verified construction of the canvas structures, use of incinerator toilets and construction of two wood framed structures. Additional research was required to determine if there were use permit violations and if permits were issued for the loading dock conversion. PRMD verbally informed Ratna Ling that the Yomes, incinerator toilets and wood framed structures were in violation of county code and requested book production information to determine if a violation of the use permit exists. However, since this investigation was not complete, neither a violation file, nor a violation notice was sent.

Ratna Ling provided book production information as requested. Review of those records indicated the allowed book production levels were exceeded for a time, but production levels had returned to allowable levels. Ratna Ling notified enforcement staff that they voluntarily removed the Yomes, incinerator toilets and wood framed structures. Subsequent review of building permit records noted that building permit approvals were given for the conversion of the loading dock and Ratna Ling staff provided verification the unpermitted structures were removed.

In June 2012, PRMD received new inquiries regarding the status of four temporary tents. A site inspection conducted on June 15, 2012 found that three of the four tents were built, inspected and approved by PRMD. The fourth tent did not obtain all required inspections and had a attached wood framed employee's office that was not included with the permit. Ratna Ling was verbally informed of the deviation from approved plans during the site inspection. In response to the verbal notification, Ratna Ling obtained demolition permit DEM12-0174, completed demolition of the office and obtained final inspection prior to issuance of either a correction or violation notice.

At this point in time, there are no pending investigations or active violations for this property.

EXHIBIT Y



# TIMBER COVE F. P. D.

December 2, 2013

Permit & Resource Management Department  
2550 Ventura Avenue  
Santa Rosa, CA 95403

Attention: DeWayne Starnes, Deputy Director of Engineering & Construction  
Project: PLP08-0021 Ratna Ling Master Use Permit Application  
ZPE08-0074 Temporary Storage Structures

Dear DeWayne

The Timber Cove Fire Protection District has serious concerns about the code compliance of the subject temporary Storage Structures which were approved to be permanent by the Board of Zoning Adjustments (BZA) on April 5, 2012.

As the Fire Chief of the Timber Cove Fire Protection District (TCFPD) I am contacting you regarding Chapter 7A California Building Code issues relative to the Ratna Ling printing operations expansion project.

As fire chief I appeared at that BZA hearing and testified on the issue of High Pile Industrial Storage for the subject Ratna Ling printing operation expansion project in the TCFPD and the fact that we are not trained for nor equipped to handle high pile industrial storage fires.

(Ratna Ling has claimed that the storage in these buildings which have ridge heights of 48' is limited to 12' high - which exempts them from high pile storage requirements. however, this claim has never been confirmed by fire or building officials on an un-announced inspection)

To give you a sense of the size of these structures, the two large tents amount to 30,000 square feet, which is the equivalent of 15 2,000 square foot houses with a volume of almost 1 million cubic feet.

EXHIBIT Z

**TIMBER COVE FIRE PROTECTION DISTRICT**  
30800 SEAVIEW ROAD CAZADERO, CA 95421 PHONE (707) 847-3299 (707)847-3279 FAX

The BZA approvals of the project were appealed to the Board of Supervisors and the hearing is on January 28, 2014

Since the BZA hearing, I have been working with Sonoma County Fire Marshall Macintyre regarding code compliance issues should these temporary structures be made permanent, specifically Chapter 7A of the 2010 CBC, Wildland Urban Interface.

## **HISTORY**

The 39,000 square foot "tents" were originally approved by PRMD with Temporary Zoning Permits in 2008 by Administrative Decision. (**ZPE08-0074 4-21-08**) The approval letter from PRMD stated ..."The Zoning Permit shall expire on March 25, 2011, as **the storage use is considered temporary.**" (emphasis added)

There was no public notification, no public hearing, no request for comment from the local Fire District or any other county or state agencies, and no CEQA review. The tents were approved on a categorical exemption based on the applicant's statement that the tent structures were to be **temporary**.

On April 5, 2012 without any further regulatory scrutiny, 39,000 square feet of **temporary** fabric Industrial Combustible Storage Warehouses were approved as **permanent** structures by the BZA without any CEQA or Building Code analysis as permanent structures.

On January 28, 2014, the project is scheduled to come before the Board of Supervisors on appeal.

## **CODE COMPLIANCE ISSUES**

### **Chapter 7A 2010 UBC**

**701A.3 Application.** New buildings located in any Fire Hazard Severity Zone or any Wildland-Urban Interface Fire Area designated by the enforcing agency constructed after the application date shall comply with the provisions of this chapter

#### **701A.3.1 Application date and where required Exceptions**

1. New buildings located in any Fire Hazard Severity Zone within **State Responsibility Areas**, for which an application for a building permit is submitted on or after January 1, 2008, shall comply with all sections of this chapter (The Timber Cove Fire Protection District is in **SRA**.)

Ratna Ling's application for **Temporary** Storage Structures was made on March 12, 2008, which is after the date of exemption.

Ratna Ling's application for **Permanent** Storage status was made on March 6, 2011, well after the date of exemption.

Therefore these structures must comply with Chapter 7A of 2010 CBC.

Following are comments from Fire Marshall Macintyre's Major Pre-Application Meeting Fire Comments dated July 5, 2011:

"A building permit may be required for a change in use of existing buildings with an area of 39,270 sq ft to text storage."

"the subject property must currently be in full compliance with Zoning regulations, Building Code regulations .....and Fire Code Regulations."

It is apparent from CBC citations and the Fire Marshall's comments that these permanent tent structures require a building permit, and they will not be exempt from Chapter 7A since the exemption deadline had expired prior to application submittals.

## **CHAPTER 7A**

The drawings for building permit for the **temporary** tents submitted on March 24, 2008 state that the fabric has the following ratings:

Scale Flame Spread:     **ASTM E-84**  
Drip Flame Spread:     **CAN/ULC S-102**

While this fabric meets the conditions of **temporary tent** structures in the CFC, since they are now **permanent** structures they must meet the higher standard of Chapter 7A:

**Roofing:**                   Class A Listed

### **Exterior Wall**

**Covering Material**       1. Noncombustible Material.....or  
                                  2. **Ignition Resistant Material** as defined below:

### **704A.2 Ignition-resistant material.**

Ignition-resistant material shall be determined in accordance with the test procedures set forth in **SFM Standard 12-7A-5 "Ignition-Resistant Material"** or in accordance with this section.



**ASTM Standard E-84** tests **tent** fabric and membrane fabric with direct flame for **10 minutes**.

**SFM Standard 12-7A-5** uses E-84, but requires direct flame for **30 minutes**.

I recently talked to the State Fire Marshall who administers the testing standards of 12-7A-5, and to date there is no tent fabric or membrane material that has received Ignition Resistant Material listing under 12-7A-5. He further stated categorically that no tent or membrane fabric would be able to pass the 12-7A-5 standard.

Fire Marshal Macintyre has had ongoing discussions with Ratna Ling since the BZA hearing 7 months ago and to date, has not been presented any certification of compliance for these structures.

As stated at the beginning of this letter, the reason I am contacting you is that Fire Marshal Macintyre recently informed me that she only has jurisdiction over certain issues such as fire sprinklers, and that **Chapter 7A CBC issues are the jurisdiction of PRMD**.

I would appreciate it if PRMD would make an assessment of the subject project and come up with a ruling as to whether or not the structures comply with 2010 CBC prior to the Board of Supervisor's hearing on January 28, 2014.

Please send me a copy of the ruling.

Thanks

Michael (Zippy) Singer, Chief  
Timber Cove Fire Protection District

cc: Fire Marshall Macintyre

Note: Although I am known in the community to be personally opposed to Ratna Ling's expansion, this letter is written strictly as the Fire Chief of this district, and this letter has been approved by the Board of Directors of the Timber Cove Fire Protection District.

(I will send you a hard copy of this letter with my signature)

December 11, 2013

Permit & Resource Management Department  
2550 Ventura Avenue  
Santa Rosa, CA 95403  
Attention: DeWayne Starnes, Deputy Director of Engineering & Construction

Project: PLP08-0021 Ratna Ling Master Use Permit Application  
ZPE08-0074 Temporary Storage Structures

Dear DeWayne

Thank you for forwarding me your letter dated October 10, 2013 regarding the subject project..

After reviewing the content and researching the data, I respectfully disagree with some of your analyses and conclusions.

I accept that the original 2008 Temporary Tent applications do not fall under Chapter 7A of 2007 CBC due to local ordinance, even though they were filed after January 1, 2008

However, your statement that the tent membrane structures are **Accessory Structures** and therefore exempt from Chapter 7A requirements is incorrect.

**701A.3 Application.** New buildings located in any Fire Hazard Severity Zone or any Wildland-Urban Interface Fire Area, as designated by the enforcing agency and constructed after the application date shall comply with the provisions of this chapter.

**Exceptions:**

1. Buildings of an accessory character classified as a **Group U** occupancy and not exceeding 120 square feet in floor area, when located at least 30 feet from an applicable building.
2. Buildings of an accessory character classified as **Group U** occupancy of any size located least 50 feet from an applicable building.

EXHIBIT A A

3. Buildings classified as a **Group U Agricultural Building**, as defined in Section 202 of this code

## **SECTION 312**

### **UTILITY AND MISCELLANEOUS GROUP U**

**312.1 General.** Buildings and structures of an accessory character and miscellaneous structures **not classified in any specific occupancy** shall be constructed, equipped and maintained to conform to the requirements of this code **commensurate with the fire and life hazard incidental to their occupancy.** Group U shall include, but not be limited to, the following:

Agricultural buildings  
Aircraft hangars, accessory to a one- or two-family  
Residence (see Section 412.5)  
Barns  
Carports  
Fences more than 6 feet (1829 mm) high  
Grain silos, accessory to a residential occupancy  
Greenhouses  
Livestock shelters  
Private garages  
Retaining walls  
Sheds  
Stables  
Tanks  
Towers

The above miscellaneous building descriptions do not describe the structures in question nor do they come under the category of "but not be limited to" since they are classified as a specific occupancy as follows, as referenced in section 312.1 above:

These structures are clearly described in Section 311.2 of the 2007 CBC as **Group S -1 Moderate Hazard Storage: Books and paper in rolls or packs.**

I can find no code basis to justify calling these structures Accessory. Please send me the reference code you used to qualify these structures as "**Accessory.**"

These flammable membrane structures are 39,000 square feet in area. They are the size of 19 2,000 square foot houses, with a ridge line of 48' high and a volume of 1,000,000 cubic feet. They are flammable book and paper, high pile, industrial storage warehouses.

(See Photo \* attached) Source: Dharma Press Website 3/2010

## HISTORY & CHRONOLOGY

The 39,000 square foot "tents" were originally approved with **Temporary Zoning Permits** in 2008 by **Administrative Decision**. There was no public notification, no public hearing, no request for comment from the local Fire District or any other county or state agencies and no CEQA review. The tents were approved on a **categorical exemption** based on the applicant's statement that the tent structures were to be **temporary**.

The Temporary Zoning permits were granted for **one year maximum**, non-renewable.

However, now that the storage warehouses are proposed to be **permanent** they lose the categorical exemption for temporary building status, and must be reviewed under all regulatory procedures including CEQA analysis, building permits as permanent structures, fire code review, and all other standard permit processes which were omitted based on the applicant's declaration that the structures would be **temporary**.

Yes, PRMD did plan check the subject structures in 2008 as permanent buildings for structural criteria.

However, the membrane fabric submitted has a Flame Spread Rating of ASTM E-84 which is the standard for a **Tent** structure, which, by CBC and CFC definition, is a Temporary Structure in place for **one year or less** and is not applicable to a permanent building.

As Fire Marshal Macintyre points out in her letter dated December 9, 2013, the membrane fire resistance must meet Section 703.4. for non-combustibility, or the fire propagation performance criteria of NFPA 70, or Testing Standard 12-7A-1 Chapter 7A 2007 CBC.

The Flame Spread Rating of ASTM E-84 meets none of these standards.

Therefore, the structures must be plan checked as permanent structures and the application date for plan check as permanent structures should be the date of application for **permanent** status: PLP08-0021 **May 27, 2011**. The code in effect would be the CBC 2010 Edition and Chapter 7A and Section 703.4 would apply, as well as CEQA.

Yours Truly,

Michael (Zippy) Singer, Chief  
Timber Cove Fire Protection District

cc: Tennis Weeks, Director, PRMD  
Roberta Macintyre, Sonoma County Fire Marshal  
Rose Zoia, Attorney at Law



**COUNTY OF SONOMA**  
**PERMIT AND RESOURCE MANAGEMENT DEPARTMENT**

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

**MEMO**

**Date:** March 19, 2014

**To:** Cynthia Demidovich

**From:** Ben Neuman, Manager, Building and Safety Division

**Subject:** Ratna Ling property, PLP08-0021

Cynthia,

PRMD Code Enforcement Section recently received two complaints regarding Ratna Ling. Both complaints questioned a number of issues and are addressed individually in this memo. Following normal enforcement procedure, each complaint was assigned an activity number for tracking and documentation purposes.

Both complaints, each filed by separate complainants, are requesting a determination regarding whether or not the issue under review was a violation of use permit UPE04-0032 at some point in time. It is critical to point out that using the criteria as requested by the complainants will most often result in finding a violation. Code Enforcement's stated goal is to investigate complaints in a professional manner and work collaboratively with property owners to obtain voluntary compliance whenever possible. It is when enforcement is faced with non-cooperation for a continuing violation that we rely on greater enforcement tools. Based on this goal, enforcement typically determines if a violation currently exists. The responses to both questions have been separated for clarity.

Review and findings for both complaints are as follows:

A complaint was received on February 24, 2014, that essentially duplicates a complaint PRMD received on February 25, 2010. The 2014 complaint was designated PRMD file **VCM14-0117** and identified eight issues for investigation. The following was determined:

**Issue 1 – Exceeding the allowed number/type of press equipment.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* Based on the information represented, this most likely was a violation at some point in time.

*Question:* Is this currently a violation of county code?

*Answer:* No, this issue was voluntarily resolved.

**Issue 2 – Exceeding the hours of press operation.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* Based on the information represented, this most likely was a violation at some point in time.

*Question:* Is this currently a violation of county code?

*Answer:* No, this issue was voluntarily resolved.

**Issue 3 – Exceeding book production limits.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* Due to the lack of definition of what a book constitutes, it is impossible to determine if book productions limits were exceeded.

*Question:* Is this currently a violation of county code?

*Answer:* No.

**Issue 4 – Press operations taking place outside of press facility.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* No.

*Question:* Is this currently a violation of county code?

*Answer:* No.

**Issue 5 – Exceeding maximum number of allowed workers.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* Based on the information represented, this most likely was a violation at some point in time.

*Question:* Is this currently a violation of county code?

*Answer:* No, this issue was voluntarily resolved

**Issue 6 – Worker housing constructed without permit.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* Based on the information represented, this was a violation at some point in time.

*Question:* Is this currently a violation of county code?

*Answer:* No, this issue was voluntarily resolved.

**Issue 7 – Exceeding the allowed number of book shipping and supply trucks.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* Based on the information represented, this most likely was a violation at some point in time.

*Question:* Is this currently a violation of county code?

*Answer:* No, this issue was voluntarily resolved

**Issue 8 – Is the press facility ancillary to the primary use?**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* The proportionality between primary and ancillary uses is not addressed in zoning regulations, or addressed in the subject use permit. Therefore, any determination would be speculative.

*Question:* Is this currently a violation of county code?

*Answer:* This determination is beyond the scope of Code Enforcement.

A complaint was received on February 25, 2014, that identified six issues for investigation. The complaint was designated PRMD file **VCM14-0126** and the following was determined:

**Issue 1 – The current use is not in compliance with current zoning.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* The question posed is subjective and does not specifically identify a violation of a use permit condition. A response is beyond the scope of this investigation.

*Question:* Is this currently a violation of county code?

*Answer:* A response is beyond the scope of this investigation.

**Issue 2 – Relocation of Dharma Press to Ratna Ling is a use permit violation.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* The relocation of Dharma Press was identified in the proposal statement submitted for UPE04-0032. The proposal statement was incorporated into Condition 38. Based on the information reviewed, this was not a violation at some point in time.

*Question:* Is this currently a violation of county code?

*Answer:* No.

**Issue 3 – Sales and distribution is a use permit violation.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* The proposal statement submitted for UPE04-0032 stated "The majority of books, prayer wheels, and sacred art that would be produced in the press facility are not offered by sale or advertised. A varying percentage of production consists of books in English which are offered for sale, but this too is considered a part of TNMC's religious function, by making the teachings more widely available. No customers would be allowed on the premises, and shipping for order fulfillment can be easily accommodated by the daily UPS pickups that already have a drop station at Odiyan itself." The proposal statement was incorporated into Condition 38.

Conflicting with this condition and as cited in the complaint, Condition 41 states that a commercial printing press facility is not allowed as part of this use permit. Based on the information reviewed, it is not possible to determine if this was a violation at some point in time. Additionally, the current use permit revision (PLP08-0021) under appeal specifically allows sales and advertisement.

*Question:* Is this currently a violation of county code?

*Answer:* Possibly, depending on the final decision on PLP08-0021. If sales and advertisement are prohibited, then this issue would become a violation.

**Issue 4 – Temporary tents should be removed with the expiration of ZPE08-0744 since they exceed height limits, do not meet fire codes and are a blight.**

*Question:* Was this a violation at some point in time?

*Answer:* There is no finding of a violation.

*Question:* Is this currently a violation of county code?

*Answer:* No.

**Issue 5 – Commercial printing is a violation of use permit UPE04-0032.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* My response is identical to the response given to Issue 3 of this complaint.

*Question:* Is this currently a violation of county code?

*Answer:* My response is identical to the response given to Issue 3 of this complaint.

**Issue 6 – Printing of non-textual articles is a violation of use permit UPE04-0032.**

*Question:* Was this a violation of UPE04-0032 at some point in time?

*Answer:* Printing of books, prayer wheels and sacred art are specifically addressed in the proposal statement and echoed in the staff report. Condition 38 of UPE04-0032 incorporates the proposal statement. Therefore, printing of non-textual articles is considered to be allowed under the use permit.



35755 Hauser Bridge Rd

March 19, 2014

5

*Question:* Is this currently a violation of county code?

*Answer:* No.

In summary, there are no current violations found for either VCM14-0117 or VCM14-0126. Use Permit (PLP08-0021) under appeal will clarify and address the sales aspect of religious texts and non-textual items. However, if the appeal is upheld, or the use permit withdrawn, Issues 3 and 5 under VCM14-0126 has the potential to become a violation of use permit UPE04-0032.

The Sea Ranch, California 95497  
11 March 2014

Via Email (Addresses below) and U.S. Mail

Members of the Board of Supervisors  
County of Sonoma  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

Re: Ratna Ling Buddhist Retreat Center

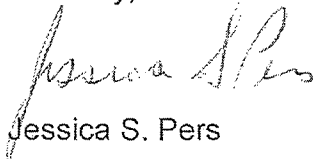
Dear Supervisors:

My husband and I are owners of a home in The Sea Ranch. We write to express our support for the pending Master Use Permit application of the Ratna Ling Retreat Center. We understand that this application received the unanimous approval of the Board of Zoning Adjustments after two public hearings in 2012 and that you will consider an appeal of that decision on April 8.

Several years ago we were privileged to attend a benefit dinner in San Francisco where we learned about the unique Buddhist sacred text preservation project which begins at Ratna Ling with the printing, binding and wrapping of books in the Tibetan language. Eventually, these sacred writings are shipped and distributed free of charge to monks, nuns and practitioners in Asia. Because the Chinese government destroyed entire monasteries and libraries, this text preservation project is sustaining a culture and heritage that would otherwise be lost.

We believe that it was both proper and commendable for Sonoma County to grant a use permit in 2004 that allowed this special project to be located at Ratna Ling as part of the Buddhist community's activities. We urge the Board to affirm the prior unanimous action of the Board of Zoning Adjustments so this important work may continue.

Sincerely,



Jessica S. Pers

[Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org)  
[David.Rabbitt@sonoma-county.org](mailto:David.Rabbitt@sonoma-county.org)  
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[cynthia.demidovich@sonoma-county.org](mailto:cynthia.demidovich@sonoma-county.org)

EXHIBIT C C

## Cynthia Demidovich

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**From:** Bob Dozor [bob@imcsr.com]  
**Sent:** Friday, March 14, 2014 3:00 PM  
**To:** Susan Gorin; David.Rabitt@sonoma-county.org; Shirlee Zane; Mike.Mcquire@sonoma-county.org; Efren.Carillo@sonoma-county.org  
**Cc:** Cynthia Demidovich; Ellen Barnett; Gene Gretchen; Bob Dozor  
**Subject:** Ratna Ling

Supervisor [Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org)  
Supervisor [David.Rabitt@sonoma-county.org](mailto:David.Rabitt@sonoma-county.org)  
Supervisor [Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org)  
Supervisor [Mike.Mcquire@sonoma-county.org](mailto:Mike.Mcquire@sonoma-county.org)  
Supervisor [Efren.Carillo@sonoma-county.org](mailto:Efren.Carillo@sonoma-county.org)  
[Cynthia.Demidovich@sonoma-county.org](mailto:Cynthia.Demidovich@sonoma-county.org)

Re: FILE PLP08-0021  
Ratna Ling Retreat Center

Dear Sonoma county supervisors:

As a Sonoma County resident, I am writing you to express my support for the Ratna Ling Retreat Center and the wonderful work they do in reproducing sacred texts for free distribution to Tibetan refugees, as well as providing educational and life experiences for folks like me and my children.

I have had the opportunity to enjoy the tranquil setting at Ratna Ling where the printing press can neither be seen nor heard. I know that many retreatants volunteer to work on the sacred texts as part of their retreat experience, as have I on a number of occasions. I found working in the bindery for a half day deeply meaningful. My wife and daughters have also worked there. One daughter lived and worked at Ratna Ling for an extended time before going to Graduate school.

I know that a few people oppose Ratna Ling, but I cannot understand why. I think that Ratna Ling is a great resource for Sonoma county and hope that the County continues to support their great work and approves their application.

Sincerely,

Bob Dozor



Bob Dozor, MD

Supervisor [Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org)  
Supervisor [David.Rabitt@sonoma-county.org](mailto:David.Rabitt@sonoma-county.org)  
Supervisor [Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org)  
Supervisor [Mike.Mcquire@sonoma-county.org](mailto:Mike.Mcquire@sonoma-county.org)  
Supervisor [Efren.Carillo@sonoma-county.org](mailto:Efren.Carillo@sonoma-county.org)  
[Cynthia.Demidovich@sonoma-county.org](mailto:Cynthia.Demidovich@sonoma-county.org)

Re: FILE PLP08-0021  
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As a Sonoma County resident, I am writing you to express my support for the Ratna Ling Retreat Center and the wonderful work they do in reproducing sacred texts for free distribution to Tibetan refugees, as well as providing educational and life experiences for folks like me and my children.

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Sincerely,

Bob Dozor

## Cynthia Demidovich

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**From:** Gene Gretchen [genegretchen@yahoo.com]  
**Sent:** Sunday, March 16, 2014 9:33 AM  
**To:** Cynthia Demidovich  
**Subject:** Fw: Ratna Ling

Like myself, all the staff at the Ratna Ling Buddhist retreat center volunteer, and being individuals, all have different motivations and takeaways. Most volunteer because they want to deepen their knowledge of Buddhism. Some, like myself, are motivated by the Tibetan Nyingma Mediation Center's devotion to world peace and its efforts to keep alive the Tibetan culture and language.

I have been involved with Ratna Ling for the past four years helping to improve systems and lower our environmental footprint. During this time over 100 volunteers have come and gone and with a few exceptions, all have left better and more productive citizens.

All volunteers are individual, therefore attempting to group them will never be 100% accurate but for the sake of simplicity let me propose three groups:

First, the younger work study volunteers who are in their mid twenties and come to Ratna Ling for a 6 month stay which includes a one month probation period. During the probation period they may leave without notice and we are free to ask them to leave. Surprisingly few elect to leave with well over 90% staying on to fulfill their 6 months. After the probation period volunteers are of course free to leave- they are not locked up and there are no monetary penalties for leaving early. Also, we retain the right to ask them to leave for disciplinary reasons. Again, few do not leave before 6 months: in the last four years I only recall 3 cases where volunteers left or where asked to leave early. Many of this group (over 20%) elect to stay another 6 months or more, some staying for 4 or 5 years. And then we have some who leave and return after a year or so, as many need to leave due to student loans and other obligations. We also have an interesting sub-set of this group which is siblings of former volunteers. As I write this we have four sets of volunteer parents visiting this weekend, one who is volunteering for a month.

The second group is senior students of Buddhism. These are typically 30-60 years of age and are devoted practitioners of Buddhism. Many started as younger work-study volunteers who left the community to raise a family or gain other life experiences and returned because of their love of Buddhism.

Then you have the few like me who have enjoyed a professional career and during retirement decided there is more to life than playing golf. We believe what we are doing here will make a positive difference in the world.

We are proud to be associated with an organization which among other things sponsors a world peace ceremony where over 10,000 people spend 10 days praying for peace; an organization which through its support of Tibetan culture and its literacy program have improved the lives of refugees around the world. Have you ever thought what it would be like if there were no reading material in your spoken language?

The life of a volunteer begins with early morning prayer, meditation and yoga, then after breakfast moves on to a meeting where a Buddhist lesson is read and discussed and how it relates to his/her work and at the end of the work day there is another meeting to discuss the day and ends with prayer. Then it's off to dinner and class.

Not only do most volunteers experience a spiritual awakening during their time here they also learn they do not need to live a materialistic based life style and leave with a greater appreciation for the environment.

Regards,  
Gene Gretchen

## Cynthia Demidovich

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**From:** Gene Gretchen [genegretchen@yahoo.com]  
**Sent:** Sunday, March 16, 2014 9:44 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Cynthia Demidovich  
**Subject:** Fw: Letter from a Ratna Ling Volunteer

Dear Sir,

I arrived at Ratna Ling from New York City on a rainy May day, expecting to stay only 6 months, the minimum commitment length for the Ratna Ling Work-Study program. That was four years ago, so needless to say, I enjoy being here!

From the outside it would be easy to think I have it hard. A six day work schedule strikes a lot of people as intense. "What, no Saturdays!?" As a retail manager turned media and tech professional, I long ago stopped thinking about how many hours I worked and whether or not I'd get my "weekends." 12 hour shifts, weekend shifts, all-nighters, long commutes, holiday hours, and "crunch time," all equaled (mostly) good paying gigs but at the cost of a sustainable, healthy lifestyle. Like so many of my generation and the generations before, I was working for the weekend and seemed always to be coming up short on satisfaction and fulfillment.

Ratna Ling has been a real chance to do things differently. Embedded in a rigorous work schedule, complimented by evening classes and morning and evening practice sessions of meditation and yoga, is a view of what it means to be a human being fully engaging in life. Why? Because it is precious and it won't last, so now is the time to make the most of it. As Tarthang Tulku writes, "life exacts a price for less than full participation." Now there's a maxim I wish I'd heard in college while studying philosophy!

"Work," understood as whatever I commit my time, energy, and knowledge to doing, whether building a website or writing a song on guitar or making dinner for my girlfriend, can be a meaningful, rewarding, challenging, and rich experience. I can learn new skills while facing insecurity and fear. I can overcome obstacles and work with negativity in myself and others to accomplish great things. I can also not do all of these things, and follow a path of frustration and disenchantment. These are some of the fundamental challenges of using work as spiritual practice. In this approach my work results are direct feedback about the quality of my engagement and I am given the chance to watch all the ways I can undermine my own aspirations in favor of familiar patterns of emotion and conflict. It's not always "pleasant" or even "nice" work to look at myself honestly, let alone resolve to change and try to follow through. This is "responsibility" in the path of work as spiritual practice, and it sets a high bar—one worth reaching for everyday even if I often can't seem to quite reach it or hold on for as long as I'd like.

The results of my efforts over the last 4 years are too many to write here, but among the more striking are that I have become more creative, calmer, lighter, gentler, more patient and understanding, more in love with life, and more appreciative of the incredible opportunity I have to live a meaningful life.

When I return to "the real world" after my extended training here, not only will I emerge with an impressive resume and proof of continued refinement of my operations and management skills, I will

also carry with me knowledge of how to live well. Cultivated in the daily grind of e-mails, phone calls, meetings, and the regular “stuff” that makes up a life, this knowledge is reliable and effective—I use it every day. I am looking forward to bringing my spiritual study and practice to bear on problems facing whatever business or organization I land in.

We learn here that great spiritual practitioners of the past were like artists without a canvas, that their life was their great work—deeply creative and meaningful. At Ratna Ling I have begun to learn what it means to be the artisan of my own life and I look forward to sharing the results of my effort for the benefit of others.

I am deeply grateful for the opportunity to live and work as part of such a program in such a beautiful place. I hope I am just one of countless people who will come here in the coming years to delve into what makes life precious and to discover the joy of a life well lived.

Kind Regards,

--

**Matthew Breit**  
General Manager

**Dharma Publishing**

35788 Hauser Bridge Rd.

Cazadero, CA 95421

p: (707) 847-3717 ext. 208

f: (707) 847-3380

e: [mattb@dharmapublishing.com](mailto:mattb@dharmapublishing.com)

Help us spreading this universal prayer across the world!



## Cynthia Demidovich

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**From:** Ineke Smits [is.inekesmits@gmail.com]  
**Sent:** Monday, March 17, 2014 5:44 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support for Ratna Ling

Dear Supervisors,

Since many years I have been coming to Ratna Ling in Sonoma County for retreats.

Being there is a deep treasure to me. I receive highly inspirational classes and I get the opportunity to contribute to the valuable work of the Yeshe De text project, that is supporting Buddhist monks and nuns in the Asia to further their study.

The combination of work and study in Ratna Ling promotes harmony and wellbeing in me as an individual, so I will be able to transfer it further to people around me. Therefore I consider Ratna Ling a source for spreading peace in the world.

I have seen many places in the world, but never a place like Ratna Ling. The way Ratna Ling is set up and the work and study offered there is really unique. I have learned there how to use my energy well and have become a happier and healthier person. I am using this inspiration well to share it and spread it as much as possible. The hospitality and beautiful environment of Sonoma County makes this inspiration complete.

Even this summer I am planning to come to Ratna Ling to further my study and contribute to the text project.

I very seriously request you to support Ratna Ling in it's application, so I and many more people from Holland and other countries can continue coming to work and study in Ratna Ling and enjoy the wonder and inspiration of Sonoma County.

I want to thank you for considering this request.

Yours sincerely

Ineke Smits

Trainer  
Dutch Council for Refugees  
Amsterdam  
Holland

## Cynthia Demidovich

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**From:** Charaka Jurgens [charaka32@hotmail.com]  
**Sent:** Monday, March 17, 2014 6:16 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Dear Supervisors,

I address this letter to you to express my appreciation for retreat Center Ratna Ling. At the same time I ask you to consider its support.

I feel fortunate to have come across this place and to have discovered the sensational beauty of Sonoma County as well.

Retreats there have been great experiences for me. In the course of many years I have found my way there again and again, in different seasons. The beauty of the country, the peaceful stillness, the animals and birds, it all contributed to enhance the spiritual practices Ratna Ling provided. Alternating with focussed working on the text project created a perfect balance. A stay there always made me feel refreshed and strong, even if sometimes it had to be short. I hope to be able to visit Ratna Ling soon again.

I will be grateful to you for considering my request for the support of Beautiful Ratna Ling.

sincerely yours,

Charaka Jurgens  
Amsterdam 17 march 2014

## Cynthia Demidovich

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**From:** Gene Gretchen [genegretchen@yahoo.com]  
**Sent:** Monday, March 17, 2014 12:28 PM  
**To:** Mike McGuire; Efren Carrillo; Shirlee Zane; Susan Gorin; David Rabbitt  
**Cc:** Cynthia Demidovich  
**Subject:** Fw: Ratna Ling support

**From:** Christina Gill <chgill@bggroupinc.com>  
**Subject:**

**Message Body:**

Yesterday I went for a long challenging bike ride with my cousin, one that we had heard about but never tried. About three hours in we were wondering if we would make it Jenner before our water was depleted, when we saw a sign telling us potable water was ahead! What a treat to have a drinking fountain to fill our bottles, and stands for our bikes in the "middle of nowhere"! Thank you so much for your thoughtfulness, it is very much appreciated!

Many blessings to you all.

In peace,  
Christina

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## Cynthia Demidovich

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**From:** pbridge130@aol.com  
**Sent:** Monday, March 17, 2014 1:04 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Regarding the Ratna Ling Retreat Center

To the Sonoma County Board of Supervisors:

I wish to respectfully express my support for the Ratna Ling Retreat Center, on Hauser Road, Cazadero. I am familiar with the Center only because of my use of Hauser Road. I have no direct relationship with the Center, although I am aware of some of the good work they do, supporting a persecuted religious minority in China and Tibet, and working to preserve sacred texts. I also understand that they have proven to be a good neighbor in a variety of ways, including the donation of a fire truck. I have myself taken advantage of the potable water faucet they have provided for the use of the public, near the road.

I find the Center to be visually appropriate for its location, with low rooflines and reasonable screening from the road. I have never experienced significant traffic impacts resulting from Center activities. I have never heard any noise from the Center, but have only experienced tranquility when nearby.

The Center has made a significant investment in our county, and their activities are those of a good citizen and good neighbor. Again, please allow me to respectfully express my support for the Center.

Peter Bridge  
3043 Burnside Rd  
Sebastopol, CA

## Cynthia Demidovich

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**From:** joleen vries [joleenvries2@hotmail.com]  
**Sent:** Monday, March 17, 2014 2:31 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support for Ratna Ling

Dear Supervisors,

For quite some years, Ratna Ling in Sonoma County has been a treasured place for me to come to for finding comfort and shelter from the busy world. Being a retired psychologist now, it is my wish to continue coming in the future for retreats.

Coming from a very small and crowded country where there is almost no nature, in Ratna Ling I feel how its outer beauty and peace merge with inner feelings of peace and beauty in a natural way. Working on spiritual texts, which is an important part of the retreat, is a very strong support for deepening my spiritual experience. The combination of practicing during formal sessions and during 'work' brings meditation into 'daily life' and stays with me when I return. This is a unique aspect of the programs that are offered at Ratna Ling and has a remarkably longlasting effect on me. Actually I have scheduled a next visit this July!

This is the reason why I am requesting you to support Ratna Ling's application, so I – and hopefully many people - can continue to come in the future.

Thank you for your consideration.

Yours sincerely,

Joleen Vries

Amstelveen, Netherlands  
+31626292799 (cell phone)

## Cynthia Demidovich

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**From:** Mark Henderson [markghender@gmail.com]  
**Sent:** Monday, March 17, 2014 4:12 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** Ratna Ling Use Application

Dear Honorable Supervisors & Sonoma County Planner,

Earlier this year I was in Bodhgaya, India, helping as a volunteer with the distribution of the sacred texts published at Ratna Ling in Sonoma County.

While in Bodhgaya I met a monk from Great Britain, who is training in the Tibetan Buddhist tradition. In conversation it came up casually that I was working with the book distribution. This monk halted the conversation midstream and told me directly that the book distribution from Ratna Ling is well known in the Tibetan Buddhist communities throughout all of South Asia; that the book distribution is having an enormous impact in vitalizing the tradition; and that I should never think of it casually at all -- "this is a really big deal, of historic proportions" he said.

It is easy to forget that the people and culture of Tibet have been traumatized in modern times. Imagine for a moment -- if overnight -- all of our schools, universities, libraries, and places of worship were reduced to rubble by an occupying force. Where would we begin anew? Who would we look to for help?

I encourage each of you to consider the use application of Ratna Ling in the most favorable light imaginable.

Best wishes,

Mark G. Henderson, J.D., LL.M.

## Cynthia Demidovich

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**From:** Talia Lozipone [tlozipone@gmail.com]  
**Sent:** Saturday, March 15, 2014 6:26 PM  
**To:** Efren Carrillo  
**Subject:** Letter from Ratna Ling Volunteer

To Whom it May Concern:

My name is Talia Lozipone. I am a full time work study volunteer at Dharma Publishing. I have lived at Ratna Ling Retreat Center for the past 3.5 years. My life and time here is increasingly more rewarding and joyful. I love living and working here, and feel that coming here was the best choice I have made so far.

My work is rich with meaning and I am very much devoted to the mission of our organizations. Using Skillful Means, the teachings on how to use work for spiritual development, I find many resources within myself and continually strive to do my best, to challenge my abilities, and to help others. Working here I have learned to focus my energy, to communicate with care, and that I am much more capable than I thought.

At Ratna Ling, I am always learning! Not only at work where I have the opportunity to learn to manage people, to improve my business and marketing skills, and to refine my creative abilities but also in our classes, where even after several years of living here I realize that there is so much more to know. Community Life also provides a wonderful opportunity to practice compassion in action and for striving to see the best in others.

From Monday to Saturday, I work each day from 8am - 6pm. I have an hour lunch break from 12:30 - 1:30pm and half hour breaks in the morning and afternoons. In the mornings and evenings, I have the opportunity to study a vast array of Tibetan Buddhist topics such as philosophy, psychology, logic, meditation, and art. When I am not working, I spend my time studying, practicing Tibetan yoga or meditation, taking hikes in nature, or collaborating on creative projects with friends. My life is quiet, still and peaceful. I feel great joy most of the time and I believe it is a result of the work we do, both spiritually and professionally.

I am very lucky to live in a place of such abundance, to be in an atmosphere which values the appreciation of life and to be surrounded by people who care about the same things I do. I feel that this work study program truly has my best interest in mind.

I am growing more confident, responsible, and capable. As a human being, I feel so satisfied to make the most of my time and energy. I feel I have found my purpose in life and I am very thankful for the opportunity to be here.

I hope that in the future there will be no divisiveness between us and our neighbors and that we can work together harmoniously and for the benefit of others.

Kind regards,  
Talia

## Cynthia Demidovich

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**From:** Arnaud Maitland [arnaudmaitland0@aol.com]  
**Sent:** Saturday, March 15, 2014 6:06 PM  
**To:** Efren Carrillo  
**Subject:** Ratna Ling volunteer

Dear Sir,

It is a pleasure for me to let you know how satisfied I am to be living and working at Ratna Ling. My name is Arnaud Maitland. I have been at Ratna Ling from the very beginning and we have always tried to fit in, not cause any difficulties and because our lifestyle is quiet, I am sure we are not a burden for anyone.

I, like the rest of us, have daily meditation and yoga practices and evening studies and during the day I happily work on programs that I lead at our retreat center and in other parts of the world. It is always most satisfying when people from Argentina, Brazil, the Netherlands, Sweden, and England come to us in the summer retreats to learn meditation and study Dharma.

One of the key ingredients of the retreats are that students of the program participate in our book binding process. The younger people do more physical work whereas the older ones are looking for quality and tipping in color pages and organizing the proper order of the printed pieces. Every day they are in our bindery and our first session after the afternoon bindery session we always discuss how it was for them to work with their hands, to participate in a very big project and we show them a movie of the books being distributed to the monks and nuns for free once a year in India.

I lead a few retreats per year here and always invite people from overseas to stay a little longer at our lovely Ratna Ling location so that they can enjoy the trails to the ocean, be on the beach, or walk along the coastline. Sometimes we go out to dinner at the Timber Cove Inn or in Jenner or we do some activities like kayaking on the Russian River. The Ratna Ling visitors are so pleased with the quiet atmosphere, the inspirational discussions and the work on the sacred art and texts. Everyone leaves the property satisfied, nourished and ready to go back to their own work.

In January I visited Sikkim in India and I visited an 87 year old Tibetan Lama who is also a refuge and who brought his training to a safe countr and is leading a very large monastery. His name is DoDrubChen. When he heard I was from Ratna Ling, he expressed his great gratitude and said, "Without your work, our Tibetan heritage would have died out."

So I am immensely grateful to be part of this process and my sincere wishes that we can have a good working relationship with the neighbors and that we help each other and appreciate each other. We all want the same – a good life with happiness and meaningful activities.

Sincerely,  
Arnaud Maitland



## Cynthia Demidovich

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**From:** Els Gielens [elsg@dharmapublishing.com]  
**Sent:** Saturday, March 15, 2014 6:02 PM  
**To:** Efren Carrillo  
**Subject:** Ratna Ling

Dear Sir,

I'm very happy to let you know that I'm living at Ratna Ling, already for 3 years. It is a great pleasure for me to live and work at this place. I'm Els and came all the way from Holland.

Live for me here is very satisfying, first of all, my day starts with Tibetan Yoga. We do this with a little group. And to be honest on my own, I would never accomplish to do this every day. Here I have the support.

At 8 I start working and since I can do what I really like to do, my day is fulfilling. I'm teaching many classes and have also the opportunity to study for those classes and prepare webinars / teachings online. Classes are about Tibetan Yoga and Transforming Stress into Well-Being. My work day ends at 6 and have then the opportunity to attend classes. I really like to deepen my understanding and find even more ease inside myself. In this way I'm also more beneficial for others. Spirituality always helped me and I'm learning even more in the moment.

Our breaks here are plenty and the food more then delicious. I feel well cared for and in the meantime I can study and work and follow my deepest wishes.

Thank you  
Els Gielens

Els Gielens  
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Cazadero, CA 95421  
p: (707) 847-3717 x 212  
e:[elsg@dharmapublishing.com](mailto:elsg@dharmapublishing.com)

## Cynthia Demidovich

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**From:** George Wiegand [georgewiegand@hotmail.com]  
**Sent:** Saturday, March 15, 2014 5:29 PM  
**To:** Efren Carrillo  
**Subject:** response to claims against Ratna Ling Center

March 15, 2014

Dear Efren Carrillo,

My name is George Wiegand. I have been involved with the Nyingma organizations since 1982, and with Ratna Ling since 2007. With the exception of the last three months when I was working at our center in India, I have had close contact with the volunteers here at Ratna Ling.

I have an M.Ed. In Counseling and have worked as both a HS Counselor and with teens in a mindfulness-based treatment center here in California in Petaluma for many years.

The negative claims I have been asked to respond to are absurd. The Ratna Ling center, and the work we do here, is completely volunteer. A stipend, room, meals and instruction are offered for the help volunteers offer to our many projects. Classes available in the evenings and early morning include meditation, tibetan yoga, buddhist history, philosophy, Tibetan classical language, and others. Often

there are also hatha yoga classes offered informally, or cooking workshops, many things.

The hours and the living situation are clearly explained to anyone considering coming to Ratna Ling, and frankly it is rare that anyone arrives and then is not amazed by the beauty and pleasantness of the situation here.

We have an important mission, related to supporting the Tibetan people and their religious tradition as they cope in exile with the continued genocide of their culture in Tibet itself. Most folks that come here to volunteer are aware of the situation and want to help.

Books in english that we publish are also offered regularly to the volunteers, so over time they can collect many titles either in translation from the Tibetan or written originally for westerners.

We work hard here, that is true, but I have been involved here quite awhile, and it has never seemed like a job, rather a shared activity that supports something truly meaningful. We often work in silence or essential speech, trying to put into practice a cheerful being-in-the-moment that is part of the training in the tradition offered here.

The door is always open to come and go here, and when a person leaves here after 3 or 6 months, or 6 years, I think they will be the most valuable employee their new employer has, right away! Because so much here goes in through the skin, as it were, it is hard to see how much one has learned until you leave. I know because I have spent several periods away, caring for relatives or whatever, once for 6 years.

Yet I come back because it is so meaningful and rich here, nothing else has quite captivated me as much.

Sincerely,

George Wiegand

## Cynthia Demidovich

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**From:** Rosalyn White [rosalynw@ratnaling.org]  
**Sent:** Saturday, March 15, 2014 3:49 PM  
**To:** Efren Carrillo; +shirlee.zane@sonoma-county.org; +Susan.Gorin@sonoma-county.org;  
+David.Rabbitt@sonoma-county.org; +mikemcguire@sonoma-county.org;  
+Cynthia.Demidovich@sonoma-county.org; +Tennis.Wick@sonoma-county.org  
**Subject:** Ratna Ling Buddhist Retreat Center

Dear Supervisors and Ms.Demidovich,

We deeply appreciate the time you have taken to understand the issues surrounding the Ratna Ling Retreat Center. As a member of the organizations related to Ratna Ling for over 40 years, I would like to emphasize that we have always made an effort to give something back to our world, while being vigilant about following all laws related to the running of non-profit organizations. We have also attempted to be good neighbors in the communities in which we work. We plan to continue these practices well into the future, and are especially interested in building bridges of mutual respect and caring with our neighbors on the Seaview Ridge.

From 1975 to 2004, I worked with Dharma Publishing, first as art director and later as executive director. From 2004- 2014 I worked as executive director of Tibetan Aid Project. At the beginning of this year, I was asked to be co-director of Ratna Ling. It has been my privilege to see the significant difference our organizations have made in the world over the last 40 years. We have helped to keep the endangered culture of Tibet alive and well in the refugee communities throughout the Himalayan region, mainly by donating books in the Tibetan language. We have published over 100 books in English, on topics from Buddhist philosophy and meditation to children's books. And our Institute in Berkeley has offered classes to many thousands of people, helping them find more peace and meaning in their lives.

We understand that our neighbors were very disturbed by the construction that occurred from 2004- 2009. This is a very legitimate complaint, in a quiet, rural area. But we have voluntarily curtailed all construction since then. Our pending Master Use Permit application seeks to add only one structure not previously permitted, a modest 6 bedroom dormitory. The publishing facility cannot be seen or heard from the road and requires less than one truck per day to keep supplied. It is considered part of the spiritual practice of our volunteers to participate in what is considered the very meritorious work of creating sacred texts.

We feel that with a more open dialogue with our neighbors, they will come to trust that we do have a deep concern for their wishes of maintaining a quiet, congenial atmosphere on the ridge that we share with them. Since Ratna Ling is primarily a retreat center, a place of contemplation and renewal, we have exactly the same goal. And we will work diligently to rebuild that trust and sense of community. We hope the hearing on April 8, will mark the end of a contentious period and the beginning of a new era of cooperation and mutual respect on our ridge.

Best Wishes,  
Rosalyn White  
Co-director, Ratna Ling Retreat Center

## Cynthia Demidovich

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**From:** Stephanie Ring [ring.steph@gmail.com]  
**Sent:** Saturday, March 15, 2014 10:33 AM  
**To:** Efren Carrillo  
**Subject:** I am a happy resident at Ratna Ling

Dear Efren Carrillo,

I was informed yesterday that a rumor has been going around that the volunteers at Ratna Ling have been performing in slavery?

To me the words volunteer and slavery not something that go hand-in-hand. I have been volunteering at Ratna Ling for six months and have enjoyed every minute of my time here. So much that I've decided to extend my stay for another six months. I have only felt appreciated, nourished, and one with this community. This is a place that allows one to grow in whatever positive direction they choose and the people here, doesn't matter if it's management or friend, help motivate you to make it happen by giving you the tools to succeed.

I am overjoyed that you are taking this matter seriously because slavery is not something to ignore. It also shows that you take pride in the human rights which is sometimes hard to find in politics.

I do only wish you and your love ones the best in life,

--

**Stephanie Ring**

## Cynthia Demidovich

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**From:** Daniel Albers [dana@ratnaling.org]  
**Sent:** Saturday, March 15, 2014 10:05 AM  
**To:** Efren Carrillo  
**Cc:** Gene Gretchen  
**Subject:** False accusation of Enslavement at Ratna Ling

Dear Sir,

I have been told that it is important to you to hear that I am not enslaved. I volunteer my time to work at Ratna Ling for several reasons:

1. I am able to use all of my skills and abilities to make a positive contribution to our neighborhood, county, state, nation, and the world.
2. I am able to travel as I please, go to town when I need to, and purchase personal items which I want.
3. I am able to meet and spend time with people who are intelligent, peaceful, and also free.
4. I enjoy seeing and hearing the animals which also live here.
5. I enjoy the night sky, with the milky way, stars, and constellations easily visible on a clear night.
6. I enjoy the changes in the weather.
7. I enjoy spending time with the friendly neighbors.

What else can I say?

I'm sorry that you have to respond to false accusations.

Sincerely,  
Daniel Albers

PS. This is a second attempt to send this to you, so please excuse a possible duplicate.  
Thanks.

## Cynthia Demidovich

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**From:** Sharon Muneno [rayjsham@gmail.com]  
**Sent:** Friday, March 14, 2014 7:13 PM  
**To:** Efren Carrillo  
**Subject:** Ratna Ling

Efren

Today we heard that Ratna Ling has been accused of slave labor. Nothing could be farther from the truth. We volunteer on a regular basis and have never experienced or seen any type of activity that is even close to slave labor. Over the years there have been many volunteers. Most have signed up for six month or one year commitments and many have extended their stay. All on a volunteer basis. Some people are not accustomed to the work involved and are choose to leave or are encouraged to leave after a short trial period. People often comment on how much of a growth experience being at Ratna Ling has been and parents that have come to visit agree.

Ray Johnston and Sharon Muneno

## Cynthia Demidovich

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**From:** Andrea VanBecelaere [andreasnohome@gmail.com]  
**Sent:** Friday, March 14, 2014 6:59 PM  
**To:** Efren Carrillo  
**Subject:** Volunteering at the end of the rainbow (Ratna Ling Retreat Center)

Good evening Efren,

I have a full letter to you and your fellow supervisors being drafted, but I just wanted to send you a short note to say that I after two years of volunteering at Ratna Ling, helping to manage the Lodge retreat center and whatever else needs to be done, I still feel that I am so lucky to have this opportunity to help myself while helping change the world.

I came here because after reaching those life goals that I thought would make me happy, I found myself, well, not happy. In state of grasping after the newest thing to do, have, or try, I was lonely, unhappy and wanting a deeper purpose. Coming here, and knowing that everyday I put my energy towards something that benefits others, has been a blessing.

Ratna Ling, however, would not be the same or mean as much to me without the amazing community it is in- the incredible people that live in this area that have been warm and welcoming to me Sundays at the market and Wednesdays at the Fire Department. I have a huge amount of appreciation for this beautiful area and the people who put their energy in it to keep it safe.

Thank you, as well, for the countless hours that you put in to keep this county running strong.

In closing, my good friend and fellow volunteer, Rick, upon returning from India where he got to help with the book donation we sponsor at the world peace ceremony, said to me, you know, this place is like the end of the rainbow. I couldn't agree more.

I look forward to seeing you at the hearing on April 8 to show my support of Ratna Ling.

Warmly,

--

Andrea VanBecelaere  
Cell: 620-202-1021  
alt. email: [manager@ratnaling.org](mailto:manager@ratnaling.org)

## Cynthia Demidovich

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**From:** Chelsea Rappel [yogichelsi@gmail.com]  
**Sent:** Friday, March 14, 2014 5:23 PM  
**To:** Efen Carrillo  
**Subject:** Support for Ratna Ling from a Volunteer

Dear Efen,

I hope you are enjoying this beautiful day! My name is Chelsea Rappel and I am a resident volunteer at Ratna Ling Retreat Center. In lieu of recent events, I thought I would take the opportunity to reach out to you to express my love for the place that has been my home for nearly 4 years.

My work here has been primarily in guest services at the retreat center. I really love my job and the sense of accomplishment I feel when done well; plus, I have the opportunity to help people every day! In exchange for my time I am compensated with a beautiful place to live, yummy food, the chance to study and grow, and a living allowance. I have everything I need and more. I feel incredibly lucky to have found this place advertised in a tiny Milwaukee newspaper in 2010!

I live onsite with my boyfriend who has also been a volunteer for many years. His name is Brandon and he helps to run the machines that make the sacred books. We are both truly grateful to Ratna Ling, otherwise we never would have met! We have the opportunity to live our lives quietly in accordance with our spiritual values and to me that is a gift.

The many friends and relationships I have built over the year at Ratna Ling are priceless. I have been supported by this community since the beginning and I view them more as family. Although I visit my friends and family back on the east coast when I can, my heart always seems to find its way back to Cazadero and Ratna Ling.

I appreciate your time and support. If you have the need to contact me directly, I can be reached at (510) 809-4987. I wish you a wonderful weekend!

Warmly,  
Chelsea Rappel  
Ratna Ling Retreat Manager



## Cynthia Demidovich

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**From:** mallory edwards [mmedwards22@gmail.com]  
**Sent:** Friday, March 14, 2014 5:13 PM  
**To:** Efren Carrillo  
**Subject:** Volunteering at Ratna Ling

Hello Efren,

My name is Mallory Edwards and I have been a volunteer at Ratna Ling Retreat Center for 3 1/2 years. I have been here so long because I truly believe that the work we have done, and continue to do, can and has made a positive impact on many people's lives. It is not just people on the outside of Ratna Ling that benefit from this, it is also the volunteers that live, work, and choose to be here. We have knowingly chosen to come and work here as volunteers, to receive the chance to help preserve Tibetan culture, as well as the opportunity to work on our selves. We are offered several classes on meditation, yoga, and Buddhist theory. There are various work positions here, and we all work the same schedule that was agreed upon when we came to work here. In exchange for the work we do, we receive free room and board and well as the classes mentioned before. We are all happy to be here, and happy to be involved in such a great non-profit organization.

Thank you for your time,  
Sincerely,

Mallory Edwards

## Cynthia Demidovich

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**From:** janet smith [janls\_2@yahoo.com]  
**Sent:** Friday, March 14, 2014 5:04 PM  
**To:** Efren Carrillo  
**Subject:** Ratna Ling volunteer

March 14, 2014

Dear Supervisor Carillo,

I have been a full time volunteer at Ratna Ling for eight years and the volunteer coordinator for the past two years. After a career in working with adolescents in residential treatment programs, I made the decision to live and work in an intentional spiritual community, in particular Ratna Ling because of its Tibetan Buddhist foundation.

What drew me so much to Ratna Ling was the integrated approach to life and work, or "Skillful Means" as it is called. Rather than viewing work as something we do simply to earn money or as an obligation, my time at Ratna Ling has taught me how to develop work as a bridge to self-awareness which in turn has helped me to transcend limitations. It is a constant process of learning to bring a meditative awareness to the work I do here. In this work/practice model, work has become an environment where I can observe how my habits, patterns, and actions affect myself and other people around me.

As volunteer coordinator, in the interview process I go out of my way to communicate to prospective volunteers the rigorous work schedule and at the same time share with them the possibilities for their own human development. Over and over again as volunteers leave Ratna Ling at the completion of their commitment, they speak of how deeply the experience has enriched their lives, giving them tools to use in the future for whatever life presents to them. This positive feedback is reflected in the number of previous volunteers who return to work at Ratna Ling once again.

Best Wishes,

Janet Smith  
Volunteer Coordinator  
Ratna Ling Retreat Center

## Cynthia Demidovich

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**From:** Jessie Maynard [jessie.maynard@gmail.com]  
**Sent:** Friday, March 14, 2014 4:58 PM  
**To:** Efren Carrillo  
**Subject:** Ratna Ling Volunteer

Good afternoon,

My name is Jessie Maynard and I am a volunteer at the Ratna Ling Retreat Center in Cazadero, CA. I originally signed up for only a six month stay but have extended my contract multiple times because of the wonderful opportunities available to me here. I have been here for over 18 months now and continue to stay for the classes offered, the opportunity to practice meditation and yoga, and to be part of a community of like-minded, positively intentioned people of all ages. The lessons and experiences I have had here will absolutely benefit me in the future, both on a spiritual and professional level. Ratna Ling is a wonderful place to work and I would recommend it to everyone and anyone interested in pursuing a spiritual path in their life. If you have any questions for me, please do not hesitate to email me or call me at (941) 725-1388.

Thank you,

Jessie

## Cynthia Demidovich

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**From:** Rosalyn White [rosalynw@ratnaling.org]  
**Sent:** Friday, March 14, 2014 4:32 PM  
**To:** Efen Carrillo  
**Subject:** Ratna Ling Retreat Center

Dear Supervisor Carrillo,

It will be very nice to meet you on March 24th, when we have an appointment. My co-director, Gene Gretchen and I will be meeting with you about the upcoming hearing on April 8th.

Gene mentioned that one of our neighbors has written, saying that our volunteer staff is not well treated. We would like to clearly say that we feel the opposite is true. I have been working full-time with this organization since 1975, and have seen many young people benefit greatly from their full-time volunteer work with us.

We realize that the model in our country is for young people to get their education and then get established in as well-paid a position as they can find. But we also know that many young people feel that volunteering right after finishing school, might be their only opportunity to do so, before family obligations, such as marriage, children, mortgages, etc. take over. For many young people, working with our organization has been a wonderful transition between school and the responsibilities of adult life. They have learned to take responsibility, manage time well, become proficient in a variety of skills and learn some spiritual practices that will be with them their whole lives. Many people have let us know that their time with us has been one of the most important things they feel they have done in their lives, with lasting benefits to them and their families.

Our program is vigorous, with our volunteers working full-time, as well as taking classes on subjects such as Buddhism, meditation and yoga in the evenings. But they all express the sentiment that they feel very lucky to be a part of this program. New volunteers are given a one month trial when they first arrive. If they feel the program is not a good fit for them, they are under no obligation to stay. If they decide to stay, we ask for a 6 month commitment. If they wish to stay on after that, we generally allow them to do that.

We provide beautiful, fully-furnished cabins for our volunteers to live in, that were recently remodeled. Each has a full, modern bathroom included, as well as an outdoor deck, gas heat, large closets, ceiling fans and attractive lighting. We sometimes rent vacant cabins for \$300 per night to our guests, as they are really quite elegant accommodations.

We provide three gourmet vegetarian meals and all of the snacks that people wish to have, in addition to their housing as well as a modest stipend to cover personal expenses such as cell phones, etc. We start and end each day with some spiritual practices and encourage people to take advantage of the classes.

Ratna Ling has beautiful facilities. Guests generally pay approximately \$300 per couple, per night, to stay here, depending on the season. So our volunteers are basically living in a resort setting, eating resort meals, and taking all of the free spiritual classes they wish to take. Many people would view this as a golden opportunity.

Best Wishes,  
Rosalyn White  
Co-director, Ratna Ling Retreat Center

## Cynthia Demidovich

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**From:** Athena Pappas [athenapappas@prodigy.net]  
**Sent:** Monday, March 17, 2014 9:49 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Dear Supervisors Gorin, Rabbit, Zane, McGuire & Carillo,

I writing to encourage you approve Ratna Ling's application for a Master Use Permit.

As a yoga teacher who has led retreats there on three separate occasions and have two more retreats scheduled for this year, I have experienced first hand the warmth, generosity and integrity of the spiritual community at Ratna Ling. I wholeheartedly support the religious work they are doing particularly in regard to the reprinting of sacred Buddhist texts. This has great cultural value and importance.

The tranquility and calm of the environment created by Ratna Ling community members is an essential reason why I continue to bring groups there. The retreats I lead are intended to help my students deepen their spiritual practice (yoga is ultimately the study of one's self in order to achieve self-realization). Ratna Ling provides my groups with beautiful facilities, impeccable care and attention to every detail that allows for students to have a perfect environment for spiritual practice. I searched all over Northern California and found no place as well-suited for my retreats as Ratna Ling. The students who've attended have enjoyed and been transformed by their time at Ratna Ling.

In all my time spent at Ratna Ling, during which time I have walked the grounds and on the road, I have never seen or heard the press nor could I even tell someone where it was. I have never encountered any traffic on my way in or out of Ratna Ling nor have any of the participants who have attended my retreats.

I sincerely hope that you will approve Ratna Ling's application so that the spiritual community may continue with their religious works and continue offer a place of retreat to spiritual group leaders such as myself. Please feel free to contact me should you need any more information from me.

Sincerely,

Athena D. Pappas  
139 Hugo St. #5  
SF, CA 94122

cell 415-470-4570

## Cynthia Demidovich

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**From:** charles keefe [ckeefe1947@yahoo.com]  
**Sent:** Monday, March 17, 2014 10:11 PM  
**To:** Susan.Gorin@sonoma-county.org; Shirlee Zane  
**Cc:** David Rabbitt; Mike McGuire; Efren Carrillo  
**Subject:** April 8th hearing on Ratna Ling

Dear Sonoma County Supervisors,

I am writing to you on behalf of the Ratna Ling Buddhist Religious Community located at 35755 Hauser Bridge Rd, Cazadero, Ca. 95421

I have had extensive experience working with them in the press and participated in Meditative and Yoga retreats. It has been a life changing experience for me. The religious center of Ratna Ling in Sonoma has a presents of peace, tranquility and harmony surrounded by natures' beauty.

The community dedication to a purpose greater than themselves, in spreading compassion and harmony throughout the world, in the preservation of Holy Texts which make up the heart of the exile Tibetan Peoples culture. These teachings which can show us the way to calm our negative energies and give us realization to the oneness of this planet and its inhabitants. It was here, in Sonoma, at Ratna Ling, the beauty, tranquility and harmony with nature, that I have learned how to utilize my working energies as meditation in creating awareness and harmony with my body, speech and mind, and with my fellow man.

The Ratna Ling's religious community press is not an industrial commercial press, as speculated by the contending neighbors, but a religious printing operation. Its' sole purpose is to print and freely distribute religious text to the Tibetan people which is the cultural and the religious survival of the Tibetan people Wisdom Teachings; in doing so, they can be shared and studied throughout the world for generations to come. It also enables Americans, from all walks of life, to volunteer, explore and participate if the work speaks to their hearts.

Since 2004 the Ratna Ling Religious Meditation Center, in Sonoma, has been brought to the attention of the world for their Meritorious work in supporting the Tibetan People in exile, by freely printing and distributing religious texts overseas. As I write today; however, the

genocide of the Tibet Culture has increased and the severity in which the Chinese government's determination to exterminate them continues as the atrocities worsen every year, and this is why the urgency to print and distribute the texts. Time is not on the side of the Tibetan people as an intact culture, whether inside Tibet or in exile.

Along the way of establishing this endeavor, the surrounding community of Seaview Ridge initially has been supportive, and where there have been differences and concerns, committees from both communities have met to find common ground. Whenever, however, discussions lead to uncertainty or misunderstandings, the Seaview Ridge community would look to hypothetical code violations as their point of contention. After petitions and reviews, Ratna Ling has never been cited for violations. The Ratna Ling Community has worked hand in hand with the county zoning board following their guidance about requirements of codes and ordinances; and the community has done its' best to address the concerns of the surrounding community.

In 2004 the County's Permit and Resource Management encouraged Ratna Ling to apply for a 20yr master use permit covering construction and future operational plans. The application was filed in 2011 and approved in June of 2012 by all board members. The opposing Seaview Ridge neighbors have again filed an appeal of that ruling to the Board of Supervisors and it is scheduled for a hearing in April.

Again, the Ratna Ling Community has done everything in their power to uphold the rules and regulations of the county, and tried their best to find common ground with the opposing neighbors. I urge the Board to take into consideration how all the required codes and permits have been met and approved along with all the considerable effort to reach common ground with their Seaview Ridge neighbors. I beseech you to grant Ratna Ling's 20 year master plan, as approved by the county's zoning adjustment board acceptance, so they can continue the good and virtuous work beneficial for the Tibetan people, and for the peoples of the whole world.

Respectfully,  
Charles Keefe  
Berkeley California  
510-725-9675

[ckeefe1947@yahoo.com](mailto:ckeefe1947@yahoo.com)



## Cynthia Demidovich

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**From:** Laurie Hopman [hopman@hawaii.rr.com]  
**Sent:** Monday, March 17, 2014 11:55 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Buddhist Retreat Center permit application

To the Board of Supervisors:

Thank you for the opportunity to write in support of the application for Ratna Ling. I live in Hawaii and travel regularly—once or twice a year for almost 20 years-- to California for retreats and on several occasions have been fortunate to be able to do my retreat at Ratna Ling, and have every intent of returning. It is a wonderful setting of spacious beauty and peace in harmony with nature. The quiet, the trees, birds and wildlife, blue sky are all inspirational in supporting my meditation and Buddhist practice.

Part of my retreats has been the opportunity to work a few hours each day at Dharma Publishing helping to create and package the books of Buddhist texts. This is a charitable effort to produce and distribute at no cost sacred scripture to Tibetan monks in exile. These books are written in Tibetan and distributed at the annual prayer ceremony in Bodh Gaya, India to large gatherings of Tibetan monks. These texts are precious remnants of the sacred knowledge that once flourished in Tibet, restoring at least partially some of the great libraries that were lost when the Chinese took over Tibet in the 1950s, destroying the monasteries. Preserving these rare texts so this sacred knowledge is not lost is such an important work, and participating in the effort to put them in the hands of the monks and scholars who can study them and use them is an activity of great merit and privilege. I have treasured that opportunity.

I am very grateful that such a special place exists and that I have been able to experience being there. I hope to be able to be there often in the future. Please help us continue this work of preserving and spreading the Dharma, and support the Master Use Permit that was approved in June 2012.

Thank you for your consideration.

Sincerely,

Laurie Hopman, MD  
409 Kilauea Avenue  
Hilo, Hawaii 96720  
(808) 933-9187

## Cynthia Demidovich

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**From:** cristina [cristinasousaesilva@terra.com.br]  
**Sent:** Tuesday, March 18, 2014 1:18 AM  
**To:** Cynthia Demidovich; Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Subject:** Support to Ratna Ling Center

To  
County of Sonoma Board of Supervisors  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

Dear sirs

I am writing in support to Ratna Ling Retreat Center.

I am a buddhist student, and I use to go every year to Sonoma, for retreats, voluntary work, and to rest, in this

peaceful place. It is very important for us to work with the sacred texts, because our training is based on study , work and meditation.

I live in Rio de Janeiro, Brazil and Going to Ratna Ling I learn to love Sonoma, with it's delicious food and small villages.

Please, support the place to proceed as retreat center and with the sacred text project.

Many thanks!

Cristina Maria de Sousa e Silva  
From Rio de Janeiro

\_\_\_\_\_ Informação do ESET NOD32 Antivirus, versão da vacina 9554 (20140317) \_\_\_\_\_

A mensagem foi verificada pelo ESET NOD32 Antivirus.

<http://www.eset.com>

## Cynthia Demidovich

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**From:** laurie@lovingandlearninglife.com  
**Sent:** Tuesday, March 18, 2014 1:41 AM  
**To:** Susan Gorin; Shirlee Zane; David Rabbitt; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** In Regards to April 8th Meeting: on behalf of Ratna Ling

Dear Board of Directors of Sonoma County,

I am a resident of Jenner and an attendee as a teacher and student of Ratna Ling in past years. From my experience and my students feedback as well, I would like to comment on the great value of Ratna Ling as much as an off set to said complaints as a possible way to understand better a value in Community Ratna Ling as a participant\* holds.

I would say that Ratna Ling reflects\*\* the same sensibilities and spirit of "why live in Cazadero" that Cazaderoians live by and for and with. This being one of privacy in the noisiness of great Diversity. That noisiness is a quiet kind from what I can tell as a neighbor and friend of Cazadero (Jenner resident). As if Cazadero is a well worn "secret" , the kind that has a twinkle it its eye saying really, you can know me but just go slow and careful and in responsibility my way please.  
I love that about Cazadero and I love that about Ratna Ling.

Sincerely,  
laurie schryver  
707-865-9766

\*I am taking for granted that Ratna Ling's contributions to the Community outside of herself are a known.  
\*\*without trying, that "without trying" has as a qualifier a potency unto itself as a "fit" that is almost perfect!:) in just that.

**laurie schryver**  
**10665 Willig Dr**  
**Jenner, Ca 95450**

To: the County of Sonoma Board  
Subject: Support for Ratna Ling

Venray (Holland), 18-3-2014

Dear Supervisors,

With this letter I hope to give you an impression of the importance of Ratna Ling at Sonoma County for me as student of Buddhist Study, and for my live and work in Holland.

Twice I have been in Sonoma County to visit the place for retreat. I hope to come there this year again. At retreats I got lessons in meditation, Kum Nye (yoga), Buddhist study and opportunity to develop 'healthy' workskills, based on awareness, while working at Yeshe De text project.

The uniqueness that Ratna Ling encompasses for me consists of:

- the inspiring and silent sphere, with deep knowledge that is shared;
- people who all practise to reflect on there own behaviour and experience which results in a basicly warm and friendly attitude to others and makes me feel very invited;
- The available special work on the sacred texts which makes it possible to practise in a way that surpasses own narrow thinking, and thereby is so good and healthy.

About the significance of the Yeshe De text project 'for the world', for the well-being of living beings, for peacefulness, which is far more important, surely others can tell more.

The memory of the Sphere of Ratna Ling is always with me: the beautiful environment, the deep knowledge, the disinterestedness of all involved, the link with the 'body of knowledge'. I recall it when I do my job as a teacher at primary school, when I need a little sunshine or when I feel happy.

Too, it is with me when I practise and instruct other people in meditation and Kum Nye. It is like a source from which it is possible to transmit valuable indications that help to get things more calm and clear.

So, Ratna Ling really is very precious to me. Not many places that I know offer this. No vacation experience can nourish so deeply. In this way 'Ratna Ling' is taken to Holland, where it does its job and enlightens ordinary live.

I deeply hope that the County of Sonoma Board acknowlegdes the importance of Ratna Ling for what it is and for us, visitors and students. I also hope deeply that you support Ratna Ling in it's application.

Thank you for taking this request in consideration,

Yours sincerely,

Monique Verschuuren  
Teacher Primary School  
Koningskaars 24, 5803 JC Venray  
Holland

## Cynthia Demidovich

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**From:** Joan Stead [joan.stead@gmail.com]  
**Sent:** Tuesday, March 18, 2014 3:40 AM  
**To:** Susorin@sonoma-county.org; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Fwd:

17 March 2014

Dear Supervisors

Re: Master Use Permit – Ratna Ling Buddhist Retreat Centre

I am writing to express my support for Ratna Ling Retreat Centre and the important work they do both in reproducing sacred texts for distribution to exiled Tibetans and providing a centre of excellence for visiting retreatants.

In February 2012, I had the opportunity to work as a volunteer for a short time at Ratna Ling. Although engaged in activities other than work on the production of sacred texts, during my time at the Centre I did not hear any noise from the printing presses from any place on the site. I did, however, experience a deep peace and serenity and encountered many dedicated volunteers who were striving to achieve and maintain the peaceful environment. In November 2013, I was fortunate to re-visit Ratna Ling and my initial impressions of the Centre were re-confirmed.

As well as being a place of beauty whose presence enhances the surrounding area, the Centre produces sacred Tibetan texts which is a spiritual practice traditionally carried out within Tibetan Buddhist communities. At a time when the faith and culture of Tibetan people are under relentless attack from China the importance of saving and distributing these texts is paramount.

I am very concerned to hear that Ratna Ling's Use Permit is being opposed and sincerely hope the County continues to support the work at Ratna Ling and approves their Master Use Permit.

Yours sincerely

Joan Stead

Apart Hotel Medite A307

Str Polenica Banski Pat 2

Sandanski 2800

Bulgaria

## Cynthia Demidovich

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**From:** Deb Black [deb.black@gmail.com]  
**Sent:** Tuesday, March 18, 2014 6:35 AM  
**To:** Cynthia Demidovich; Shirlee Zane  
**Cc:** Efen Carrillo; Mike McGuire; David Rabbitt  
**Subject:** Re: Ratna Ling

Hard to believe there would be problems from neighbors! Here is what Yelp thinks of Ratna Ling Retreat Center

<http://www.yelp.com/biz/ratna-ling-retreat-center-cazadero-2>

I don't think I've ever seen such glowing reviews on Yelp!

## Cynthia Demidovich

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**From:** Julia Witwer [juliawitwer@gmail.com]  
**Sent:** Monday, March 17, 2014 5:32 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** a letter in support of Ratna Ling

County of Sonoma Board of Supervisors  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

Dear Members of the Board of Supervisors,

I am writing to express my heartfelt support for the Ratna Ling Retreat Center, whose Master Use Permit is presently under appeal.

I lived for three years at the nearby Odiyan Retreat Center, and during my tenure there I participated in sacred text production at Ratna Ling. This activity has major cultural significance and is an enormous service to the people of Tibet, who lost most of their libraries when their country was annexed by China. Ratna Ling's printing activity is also an important religious practice for the residents, who express their commitment to their faith by preserving and disseminating these texts, free of charge, to Tibetan Buddhist practitioners in Asia.

Ratna Ling's printing activities are surprisingly quiet. Printer and bindery noise is not audible from the road, or even from nearby buildings. In my experience, during the years I lived in the area, the printing press generated substantially less noise and disturbance than local logging activity.

Over the years, Ratna Ling and its residents have reached out in many ways to the local community. For instance, Ratna Ling donated a fire engine to the local fire protection district, and a Ratna Ling community member serves as a volunteer firefighter. Ratna Ling also funded the construction of a playroom at the local school, and has offered a series of Tibetan Yoga classes to its neighbors free of charge.

Beyond this kindhearted activity, the demeanor of Ratna Ling residents makes the center a good fit with the local scene in many ways. The volunteers are gentle, hard-working, and courteous. They cause no commotion. They genuinely love the land and respect its distinctive character.

It is my understanding that Sonoma County's Permit and Resource Management Department found no code violations at Ratna Ling after a lengthy and comprehensive review process, and that the Board of Zoning Adjustments unanimously approved Ratna Ling's application for its new Master Use Permit in 2012. I urge the Board of Supervisors to uphold this ruling and to continue to support Ratna Ling's modest presence and beneficial activity in the area.

Sincerely,

Julia Witwer

Writer and Researcher

Guna Foundation  
Berkeley, CA



## Cynthia Demidovich

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**From:** Lynn Olechnowicz [petraspect@gmail.com]  
**Sent:** Monday, March 17, 2014 5:39 PM  
**To:** David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Susan Gorin  
**Cc:** Cynthia Demidovich  
**Subject:** Please approve Ratna Ling's Master Use Permit application

Dear Supervisors,

I have had the very good fortune to participate in several programs at Ratna Ling over the past five years. I love Sonoma County and each time I visit the beautiful and serene Ratna Ling facility, I extend my trip by also staying some days in local campgrounds and inns to enjoy the natural beauty of the county, contributing my little bit to grocers, innkeepers, restaurants and shops.

The experience of working on the sacred texts at the press was a particularly enriching part of the programs. It provided the opportunity to put my spiritual and religious values related to serving others into meaningful action. The texts and the extreme respect given them by both those who produce and receive them are at the heart of the preservation of both Tibetan Buddhism and Tibetan culture. Working at the press was a great privilege and blessing that continues to benefit both myself and others to this day.

Please carefully weigh your decision and consider the enduring spiritual value of the work done at Ratna Ling. The work done at the press is very precious and a blessing not only to those who work on the texts and receive them, but also to its locale - bringing a subtle yet significant positive value to the environment and all beings in its vicinity.

Thank you for your consideration of this matter.

Best,  
Lynn Olechnowicz  
510-520-4366

## Cynthia Demidovich

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**From:** Martin Scott [martin@martinyoga.com]  
**Sent:** Monday, March 17, 2014 6:00 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Cc:** genegretchen@yahoo.com  
**Subject:** In Support of Ratna Ling

To the Supervisors of Sonoma County -

I am writing to you to express my support of Ratna Ling and their work. I have been to Ratna Ling over the past several year on multiple occasions and I cannot express enough what a peaceful, quiet place it is. Being devoted to Tibetan Buddhism, they observe silence and only talk at short, specific times of the day. This respect for silence is not just for the people who work there but their facilities too. I have been inside their printing facility and it is so quiet that you would never know the amazing work that they are doing there.

The building where they do the printing is so secluded and quiet and removed from everything else that I've never heard noise coming from it at all. I've hosted retreats at Ratna Ling and some of my students have volunteered their time to work in press room and they have all commented on the amazing impact of the work that is done there to preserve the Tibetan Buddhist sacred texts. They all commented on the impact how working in the press room is clearly part of the spiritual practice that is integral to Ratna Ling.

It is so imperative that they are allowed to freely continue the work that they do here in the USA since it is not allowed in the native land of their religion, Tibet. This is especially important because so much of their history and sacred texts have been destroyed by war, invasion of Tibet and persecution. It would be a very sad disservice to the world if the press at Ratna Ling were no longer printing.

Best regards,  
Martin Scott

## Cynthia Demidovich

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**From:** Abbe Blum [abbeblum1@gmail.com]  
**Sent:** Monday, March 17, 2014 6:39 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** In Support of the Ratna Ling Retreat Center and the Master Use Permit to be considered on April 8, 2014

To Supervisors Gorin, Rabbitt, Zane, McGuire, and Carrillo:

I write this email to urge you all to give your full support to Ratna Ling's pending application for a Master Use Permit covering its retreat and sacred text publication activities.

I have been on multiple retreats over quite a few years (at least eight) at Ratna Ling; I take on average at least one a year. Each major retreat program (1-3 weeks) integrates work on the sacred texts with the other parts of meditation, yoga and lecture. This grounded, balanced method offers an absolutely unique opportunity to have contact with such texts and how they are produced. That contact is a key part of the whole retreat experience; and in fact it is part of the Tibetan Buddhist tradition. I have also had the great good fortune of being part of the text and prayer wheel distribution in Bodh Gaya India, the place of the Buddha's enlightenment and a World Heritage site. There, these same sacred texts produced at the press at Ratna Ling were given out --gratis--to thousands of Tibetan monks, nuns and lay people at the annual World Peace Ceremony. This work is of international humanitarian significance, crucial to preserving the culture of the entire Tibetan people.

Over the years I've also been at Ratna Ling when the neighbors have come to picnics and to do some yoga. The year before last one nearby neighbor enthusiastically attended a longer Tibetan yoga (Kum Nye Dance) retreat that I was taking.

I also have observed over the years how Ratna Ling has preserved the environment; the turkeys run about, and deer are all around, in and out of the redwood groves. Just this last month in February I frequently saw several family of quail quite at home. Ratna Ling is a beautiful and sheltered place. Those who live and work there and devote themselves to this center deserve recognition for their skillful tending of the land.

Sincerely,

Abbe Blum, Ph.D.

2162 Vine Street

Berkeley, CA 94709

510-704-1478 (h)

510-295-8870 ©

## Cynthia Demidovich

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**From:** Deb Black [deb.black@gmail.com]  
**Sent:** Monday, March 17, 2014 7:49 PM  
**To:** Cynthia Demidovich  
**Subject:** Ratna Ling

Dear Ms. Demidovich,

I understand that neighbors of Ratna Ling are complaining about .... Its existence?

Although I have never been there myself, I have several friends who have gone to retreats there. Loved the place and the people there.

The people of Ratna Ling are also doing wonderful work to help save a culture in danger.

What is the problem here?

Best regards,  
Deborah Black

Sonoma

## Cynthia Demidovich

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**From:** Charles Fisher [c\_fisher@mac.com]  
**Sent:** Monday, March 17, 2014 8:15 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** Ratna Ling - for the record

Dear board of county supervisors:

For the Record: In Support of Ratna Ling

I wish to express my support of the printing of sacred texts at Ratna Ling. I have stayed at Ratna Ling several times (with their generous support) for retreat and meditative purposes. It is a peaceful and kind community. The role they play in printing and shipping Buddhist sacred texts to exiled monks is a gift to a compassionate world, religious freedom, and human rights.

Please support the continued work of this beautiful community partner.

Sincerely,

Chuck Fisher

Charles L. Fisher, PhD  
16110 Coleman Valley Rd.  
Occidental, CA 95465  
(707) 843-9335  
[c\\_fisher@mac.com](mailto:c_fisher@mac.com)

## Cynthia Demidovich

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**From:** Kelli Schultz [mommykelli@att.net]  
**Sent:** Monday, March 17, 2014 8:27 PM  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com; Efren Carrillo; Mike McGuire; Shirlee Zane; David Rabbitt; Susan Gorin  
**Subject:** Ratna Ling Support

To all of those involved in the decision making process,

We hope you will focus on the the many positive things Ratna Ling brings not only to the community but also to the individuals that consider it a welcome retreat and look forward to staying in this beautiful and serene sanctuary. As is their intention all of our visits have been only blessed by beauty. Being on the property their publishing press is discreet and leaves only silence and blue sky. If we had not been given a tour we may have missed it. Given the Chinese destruction of thousands of monasteries and libraries there is a cultural and spiritual importance in saving the Tibetan Buddhist sacred texts. This printing and distribution work preserves and spreads the Dharma. It is also internationally recognized and brings positive recognition to Sonoma County which enables support for both parties.

They have been generous and welcoming to the surrounding community as well, such as the gift of a fire engine, building of a playroom at the school, providing a Red Cross emergency trailer, offering free yoga classes to the neighbors, and providing a water and rest stop for cyclists on Hauser Bridge Road.

They have been open to your thoughts and willing to honor your feelings by keeping the area quiet and clean. We hope you will do the same by honoring their commitment to manifesting a world where peace and love rule. It is an awesome experience when we can be a community of unity! We thank you in advance for opening

your heart and minds and leaving a legacy of love for the generations to come.

Many thanks & blessings,

Kelli Schultz

1351 E 6th St

Benicia, Ca 94510

707-980-4428



## Cynthia Demidovich

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**From:** jdulberg@comcast.net  
**Sent:** Monday, March 17, 2014 9:12 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** Ratna Ling Retreat Center

Dear Supervisor Gorin, Supervisor Rabbitt, Supervisor Zane, Supervisor McGuire and Supervisor Carrillo,

I have recently been made aware of the hearing on April 8 regarding Ratna Ling Retreat Center. I have visited and stayed over night at the Center at least 10 different times over the last 4 years. I took a tour of the religious printing press the very first time I visited the center and truthfully have never seen, heard or even smelled the press on any subsequent visits. Perhaps you know that the cottages and meeting rooms are in close proximity to the religious printing press, but I can't even remember there it is located on the property since they have done such a magnificent job of respecting the neighbors and visitors with its placement and operational practices. The only hint of the press I have seen is when the wonderful volunteers working in the press sit together with the visitors and share the meals in the cafeteria.

Ratna Ling is a wonderful addition to our community. As a past executive director of a local non-profit organization, a past manager at one of our county's most prominent institution of higher education, and currently a manager at one of our local non-profit hospitals, I have used Ratna Ling on many occasions. I have brought my staff there for meetings and all day retreats. Keeping in line with their mission, they have always offered their services and facilities at little or no charge. While other non-profits have offered a meeting room at over \$600 a day, Ratna Ling requested a donation for lunch of \$10 a person and gave us the meeting room for free! As a result of these meetings many individuals then return to enjoy the tranquil setting, the beautiful facilities and the opportunity to participate in the free yoga classes, meditation classes, dharma talks and education Ratna Ling can provide.

I know that many of the people who I have brought to the Center are amazed by the work of the Religious Press and though there was not time to work at the press on the day of the meeting, many have returned to volunteer because they felt so strongly about giving back to such a worthy cause. I feel strongly that this is a very unique opportunity to contribute to the cultural importance of saving the Tibetan Buddhist sacred text, it is internationally recognized and bring positive recognition to Sonoma County and I support this without hesitation.

There is no other facility like it in Sonoma County. The all volunteer staff at Ratna Ling welcome all. They are very interested in serving their community in any way possible. On several occasions I have received the donation of free personal retreats for fund raising raffles in the community, I know they have donated a fire truck, and my husband has used the bike watering station on numerous occasions.

I request that you continue the approval of the Master Use Permit to that Ratna Ling can continue serving our community both locally and internationally.

I am honored as a return visitor/supporter, to know I am contributing to such a worthy cause.

Thank you,

Jeannie Dulberg, MA, MFT

Home address:

540 Wagon Rd.

Sebastopol, CA 95472

## Cynthia Demidovich

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**From:** d.dulberg@comcast.net  
**Sent:** Monday, March 17, 2014 9:38 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Cc:** publicrelations@ratnaling.org  
**Subject:** Ratna Ling Hearing

Dear Sonoma County Supervisors Susan Gorin, David Rabbitt, Shirlee Zane, Mike McGuire, Efren Carrillo and Sonoma County Planner Cynthia Demidovich,

As a lifetime Sonoma county resident, I ardently support Ratna Ling, both its retreat facility and its text publishing facility. It is exactly the sort of endeavor that makes our county an amazing, vibrant place to live.

I first came across Ratna Ling on a bike ride along the beautiful, rugged roads that make Sonoma County a world-class destination for cyclists. At the top of one of the steepest grades, on Hawser Bridge Road, there appeared a water fountain, a flat rock for sitting beneath a shady tree, and a rack to hold my bike while resting weary legs. Who would think to care for anonymous cyclists as they tested themselves against the most challenging roads Sonoma County has to offer? A small card read "Ratna Ling." What was a Ratna Ling?

A web search provided the answer and my wife and I decided to go and see what this place was. Without an invitation, or reservation, we were greeted with a cup of warm tea and even warmer laughter. The beauty and tranquility of Ratna Ling was immediately apparent. An even deeper beauty and tranquility emerged as we learned about the publishing facility, how the Tibetan Buddhists had been violently exiled from their mountainous homeland, and how this facility was a crucial link to Tibetan Buddhism because many of the texts produced are donated to exiled monks. I am so proud to live in a place that is the nexus of such a noble, world renowned mission.

I have ridden Hawser Bridge Road on my bicycle more than a dozen times. Each time I am struck by how quiet it is there. There is no noise from either the press or the retreat, almost no motor traffic. The wind through the redwood trees is almost always the only sound. We have stayed many times in the cottages which are situated directly across the road from the press. We have heard birds and crickets, but never anything even remotely "industrial" sounding.

These are good neighbors who go out of their way to be gracious and engaging. I know they have provided the community with a fire truck, a playroom at the local school and a Red Cross emergency trailer. They have a history of great patience and empathy, making every effort to listen to and address the concerns of their neighbors.

I passionately urge you to allow Ratna Ling to continue to exist with its current approved operating plan, under the already closely examined and exactingly followed permitting procedure. This is a great fit for this beautiful part of the world—an organization and place that is a boon for the environment, the economy, the reputation and, yes, even the spirit of Sonoma County.

Sincerely,

David Dulberg

540 Wagnon Road

Sebastopol, CA 95472

707 529 5360

## Cynthia Demidovich

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**From:** Christian Doering [c.doering@comcast.net]  
**Sent:** Monday, March 17, 2014 9:46 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** Ratna Ling Master Use Permit

Dear 5th District Supervisors,

I'm writing today to ask you to grant full and final approval for Ratna Ling's Master Use Permit. I reside in your district, on The Sea Ranch at Lupine Close. I am a supporter of the Nyingma Institute, and hope that Ratna Ling can continue all of its operations in line with the Master Use Permit.

I have direct experience of the printing operations at Ratna Ling, having contributed my time and labor as a volunteer. I would not use the word "industrial" to characterize what goes on there. Rituals are performed at the start and end of the work day. The output of the printing presses is not, for the most part, commercial items for sale, but sacred objects, which have at least as much value to Buddhists around the world, especially Tibetan Buddhists whose traditions have been under threat of extermination for over 50 years. The entire activity is performed with a deep regard for the environment and for the people who participate in it.

I appreciate the concern that Cazadero residents have expressed for their quiet and comfort. I was quite happy to move from Annapolis Road to Lupine Close a few years ago. On this residential cul-de-sac, the loudest sound is the ocean after a storm or the winter rain. Quite a contrast to Annapolis Road, where traffic to and from the transfer station, the CalTrans maintenance yard, Horicon School and local businesses could be noisy at any time day or night. I never thought that the answer to my personal noise problem was to move essential facilities that benefit everyone in the region.

Ratna Ling has benefited everyone in our region also, by donating a fire engine to the Timber Cove fire department, by allowing unused structures on its premises to be used for training by Timber Cove fire fighters, by putting its multi-million gallon reservoir at the disposal of the fire department, and by constructing a water fountain and rest station for the use of bicyclists.

Denying or amending the Master Use Permit could disrupt the global dispersion of Buddhist teachings, inflict a severe financial burden on the Nyingma Institute, and deprive a small but highly dedicated group of volunteers of activities that they consider essential to their spiritual work. Denying or amending the Master Use Permit could not restore Tin Barn Road, Hauser Bridge Road or Seaview Road to the state they were in 40 years ago. There has been substantial development, such as wineries, glass blowing operations, sheet metal fabrication and other "industrial" operations since then. I hope that the 5th District Supervisors will allow Ratna Ling to continue being a good neighbor to all the residents of Cazadero and surrounding communities.

Best Regards,

Christian Doering

**Cynthia Demidovich**

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**From:** Peggy Kincaid [peggykincaid88@yahoo.com]  
**Sent:** Monday, March 17, 2014 5:13 PM  
**To:** Susan Gorin; David.Rabbit@sonoma-county.org; Shirlee Zane; Mike McGuire  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** Ratna Ling

Dear Supervisors,

I am writing this letter in support of the Ratna Ling retreat center. I have lived in the Bay Area all my life and have been a practicing psychotherapist for the last 25 years. I have had occasion to participate in and teach retreats at Ratna Ling. It provides a unique setting for healing, quiet and spiritual contemplation.

During my retreat time I have participated in helping with the sacred texts being printed at Ratna Ling. It is inspiring to work with these Tibetan texts knowing they are given to those who have lost their homeland and culture. These sacred texts are a vital way to save the Tibetan culture.

Two years ago I was visiting a monastery in the Himalayas in Nepal. We were taken to the library and shown the books that were printed in Sonoma county. It was moving to see the good works of the Nyingma organization so very far from home.

I believe the positive intent and energy from the texts and from Ratna Ling as a whole benefit Sonoma County and the surrounding area.

Respectfully,

Peggy Kincaid MFT

## Cynthia Demidovich

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**From:** Alicia Fazio [aliciaf60@gmail.com]  
**Sent:** Monday, March 17, 2014 5:23 PM  
**To:** Susan Gorin; David Rabbitt; Shirleen.Zane@sonoma-county.org; Mike McGuire; Cynthia Demidovich; Efren Carrillo  
**Subject:** Ratana Ling Retreat Center

To the County Supervisors

I am writing to you to express my support of the Ratna Ling Retreat Center and the printing operation. I have participated in several retreats over the past several years. A part of everyday in each retreat was devoted to working on these sacred texts in the printing operation. The experience was so profound. The atmosphere is quiet with only essential speech no other distractions except the hum of the machines. The walls are covered with sacred art. The books are elevated and held with deep respect. Never placing them on the floor. If dropped we pick them off the ground and touch the pages to our heads in deep respect. It is a beautiful opportunity to touch and work with these precious works of wisdom. In the Buddhist tradition the text are placed on the altar to be venerated as words of the holy ones. The production of the text is done by volunteers and retreatants like myself. Unskilled in book production but holding these works in the highest regard, we learn deep appreciation for mindfulness and care.

The experience of working on these books is one of the highlights of each retreat I have taken. What an amazing opportunity that we have so freely been given. Traditionally it is rare to even touch these books. I hope you supervisors will support the continuation of this most amazing contribution.

Sincerely

Alicia Fazio  
8340 Blackney Rd.  
Sebastopol, Ca 95472

## Cynthia Demidovich

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**From:** Pauline Yu [paulinepingyu@gmail.com]  
**Sent:** Tuesday, March 18, 2014 8:51 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** In support of Ratna Ling Buddhist Retreat Center

To Whom It May Concern:

I'm writing to express my appreciation for and support of the projects at Ratna Ling Retreat Center.

The text production project is wonderful because it calls forth the participation of many people for an altruistic end. It offers the opportunity for religiously motivated work in a setting that amplifies qualities of peace and well being in a way that is quite special.

As someone who has attended short retreats at Ratna Ling and worked at the press there during these retreats, I can attest that it is a unique opportunity, that the beautiful natural setting of the retreat center is part of the appeal, and that working in this way is a wonderful way to cultivate one's intentions of generosity and generate awareness.

Given historical events and the present situation, Tibet's Buddhist culture has been and is at risk. This project is an amazing, non-political and peaceful response to support and sustain the continuation of this tradition, by sending Tibetan sacred texts free of charge to the Himalayan region, so that practitioners can preserve and pass on teachings integral to their way of being to the next generation.

This is a very positive, worthwhile project to host in Sonoma County with an international and humanitarian impact, and one that I would like to see continue and flourish.

With best regards,

Pauline Yu



## Cynthia Demidovich

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**From:** Ralph McFall [ralphmcf@gmail.com]  
**Sent:** Tuesday, March 18, 2014 9:06 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** Letter in support of Ratna Ling

March 17, 2014

Dear County Supervisor,

My name is Ralph McFall and I have lived at 33755 Tin Barn Road, Cazadero for the past 15 years. I am writing to you in support of Ratna Ling Retreat Center, where I presently do volunteer work in the pressroom.

Ratna Ling is a precious, beautiful environment that brings natural beauty and spiritually significant activity together. Having worked there for several years, I can attest that it is a clean, quiet, healing environment enjoyed by many retreat visitors.

I personally am grateful to be able to do our meaningful presswork in such an environment. I have devoted 34 years of my life to making the riches of the Buddhist tradition available to others. Printing sacred texts at Ratna Ling is probably the most significant thing I have done.

For background, the worlds first known printed book was a Buddhist text, in 8<sup>th</sup> century China. The sponsor of that book noted that it was for free distribution and for the purpose of creating merit (positive energy for all beings). Today so many centuries later, our intention and our results are the same, only the printing method has changed.

The sacred nature of the press environment is readily visible in the deer and wheel of the dharma symbol atop the building. This symbol is reserved for temples, monasteries and sacred text printing establishments (parkhang).

Retreat visitors to Ratna Ling often help in the bindery and I see their joy in doing so, how open they are to guidance in how to handle and respect these sacred texts.

I only see benefit coming from all the activities at Ratna Ling; there is no harm to any person or to the environment in the slightest way. I wholeheartedly support Ratna Ling in the matter before you.

Sincerely,

Ralph McFall

## Cynthia Demidovich

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**From:** Ann Bergfors [bergfors@mcn.org]  
**Sent:** Tuesday, March 18, 2014 9:12 AM  
**To:** Cynthia Demidovich  
**Subject:** FW: Ratna Ling

Dear County Planner, Cynthia Demidovich,

I have sent the following e-mail in support of Ratna Ling and wish to offer you the courtesy of also receiving record of it. Thank you for your work on behalf of all Sonoma County residents, and our great state.

Best,  
Ann Bergfors

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**From:** Ann Bergfors [<mailto:bergfors@mcn.org>]  
**Sent:** Tuesday, March 18, 2014 8:57 AM  
**To:** [Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org); [David.Rabbitt@sonoma-county.org](mailto:David.Rabbitt@sonoma-county.org); [Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org); [MikeMcguire@sonoma-county.org](mailto:MikeMcguire@sonoma-county.org); [Efren.Carrillo@sonoma-county.org](mailto:Efren.Carrillo@sonoma-county.org)  
**Subject:** Ratna Ling

Dear Sonoma County Supervisors,

This letter is in support of Ratna Ling. I have had the amazing opportunity to help in the bindery at Ratna Ling as part of my religious practice as a Tibetan Buddhist, and found it profoundly uplifting. It isn't often that one has a chance to do something that really feels like it makes a difference, and working on these books that are being given to the Tibetan people, both monastic and lay, is deeply satisfying. Moreover, experiencing that a simple untrained person like myself can offer energy directly is empowering. This activity is what I would hope the world can have more of, people-to-people actions to make the world better, gestures of respect to the wisdom traditions of other cultures from the hands of America. It seems very much in keeping with our nation, united in respect for all peoples and faiths. I am grateful to Ratna Ling for providing the chance to take part in such a noble activity and I hope that the good will spreads to our community and nation.

Sincerely,

Ann Bergfors

Berkeley, CA.

## Cynthia Demidovich

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**From:** Jonathan Swinchatt [swin36@cox.net]  
**Sent:** Tuesday, March 18, 2014 9:46 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Permit Application

To: Sonoma County Board of Supervisors

Re: Master Use Permit application of the Ratna Ling Buddhist Retreat Center

This letter is in full support of the application cited above.

The importance of the cultural preservation work being undertaken at Ratna Ling cannot be overstated. Our world is increasingly driven by electronic technology, a trend that motivates for ever greater cultural uniformity. In particular, this path tends to negate, subtly and insidiously, much of the learning embodied in the world's 'wisdom traditions'. The Tibetan culture is one of our most prominent examples of such learning, significantly because of the exodus from Tibet following the Chinese invasion of 1959, the subsequent spread of centers of Tibetan culture throughout the world, and the influence of the Dalai Lama as a world spokesman for peace and diplomacy. Unfortunately, during the exodus, and subsequent destruction of monasteries in Tibet, many thousands of texts were lost. Of those that have been preserved, few copies were originally available. Over the past 30 years, Tarthang Tulku Rinpoche has supervised the printing of over 3 million copies of these texts and has distributed them broadly to monks in Asia, enabling the passing on of learning accumulated over millennia to new generations of students. This work, taking place at Ratna Ling, has been recognized and honored throughout the world—any interruption in the flow of this material would be a serious blow to the world community.

I urge you to approve the application.

Sincerely,

Jonathan Swinchatt

Jonathan Swinchatt  
EarthVision, Inc.  
52 Cook Hill Road  
Cheshire, CT 06410  
Ph. 203 250-9311  
Cell 203 915 9529

## **Cynthia Demidovich**

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**From:** Claudia d' Almeida [claudiadalmeida1006@gmail.com]  
**Sent:** Tuesday, March 18, 2014 5:31 PM  
**To:** Cynthia Demidovich; Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Subject:** Support to Ratna Ling Retreat Center

To

County of Sonoma Board of Supervisors

575 Administration Drive, Room 100A

Santa Rosa, CA 95403

Dear sirs,

I am writing in support to Ratna Ling Retreat Center.

I´m a Buddhist practitioner and I lived there from 2005 to 2007 as a volunteer worker. I'm planning to spend 6 months there next year to work again and also to enjoy this wonderful center to practice my meditation. The foundation of our practice is our daily work, meditation and studies and this place provide all we need for our spiritual challenges. For Buddhists practitioners is very important to work with those sacred texts.

When I was living there I used to go to Sonoma County and on those occasions I had the opportunity to fully enjoy what is offered for visitors, whether shopping or just getting to know the places.

I live in Rio de Janeiro, Brazil and I´m writing to ask all of you to support this place to continue as retreat center and with all the projects we have there.

Sincerely,



## Cynthia Demidovich

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**From:** Talia Lozipone [tlozipone@gmail.com]  
**Sent:** Tuesday, March 18, 2014 5:42 PM  
**To:** Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** Fwd: Letter from Ratna Ling Volunteer

To Whom it May Concern:

My name is Talia Lozipone. I am a full time work study volunteer at Dharma Publishing. I have lived at Ratna Ling Retreat Center for the past 3.5 years. My life and time here is increasingly more rewarding and joyful. I love living and working here, and feel that coming here was the best choice I have made so far.

My work is rich with meaning and I am very much devoted to the mission of our organizations. Using Skillful Means, the teachings on how to use work for spiritual development, I find many resources within myself and continually strive to do my best, to challenge my abilities, and to help others. Working here I have learned to focus my energy, to communicate with care, and that I am much more capable than I thought.

At Ratna Ling, I am always learning! Not only at work where I have the opportunity to learn to manage people, to improve my business and marketing skills, and to refine my creative abilities but also in our classes, where even after several years of living here I realize that there is so much more to know. Community Life also provides a wonderful opportunity to practice compassion in action and for striving to see the best in others.

From Monday to Saturday, I work each day from 8am - 6pm. I have an hour lunch break from 12:30 - 1:30pm and half hour breaks in the morning and afternoons. In the mornings and evenings, I have the opportunity to study a vast array of Tibetan Buddhist topics such as philosophy, psychology, logic, meditation, and art. When I am not working, I spend my time studying, practicing Tibetan yoga or meditation, taking hikes in nature, or collaborating on creative projects with friends. My life is quiet, still and peaceful. I feel great joy most of the time and I believe it is a result of the work we do, both spiritually and professionally.

I am very lucky to live in a place of such abundance, to be in an atmosphere which values the appreciation of life and to be surrounded by people who care about the same things I do. I feel that this work study program truly has my best interest in mind.

I am growing more confident, responsible, and capable. As a human being, I feel so satisfied to make the most of my time and energy. I feel I have found my purpose in life and I am very thankful for the opportunity to be here.

I hope that in the future there will be no divisiveness between us and our neighbors and that we can work together harmoniously and for the benefit of others.

Kind regards,  
Talia

## Cynthia Demidovich

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**From:** Matthew Breit [mattb@dharmapublishing.com]  
**Sent:** Tuesday, March 18, 2014 5:43 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** Letter from a Ratna Ling Volunteer

Dear Sir,

I arrived at Ratna Ling from New York City on a rainy May day, expecting to stay only 6 months, the minimum commitment length for the Ratna Ling Work-Study program. That was four years ago, so needless to say, I enjoy being here!

From the outside it would be easy to think I have it hard. A six day work schedule strikes a lot of people as intense. "What, no Saturdays!?" As a retail manager turned media and tech professional, I long ago stopped thinking about how many hours I worked and whether or not I'd get my "weekends." 12 hour shifts, weekend shifts, all-nighters, long commutes, holiday hours, and "crunch time," all equaled (mostly) good paying gigs but at the cost of a sustainable, healthy lifestyle. Like so many of my generation and the generations before, I was working for the weekend and seemed always to be coming up short on satisfaction and fulfillment.

Ratna Ling has been a real chance to do things differently. Embedded in a rigorous work schedule, complimented by evening classes and morning and evening practice sessions of meditation and yoga, is a view of what it means to be a human being fully engaging in life. Why? Because it is precious and it won't last, so now is the time to make the most of it. As Tarthang Tulku writes, "life exacts a price for less than full participation." Now there's a maxim I wish I'd heard in college while studying philosophy!

"Work," understood as whatever I commit my time, energy, and knowledge to doing, whether building a website or writing a song on guitar or making dinner for my girlfriend, can be a meaningful, rewarding, challenging, and rich experience. I can learn new skills while facing insecurity and fear. I can overcome obstacles and work with negativity in myself and others to accomplish great things. I can also not do all of these things, and follow a path of frustration and disenchantment. These are some of the fundamental challenges of using work as spiritual practice. In this approach my work results are direct feedback about the quality of my engagement and I am given the chance to watch all the ways I can undermine my own aspirations in favor of familiar patterns of emotion and conflict. It's not always "pleasant" or even "nice" work to look at myself honestly, let alone resolve to change and try to follow through. This is "responsibility" in the path of work as spiritual practice, and it sets a high bar—one worth reaching for everyday even if I often can't seem to quite reach it or hold on for as long as I'd like.

The results of my efforts over the last 4 years are too many to write here, but among the more striking are that I have become more creative, calmer, lighter, gentler, more patient and understanding, more in love with life, and more appreciative of the incredible opportunity I have to live a meaningful life.

When I return to "the real world" after my extended training here, not only will I emerge with an impressive resume and proof of continued refinement of my operations and management skills, I will also carry with me knowledge of how to live well. Cultivated in the daily grind of e-mails, phone calls, meetings, and the regular "stuff" that makes up a life, this



knowledge is reliable and effective—I use it every day. I am looking forward to bringing my spiritual study and practice to bear on problems facing whatever business or organization I land in.

We learn here that great spiritual practitioners of the past were like artists without a canvas, that their life was their great work—deeply creative and meaningful. At Ratna Ling I have begun to learn what it means to be the artisan of my own life and I look forward to sharing the results of my effort for the benefit of others.

I am deeply grateful for the opportunity to live and work as part of such a program in such a beautiful place. I hope I am just one of countless people who will come here in the coming years to delve into what makes life precious and to discover the joy of a life well lived.

Kind Regards,

--

**Matthew Breit**  
General Manager



**Dharma Publishing**

35788 Hauser Bridge Rd.

Cazadero, CA 95421

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Help us spreading this universal prayer across the world!

## Cynthia Demidovich

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**From:** Hoffman Robert [rp.hoffman@comcast.net]  
**Sent:** Tuesday, March 18, 2014 5:57 PM  
**To:** Shirlee Zane; David Rabbitt; Susan Gorin; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Ratna Ling Master Use Permit

Dear Supervisors,

I have been a long time retreat attendee at Ratna Ling and feel strongly that it's purpose and importance are vital. It is my understanding that there is some resistance to the printing of sacred Tibetan texts on the property. I am sure you understand the terrible loss of texts under the Chinese occupation of tibet. The reprinting of these texts at Ratna Ling and their distribution to Monks and Nuns from many parts of Asia is a critical function to help preserve a culture and religion the Chinese are trying their best to subdue.

The printing operation occurs completely out of sight and sound of the road and any neighbors. Traffic to and from the site is minimal. The spiritual benefits accrue to both the recipients AND those of us who derive pleasure and satisfaction in their production. It would be a huge tragedy if a new use permit did not allow this activity to continue. It is truly of no bother to local residents and would be a great loss to all of us if it were to end.

Thank you all for your consideration. I am sorry that work will keep me away personally from the board meeting.

Sincerely,

Robert P. Hoffman MD  
Orthopedic and hand surgery  
Alameda Health System  
email: [rp.hoffman@comcast.net](mailto:rp.hoffman@comcast.net)  
cell: 510-604-8549

## Cynthia Demidovich

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**From:** Jimena [mariajimenasuaya@gmail.com]  
**Sent:** Tuesday, March 18, 2014 6:29 PM  
**To:** Cynthia Demidovich  
**Subject:** Ratna Ling Retreat Center

Dears Madame and Sir  
Efren Carrillo, Susan Gori, Mike McGuire, David Rabbitt  
Shirlee Zane , Cynthia Demidovich,  
& Gene Gretchen:

Its with great pleasure that I am sending this e mail from Argentina.

Its my intention to let you know that I travel to US all the way long and come regularly to the Ratna Ling Retreat Center, sometimes I come more than once a year, and I have always greatly appreciated my time there. I am also a mother, a boy and a girl, and they appreciate very much my time there, even distance and time, knowing that being there and helping with this projects benefits us all, including them of course in the practice of values and principles in which work is based on at Ratna ling Retreat Center.

It is with great effort that we, from Argentina, affords the cost of travelling and exchange of money due to our actual economy situation, but even though, and in addition to the Kum Nye, Yoga Meditations and Traditional Dharma Teachings I have valued mostly our time of work practice. Its a great and unique opportunity to keep learning.

Each day we go to the Tibetan Text Project and help with the binding of Tibetan Books. We help in different ways, collate, edge dye books, help filling the pockets of the binder or tip in thankas. Any of this activities can bring joy and happiness for equal, as all them help to make this proyect possible!

I cannot express in words how important for me this work practice time has been. It is like meditation, and I am engaged with ancient texts. It is also very valuable because in the classroom we do work with the body and mind, but not with the hands so during work practice I actually touch the sacred text materials and help them into their next phase of process. It is just like I am embodying the books that I help to bind. And keep learning in unique ways.

Of course I also know what happens to the books, that they are being shipped to India and freely distributed to the Tibetan monks and nuns in exile. I know people who have gone to the annual distribution and they have tried to convey to me how appreciative and happy the nuns, monks, and lay people are to receive these ancient texts. They can walk up to two weeks in order to receive them and go back home carrying this books, wich means a unique opportunity of learning and practice the Dharma. I wish I could be there myself too some day and testify large feelings of appreciation as much I found at Ratna Ling Retreat Center. It is a very special place where intention is set to help all sintient beings to make valuable the time of your life.

Please hear me when I say that this work with the Tibetan texts is most precious to me, and for me it is an integral part of learning the Dharma and making my life more spiritual, benefiting all people around, and spreading it in all directions. I have the great opportunity of sharing about Teachings and Values That Ratna LIng Retreat Center work practice produce with more than a hundread students per year, here in my country, extending their merits all along the way! They also want to come with me some day to US and make their own experience!

Thank you so much for your time  
And for hearing how far Ratna Ling Retreat Center work practice is benefiting all, and so far i hope the voice of

ancient wisdom can still be heard and readed from those texts that with huge efforts are benefitting all of us.

Sincerely yours,

Maria Jimena Suaya  
Buenos Aires,  
Argentina

Enviado desde mi iPhone

## Cynthia Demidovich

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**From:** Arnaud Maitland [arnaudmaitland0@aol.com]  
**Sent:** Tuesday, March 18, 2014 6:31 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling volunteer

Dear Sir,

It is a pleasure for me to let you know how satisfied I am to be living and working at Ratna Ling. My name is Arnaud Maitland. I have been at Ratna Ling from the very beginning and we have always tried to fit in in our neighborhood. I am sure we are not a burden to anyone.

I, like the rest of us, have daily meditation and yoga practices and evening studies and during the day I happily work on programs that I lead at our retreat center and in other parts of the world. It is always most satisfying when people from Argentina, Brazil, the Netherlands, Sweden, Germany and England come to us in the summer retreats to learn Kum Nye yoga, meditation and study Dharma.

One of the key ingredients of the retreats are that students of the program participate in our book binding process. The younger people do more physical work whereas the older ones are looking for quality and tipping in color pages and organizing the proper order of the printed pieces. Every day they are in our bindery and our first session after the afternoon bindery session we always discuss how it was for them to work with their hands, to participate in a very big project and we show them a movie of the books being distributed to the monks and nuns for free once a year in India.

I lead a few retreats per year here and always invite people from overseas to stay a little longer at our lovely Ratna Ling location so that they can enjoy the trails to the ocean, be on the beach, or walk along the coastline. Sometimes we go out to dinner at the Timber Cove Inn or in Jenner or we do some activities like kayaking on the Russian River. The Ratna Ling visitors are so pleased with the quiet atmosphere, the inspirational discussions and the work on the sacred art and texts. Everyone leaves the property satisfied, nourished and ready to go back to their own work.

In January I visited Sikkim in India and I visited an 87 year old Tibetan Lama who is also a refuge and who brought his training to a safe country and is leading a very large monastery near Gongtok, Sikkim, India. His name is DoDrubChen. When he heard I was from Ratna Ling, he expressed his great gratitude and said, "Without your work, our Tibetan heritage would have died out."

So I am immensely grateful to be part of this process and my sincere wishes that we can have good relationship with the neighbors and that we help each other and appreciate each other. We all want the same – a good life with happiness and meaningful activities.

Sincerely,  
Arnaud Maitland

## Cynthia Demidovich

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**From:** [steveslim904@sbcglobal.net]  
**Sent:** Tuesday, March 18, 2014 6:44 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support for Ratna Ling Buddhist Retreat Center

Dear Supervisor,

I am writing to you to express my support of the Ratna Ling Buddhist Retreat Center and the wonderful spiritual experience being offered there. I hope that you are able to support Ratna Ling's Master Use Permit application. Supporting this application will allow religious practice for members to continue there. The printing and distribution of Tibetan Buddhist Sacred texts is an important and integral part of this religious practice. It is very important work which helps to counteract the Chinese destruction of thousands of monasteries and libraries and thereby helps ensure Buddhist culture survives. It also helps to preserve and spread the Dharma.

In addition, the Ratna Ling Buddhist Retreat Center has been very good to the surrounding community by offering free Yoga classes, and providing a water and rest stop for cyclists on Hauser Bridge Road .

Again, I hope that you are able to support the Master Use Permit application for the Ratna Ling Buddhist Retreat Center . Doing so will allow users to attend Retreat, practice their religious activity, and enjoy the beauty of Sonoma County .

Thank you for very much for your consideration.

Brian Connors  
904 Elm St  
El Cerrito , CA 94530

## Cynthia Demidovich

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**From:** Adriana Szalontai [adszalontai00@gmail.com]  
**Sent:** Tuesday, March 18, 2014 7:10 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Something in common

Dears Supervisors,

Mrs. Susan Gorin, Mrs. Shirlee Zane

Mr. David Rabbitt, Mr. Mike McGuire, Mr. Efren Carrillo

Ms. Cynthia Demidovich

Excuse me, I write in support of Ratna Ling, to express my deep gratitude and appreciation to all involved in maintaining the space for retreats and graphics in Ratna Ling. It is a blessed place, where the people live, and provide care with moments of reflection, peace and balance through of opportunities in contact with nature, with books and with the friends. The space for printing sacred books gives opportunity for thousands of these books to be donated for the benefit of many Buddhists people in India and from different parts of Asia.

I live in Brazil, but my heart and all my prayers go each day to Ratna Ling, for all people that live, study, voluntary work, and care in this so important and beautiful place for all of us. Since 2009, I travel every year (some year two and three time per year) to Ratna Ling to attend retreats and the experiences and learnings that i have there transformed and transform my life for the better, the people that live there are kind, gentle and careful with all us, with all people, animals and with the beautiful and inspiring enviroment. We take care of and preserve all animals that live there and every part of the environment are our friends and brothers. It's all part of our practice, it is considered a precious gift that deserves to be careful.

Each time that i attend on retreats together with others practioners from others parts the world, we receive Budhism Teachings - Dharma, Yoga Classes Tibetan (Kum Nye) and the most incredible moment when i participate in activities in printing with books. I know, i feel that my energy, my intent, my heart and love are connected with others people that feel the same with Joy and profound respect and admiration for our Lama Teacher Tarthang Tulku Rinpoche and teacher Arnaud Maitland and others people that give your lives for this so beautiful mission of live, give us the oportunity of go, feel, practice, study, live and to be with the books at Ratna Ling.

What can be wrong in providing space and conditions for people can gather and have some time to nourish themselves with the teachings, the books, practices of healthy, balance, wellness, volunteer work for something bigger than ourselves and that benefits so many people? Sometimes, under a limited perspective, our usual tendency is to go far from we do not know; but please, my Dears Supervisors, we are all in the same boat of life: all beings want to be happy, all beings do not want to suffer and cause suffering to others. we are no different and we are not separate from the path of peace, unity, sharing, include, invite, add.

I live so far, but i feel that Ratna Ling is my home and my life too. I wish all of you that do not know Ratna Ling: please, go there and see, participate in all that is positive there. In a so busy world that we live, it's so important to have spaces where the people become more calm, balance, happy together with so beautiful nature.

The place where you live is beautiful and we all know Ratna Ling take care it and we feel thankfulness for this place exist and be part of our lives!

And finally, i feel that all of us have something in common: we love the Sonoma County. How can the people that love the same place, same cause that is to preserve the place, the positive actions with the people go far between them?

With all my respect and Yours sincerely,

adriana.



## Cynthia Demidovich

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**From:** Kathleen Daly [kmdaly@vom.com]  
**Sent:** Tuesday, March 18, 2014 7:59 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Dear Board of Supervisors,

Since 1988 I have been involved with Dharma Publishing the organization dedicated to the preservation of sacred Tibetan Text. In 2005 I was privileged to participate in a trip to Tibet. It was with great joy I witnessed the text published at Ratna Ling in some of the most remote monasteries on the planet. It was awe inspiring to see the books in such a far away place.

Over the years I have attended multiple retreats at Ranta Ling. The commitment to the interdependence of community, environment and experience is inspiring and uplifting. I live in Sonoma County and feel particularly grateful to have such a unique venue available for growth and yes sometimes escape.

I appreciate any attention you give this missive.

Respectfully,

*Kathleen Daly*

## Cynthia Demidovich

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**From:** Cheryl Craig [chetzen@pacbell.net]  
**Sent:** Tuesday, March 18, 2014 8:48 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Efren Carrillo; Mike McGuire  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

County of Sonoma - Board of Supervisors

575 Administration Drive, Room 100A

Santa Rosa, CA 95403

Dear Sonoma County Board of Supervisors ~

Thank you for taking the time to read this letter. We know you are busy so we will keep it brief. We are writing in support of Ratna Ling.

We have volunteered for the Tibetan Buddhist Text Preservation efforts. It is a humbling experience knowing that an entire Tibetan culture is at risk without these great sacred texts being printed off the Ratna Ling Press. Everyone that contributes making the books, when they are on retreat at Ratna Ling, finds it vastly rewarding to help out with this project.

Ratna Ling is nourishing on many levels. The grounds are inviting and pristine. It is a wellspring of comfort and peace.

We feel it feeds the surrounding Sonoma County area with it's fine precious energy.

We hope you will get a glimpse of how important Ratna Ling is to Sonoma County and all who come in contact with it.

We do appreciate your consideration in support of Ratna Ling's application. Thank you for 'listening'.

Best Regards,

Cheryl Craig, M.A.  
Dr. Joanne Meyer

## Cynthia Demidovich

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**From:** Mark Cockfield [mark.cockfield@gmail.com]  
**Sent:** Tuesday, March 18, 2014 8:52 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support for Ratna Ling

Dear esteemed members of the County of Sonoma Board of Supervisors,

I am writing in support of Ratna Ling and the opportunity they make available there.

I have been involved with the community for 5 years; and, as part of the quest to find a suitable spiritual community to engage I did a fair bit of Internet research.

What sealed the deal, and still has a profound impact on me every time it comes to mind, was a video of an interview done during a book distribution at Bodh Gaya. In it two monks explained how they had trekked for 2 months through Himalayas to get there and as they were preparing to depart, carrying the books given away that year on their backs, for the 2 month return trip, they said they would gladly give their lives trying to get these books back home because of the significance the books have for them. The joy they were exuding was palpable.

How does one possibly put into words the profound sense of privilege experienced by the opportunity to be involved in making that possible? I can honestly say that the time I have spent working at the spiritual press has been some of the most fulfilling of my 50+ years of existence.

The serene setting, the opportunity for truly selfless contribution, not to mention the deeper spiritual significance and positive energy being generated...I would hope someday Ratna Ling finds itself on the list of Sonoma County's most cherished treasures.

Thank you for your time in consideration of my sentiments.

Warmest Regards,

Mark Cockfield

## Cynthia Demidovich

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**From:** Judith fibertel [judithkacowicz@gmail.com]  
**Sent:** Tuesday, March 18, 2014 8:59 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** pedido de Judith Kacowicz

Estimados Señores:

Este email es para hacerle saber que vengo regularmente al Centro de Retiros Ratna Ling. A veces vengo más de una vez al año, y siempre aprecio mucho mi tiempo allí.

Yo soy de Argentina, y además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, valoro sobre todo nuestro tiempo de práctica de trabajo .

Cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros tibetanos. A veces ordenamos los libros o coloreamos sus bordes o ayudamos a llenar los bolsillos de la encuadernadora.

No puedo expresar con palabras lo importante para mí ha sido esta práctica de trabajo. Es como meditación, y estoy comprometido con los textos antiguos. También es muy valiosa porque en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso. Es como que estoy corporizando los libros que estoy ayudando a encuadernar.

Por supuesto, también sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos.

Por favor, ten en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muy preciado para mí, y para mí es una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

Atentamente, Judith Kacowicz

## Cynthia Demidovich

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**From:** Zara Wallace [zarawallace@sbcglobal.net]  
**Sent:** Tuesday, March 18, 2014 9:03 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** In Support of the Ratna Ling Application for Master Use Permit 2014I

1734 Hearst Ave, Apt 1  
Berkeley CA 94703  
March 18, 2014

County of Sonoma Board of Supervisors  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

Dear Supervisors Gorin, Rabbitt, Zane, McGuire, and Carrillo:

I am writing in support of the religious printing and text distribution work done at the Ratna Ling Buddhist Retreat Center in Sonoma County. While I have not been on retreat at Ratna Ling, I have visited this peaceful site and participated in the same kind of work when it was sponsored by the Tibetan Nyingma Meditation Center in Berkeley. For over twenty years I experienced the work of printing and distributing the sacred Tibetan texts as a transforming activity that feeds body, mind and spirit. The knowledge that the texts are given away to Tibetan monasteries and practitioners adds another positive dimension to this rich spiritual practice. Tibetan culture is still endangered after the destruction of monasteries and libraries by the Chinese, and the gift of these texts helps to preserve and spread the teachings of the Buddha. The monks and nuns who receive the texts feel immense gratitude for the opportunity to read and study them. The value of this work is recognized internationally.

I thank you for your consideration of this important religious practice in Sonoma County and ask for your support in allowing it to continue without interruption.

Very truly yours,

Zara Wallace

## Cynthia Demidovich

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**From:** ruud lankreijer [ruudlan@hotmail.com]  
**Sent:** Tuesday, March 18, 2014 9:07 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; Tennis Wick; Gene Gretchen  
**Subject:** Ratna Ling Buddhist Retreat Center

Dear Supervisor,

This email is to inform you about my appreciation for Ratna Ling in general and the Publishing facilities in particular, and to request you to support Ratna Ling and the Publishing operation.

My name is Rudy Lankreijer and I live since October 1, 2000 in Odiyan on Tin Barn Road, which is some 5 miles from Ratna Ling. In 2007 and 2008 I was a volunteer fire fighter at the Timber Cove Fire Department.

I feel very fortunate to be able to print Buddhist books on one of the Heidelberg printing presses in the Press building at Ratna Ling. We print some books for interested Westerners in English, but most of our work is on Tibetan books, that are sent to monks and lamas in India, Nepal, Bhutan and Tibet. Being able to read and translate Tibetan, I am very happy to be able to participate in reproducing these books and to be honest, I would not want to live anywhere else, nor do any other work. As a Buddhist myself, and having seen some of the benefits Buddhism has to offer, I hope and pray, that somehow the Buddhist books we produce help other people achieve similar or even greater benefits.

Sincerely,

Rudy Lankreijer

## Cynthia Demidovich

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**From:** Erica Linson [erica.linson@gmail.com]  
**Sent:** Tuesday, March 18, 2014 9:15 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Ratna Ling support letter

Dear Supervisors Susan Gorin, David Rabbitt, Shirlee Zane, Mike McGuire, and Efren Carrillo,

I am writing in support of the work and purpose of Ratna Ling in Cazadero, CA.

I have attended three week long retreats at Ratna Ling over the last three years. To spend time at this location has been a profound privilege and honor. The palpable spiritual orientation combined with the natural beauty of Cazadero provides an unparalleled location in which to deepen into an inherent wisdom and relationship with what gives meaning to our lives.

I find Ratna Ling imbued with a sense of sacredness that I am hard pressed to experience elsewhere. I whole-heartedly believe that Ratna Ling's tangible spirituality has to do with the mission it has, to preserve sacred knowledge and help educate those who desire to learn and live this wisdom. It is a profound calling that Ratna Ling is responding to, this offering of precious wisdom in cultures (including ours) imbued with increasing difficulties. This is more than cultural preservation. It is a preservation of a lineage that helps bring nobility and dignity to human life, and provides a way to navigate through the mystery of being alive.

Ratna Ling is a light and a treasure. I leave Ratna Ling after each stay with a sense of purpose, meaning, community, and deep joy that Ratna Ling is in a unique position to cultivate, given its own profound mission, meaning, and warm, dedicated community.

Thank you for your time, and the service you provide your own community, near and far.

With respect & gratitude,

Erica Linson  
PO Box 2203  
Mill Valley, CA  
(415) 378-3804

## Cynthia Demidovich

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**From:** Jonas LaMattery-Brownell [jlamabrow@gmail.com]  
**Sent:** Tuesday, March 18, 2014 9:31 PM  
**To:** Shirlee Zane; Efren Carrillo; Susan Gorin; David Rabbitt; Mike McGuire  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Retreat Center

Dear Sonoma County Supervisors,

I am writing you to express my heartfelt support for and humbling gratitude to the Ratna Ling Retreat Center, including its Dharma Press volunteer practices, which have made a deeply positive impact on me personally--and on literally thousands of others who have found solace, healing, and precious spiritual balm in the form of rejuvenating retreats, enlightening volunteer opportunities, and priceless preservation of the threatened Tibetan Buddhist faith. I write you to urge that you, too, continue to support this gem in the heart of Sonoma's treasured lands.

Last summer I had the special good fortune to go on a four-day retreat at Ratna Ling, in which I helped assemble sacred texts to be distributed for free to refugees and pilgrims from the Himalayan diaspora. As you surely know, since the late 1950's, Tibet's tremendous spiritual heritage has suffered grievous blows; thousands of Tibetan Buddhist libraries and monasteries were destroyed by Chinese authorities, and only a tiny fraction of the traditional texts were saved and smuggled out to new lands to form the seeds of an unlikely project of preservation and potential renewal. Through extraordinary, selfless efforts, Tibet's spiritual heritage has not entirely perished.

Last summer I had the special good fortune to help in this project of cultural and spiritual preservation and renewal--while wonderfully helping myself at the same time. Those four days at Ratna Ling are still fresh and precious in my memory. I remember, after a carefully focused session of collating pages of sacred text, restfully sitting and watching a thick stand of evergreens shake and dance with abandon in a singing summer rainstorm. I remember sitting at dawn before my cabin window, letting the light of the silent day arise. I remember treading a wooded trail in the hushed dripping of a forest the day after the storm. I remember simply sleeping, and eating, and moving as treasures, not taken for granted but received as gifts.

My one four-day retreat at Ratna Ling three seasons ago inspires me still. Perhaps the small contributions I made during that retreat to the preservation and universal offering of the Tibetan Buddhist tradition inspires others today as well. I hope you continue to see Ratna Ling's irreplaceable value to Sonoma, to California, to the Tibetan diaspora, and to the world--and recognize the value of *your* contributions, too, in seeing that this center of retreat, renewal, and generosity continues to thrive.

Sincerely,  
Jonas LaMattery-Brownell  
Berkeley Unified School District Teacher  
California Governor's Teaching Fellow  
student of Tibetan Buddhism  
occasional Ratna Ling retreatant

--  
Jonas LaMattery-Brownell



## Cynthia Demidovich

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**From:** Caz Verde [writecaz@gmail.com]  
**Sent:** Tuesday, March 18, 2014 9:42 PM  
**To:** Susan Gorin; Shirlee Zane; Efren Carrillo; Cynthia Demidovich; David Rabbitt; Mike McGuire  
**Cc:** genegretchen@yahoo.com  
**Subject:** Ratna Ling

Dear County of Sonoma Board of Supervisors,

I have been to Ratna Ling many times, I worked there for 6 months in 2005 and since then have participated in many events and retreats there. This is my spiritual second home, working at the sacred press has enriched my practice of contributing to the welfare and benefit of all the world. We not only work producing scriptures and texts, but learn to use our meditation and yoga practice in daily activities, this is included at the press and lead by others who also participate in such peaceful practices. We pray or chant while working, if we want to, we meditate during our breaks from physical work too. These practices can't help but have an opening effect on the heart and mind. You may like to try it some day when all of this is over, see for yourself the positive effect this has on your own body and mind, and how this positive effect spreads to everything else in your life.

The texts that are produced there are given away for free. Tibet is the most spiritually advanced country in the entire world, and these texts are their heritage and their gift to the world.

I hope that you consider the beauty and love that Ratna Ling and the press represent in the world when you make your decisions. I will be at the meeting on April 8th, as I am concerned about the press and would love to be able to continue practicing there, and would be heart broken if this was no longer available.

See you on the 8th,

Caz Verde

## Cynthia Demidovich

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**From:** raysha@comcast.net  
**Sent:** Tuesday, March 18, 2014 9:51 PM  
**To:** Suan.Gorin@sonoma-county.org; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Support for Ratna Ling

In support for Ratna Ling

On April 8th, there will be a meeting of the Sonoma County Board of Supervisors regarding Ratna Ling. I would like to express my support for Ratna Ling.

Eight years ago in Berkeley, I started to volunteer at the Tibetan book printing project. I thought the idea of helping to preserve the Tibetan Buddhist teachings was worth supporting. When the press first moved to Sonoma county, I did not volunteer for a few years. Then I decided if I came to Ratna Ling for longer periods it would be worth the trip from Berkeley. Now I come up for a week or two each month, March through December, on personal retreats and make a point of spending part of my day working in the press. I find that the relaxation and work are a great combination for me, one reinforces the other.

Ray Johnston  
2723 Ashby Pl  
Berkeley, CA

## Cynthia Demidovich

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**From:** Sukumar Ramanathan [sukumar@ix.netcom.com]  
**Sent:** Tuesday, March 18, 2014 11:51 PM  
**To:** Susan Gorin  
**Cc:** David Rabbitt; Shirley.Zane@sonoma-county.org; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** Letter in Support of Ratna Ling Retreat  
**Attachments:** Ratna Ling Stay.jpg

Greetings,

I have been a visitor to the Ratna Ling Retreat Center in Sonoma County for the last three years. It is my understanding that your group will be conducting a hearing on the Master Use Permit application for Ratna Ling in a few weeks. This letter is in support of the Center and its work.

My wife and I first heard of Ratna Ling from some friends four years ago, and we made the decision to bring our family and friends to visit on Thanksgiving weekend of 2011. We did not know much about the place, and we were gratified to partake of its beauty and restful surroundings over the four days that we visited. Everything about the location was sylvan and peaceful, and our children enjoyed wandering its spacious grounds, taking yoga and meditation classes from the friendly staff, and walking down the wooded forest path to the beach. We agreed that it was one of our favorite trips, and we rhapsodized about the experience when we returned to the Bay Area.

Perhaps taken with our enthusiasm, the next year more extended family members and friends joined us for Thanksgiving of 2012. This time there was a cavalcade of kids (eleven in all, picture attached), each of whom got close to nature, breathing in the crisp fall air, and loving the delicious vegetarian food prepared by the staff. By the time Thanksgiving 2013 came around, we had enrolled even more friends, and a group of 34 of us stayed in ten cottages at the property. The glow from the visit lasted for weeks.

I traveled to Mongolia in 1998, and wandered through parts of the Gobi Desert during my stay. The experience that stayed the most with me during that adventure was visiting the yurts of the nomads who grazed their camels through the vast, open space. No matter when or where I stopped and said hello, they would invite me into their humble tents and serve me food and mare's milk. It was a culture of extreme hospitality, even to strangers that they would never see again.

Whenever I left from such a visit, they would not accept any money. When I finally asked my guide what I could offer as a token of thanks, he said a photograph of the Dalai Lama. The first time I did so, my host burst into tears. It was a gift more precious to him than gold.

The aim of the facility at Ratna Ling is to print and distribute sacred Buddhist texts to the exiles in Asia. This is a laudable, even a holy goal. There are millions of disciples separated by vast distances who are united in faith. They are among the most peaceful and centered people that you will ever meet.

In all the time we were there, the press facility was not intrusive in any way. We could neither hear nor see it from the road. I hope that in your collective wisdom, you allow it to continue doing its good work.

Sincerely,

Sukumar Ramanathan  
1141 Orange Avenue,  
Menlo Park, CA 94025  
(415) 377 7858

## Cynthia Demidovich

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**From:** Jamison Moore [jamie@wix.com]  
**Sent:** Wednesday, March 19, 2014 12:50 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** Ratna Ling

Dear Sonoma County,

It's come to my attention that the Buddhist retreat center Ratna Ling, located in the Seaview Ridge area of Sonoma County has received some unflattering feedback as it relates to their operation. As I am quite the fan of this amazing place I thought it was necessary I share just a few of my thoughts in the hopes it might help their cause.

I've had the pleasure of staying at Ratna Ling 3 times now both for business and pleasure. For me the retreat center is an amazing place to detach from traditional thinking. I manage the US operation of a publicly traded software organization and for the last 2 years we've had our leadership retreat and annual strategy planning at Ratna Ling. We try and come up with solutions for issues facing our organization and in between we practice yoga, meditation engage in thoughtful discussion and even take the occasional hike. In fact just this past December for the first time 7 years we even distilled and defined our core values and the type of company we'd like to become. So many critical decisions that have impact positively so many lives have been made on that property that it just feels like home now and unlike anywhere else Ratna Ling and their amazing staff treat us like family (Chelsea, you rock!).

While I'm fascinated by religion and do not closely align myself with any one way of thinking, I consider Buddhism the one that most closely aligns with my own feelings about living a fruitful life. On that path Buddhism encourages simplicity and Ratna Ling really reflects this. Now you might say how is that possible with such a beautiful facility however I've stayed at some of the most beautiful retreat centers most of which are far more luxurious yet deliver only a fraction of the character and comfort. Somehow this place makes you feel like you have everything you need. Great people in near complete isolation is exactly what the doctor ordered for solving just about any challenge. That's the best thing about Ratna Ling in my humble opinion, the silence, or rather the beautiful sounds of real nature which is why the nature of the complaints caught my attention.

Each and every time I have visited Ratna Ling, usually staying 3-5 days at a time it's been like a ghost town. On all the times I've visited and on the roads surrounding the location for many miles around I can count the number of vehicles I've ever seen driving on a single hand. There's been no traffic to speak of nor have I hear anything other than the the birds chirping and the occasional turkey when sitting on my balcony or walking around the grounds:) In fact we've joked the staff has an uncanny ability to appear with amazing locally grown vegetarian food only to swiftly disappear until the next meal several hours later.

To me Buddhism is a call to be mindful. It's places like Ratna Ling that that remind of this. They have a very friendly way of sharing the teaching of Buddhism through their example and an amazing library of information. It still amazes me this dedicated team of selfless volunteers put in the work required to print all this wonderful information to be shared with others. It would be a huge loss for Ratna Ling to be shut down for both me and the bay area / Sonoma County patrons who've come to depend on it. I kindly ask that you find a way to speak face to face with the group that manages the property to explore a solution as I'm confident they want to be great neighbors and contributors. If there is anything else I can share or if you have any questions please don't hesitate to contact me. Thanks for listening.



**Jamison Moore**

2601 Mission Street, 3rd floor  
San Francisco, CA 94110  
415.844.0552, cell  
415.358.0857, office



## Cynthia Demidovich

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**From:** Tsering Gellek [tgellek@gmail.com]  
**Sent:** Wednesday, March 19, 2014 3:50 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** In Support of the Mission of Ratna Ling

Dear Supervisors,

I am writing to express my support for Ratna Ling. My name is Tsering Gellek and I am the daughter of the founder of Ratna Ling, Tarthang Tulku. I am currently the director of the Sarnath International Nyingma Institute, a newly-established educational center in Varanasi, India.

Fifty years ago, my father a then refugee from Tibet, came to India with only a few possessions, including his most sacred texts of Tibet. He and his friends set up a small printing press in a small grass-thatched shed. For over fifty years, my father and a small, but dedicated group of American volunteers have set out with a monumental task of preserving the sacred texts of Tibet.

In 1959, China invaded Tibet and began the systematic destruction of over 98% of its libraries, monasteries, and learning centers. Thousands of books were destroyed and while only a fraction of the Tibetan population escaped into exile, those who were able to make the journey across the Himalayas, brought their most precious belongings: their sacred texts.

My father was entrusted by the head of the Tibetan people, HH Dalai Lama, to become one of the principal preservers of the Tibetan culture and sacred texts. Once a refugee in India and later in the US, my father set out to carry out his preservation efforts under America's most cherished freedoms of religion, conscience, and press. These freedoms have not been abstract ideals but are the lifeblood of our work.

I can tell you firsthand that my father's work has made the single largest contribution to the preservation of the Tibetan culture, helping to create thousands of libraries in India, Bhutan, Nepal, and Tibet. The fact that it is happening in the mountains of Sonoma, carried out faithfully by volunteers old and young, and over 7000 miles away from Tibet, is not only a testament of his will to preserve a treasure for the world, but for the beautiful American spirit of democracy, ingenuity, and empathy.

I work at an Institute in India that aims to help build a bridge between the East and West and to that end, I often cite the beautiful examples of how people in the West volunteer for works beyond the benefit of self. The selfless work of our small, but dedicated community cannot easily be put in words. I write this letter to extend my heartfelt support of Ratna Ling's text preservation work and its incredibly valuable place in this world. I sincerely, hope that any bad feelings will heal over time. This story of the transformation of destruction and suffering into knowledge and creation can be an example for the entire world.

Respectfully,

Tsering Gellek  
Director of the Sarnath International Nyingma Institute

## Cynthia Demidovich

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**From:** Orlando Zaslavsky [orlandozas@gmail.com]  
**Sent:** Wednesday, March 19, 2014 4:48 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Fwd: Ratna

Estimada Señora / Estimado Señor ,

Este email es para hacerle saber que vengo regularmente al Centro de Retiros Ratna Ling. A veces vengo más de una vez al año, y siempre aprecio mucho mi tiempo allí.

Yo soy de Argentina, y además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, valoro sobre todo nuestro tiempo de práctica de trabajo .

Cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros tibetanos. A veces ordenamos los libros o coloreamos sus bordes o ayudamos a llenar los bolsillos de la encuadernadora.

No puedo expresar con palabras lo importante para mí ha sido esta práctica de trabajo. Es como meditación, y estoy comprometido con los textos antiguos. También es muy valiosa porque en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso. Es como que estoy corporizando los libros que estoy ayudando a encuadernar.

Por supuesto, también sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos.

Por favor, ten en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muypreciado para mí, y para mí es una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

Tambien el grupo humano y mi convivencia con ellos en Ratna Ling es una experiencia humana valiosísima .

Atentamente

Orlando Zaslavsky

Buenos Aires

Argentina



## Cynthia Demidovich

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**From:** T.Hoitsma@hetnet.nl  
**Sent:** Wednesday, March 19, 2014 6:43 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** genegretchen@yahoo.com; Cynthia Demidovich  
**Subject:** Support letter for Ratna Ling's application

Dear Supervisors,

For many years I have been coming to Ratna Ling Retreat Center.

Ratna Ling Center is in many ways a very special place for me: its stillness, its beauty of nature, the harmony and peace breathing from the place: it always uplifts me and opens my heart.

Ratna Ling is an inspiring environment where I feel it is of great privilege to be able to contribute and help preserve the precious Tibetan texts. The wisdom in these texts not only will be returned to all Buddhist monks and nuns and lay people from all over the world, but are now available and of great value to us people in the West too.

To study these texts has made me a better person: compassionate and caring.

Ratna Ling is therefore for me a very special place where, study and work, inspiration, inner growth and give meaning to life, come together.

No place, and I have been to quite a few, does that for me.

It is this combination of the place and its environment with work&study, is what makes Ratna Ling unique.

Being there for a few weeks almost yearly, is healing and healthy in many ways.

Spreading that throughout my own surroundings back in The Netherlands is fruitful, not only for me, but also for my family and friends.

My sincere request to you is to support Ratna Ling in its application, so people from all over the world can contribute and enjoy Ratna Ling and its beautiful surroundings.

Thank you for considering this request.

Yours sincerely,  
Tetske Hoitsma

## Cynthia Demidovich

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**From:** Megan Wainman [megan.wainman@gmail.com]  
**Sent:** Wednesday, March 19, 2014 7:52 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** re: Ratna Ling Retreat Center

Respected Members of the County of Sonoma Board of Supervisors:

For many years while living in the Bay Area, I had the good fortune of volunteering with the Tibetan Aid Project (TAP). Founded in 1969, TAP's mission has been to preserve and perpetuate Tibet's cultural and spiritual heritage for the benefit not only of the Tibetan people, but of humanity as a whole.

Initially the organization's mandate was to provide basic life necessities, such as food, clothing and medical supplies, to Tibetan refugees. As there are now a number of organizations in existence that do that very thing, TAP's mandate is now largely to help fund the production of sacred Tibetan texts and their shipment to Asia, where the books are distribute free of charge to Tibetan monks, nuns and lay people.

As you are all aware by now, the printing press is located at Ratna Ling Retreat Center. I spent some time there on retreat, assembling and wrapping the sacred texts along with other retreatants and volunteers (some of whom were from the local area). This was indeed a special experience. Working with the texts while in silence allowed us to feel a strong connection with those Tibetans in Asia who were soon to be the recipients of those texts.

Having twice been to Bodh Gaya, India to help distribute these sacred texts, I can speak to how important the books are to the Tibetans. During Mao's Great Purge, thousands of libraries and monastic centers were destroyed along with numerous Buddhist sculptures, statues and books. So you can imagine how appreciative Tibetans in Asia are of the efforts put forth by the Tibetan Aid Project, Ratna Ling and other affiliated organizations, and all of the retreatants and volunteers. I have seen Tibetans burst into tears upon receiving these texts. Their homeland not being at all what it used to be, it is so important for them to have access to these texts in order to preserve their culture and their spiritual beliefs. I wrote an article about my experience which was published in Ascent Magazine; if you would like a copy, let me know and I will gladly send it out to you.

Buddhism is a spiritual practice which stresses non-violence and harmony among human beings and with the natural environment. I feel that preserving these texts is an important legacy for humanity in general; we are living in difficult and materialistic times, and Ratna Ling is a peaceful, special environment, well suited to creating positive energy (materially, in the form of these texts) which will only be beneficial to future generations.

Please do not hesitate to contact me if I may be of further assistance.

Sincerely,

Megan Wainman (Toronto, Canada)

## Cynthia Demidovich

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**From:** Sandra Andrade [saneves@gmail.com]  
**Sent:** Wednesday, March 19, 2014 8:12 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Subject:** Support of Ratna Ling Activities

Dear Supervisors,

I am writing in support of activities at Ratna Ling.

I am practitioner of Buddhism in the Nyingma Center of Rio de Janeiro, and in the past eight years I have gone several times to the United States to attend retreats at Ratna Ling.

The teachings we learn along with working with sacred texts in the printing press has been enriching experiences, that I would like to still be able to enjoy in the future.

The retreat center located in the beautiful Sonoma County has an atmosphere of calm and tranquility that is very inspiring. I plan to continue going to this location in the coming years.

Sincerely,

Sandra Neves de Andrade  
Architect

Rua Decio Vilares 241/302 - 22041-040  
Rio de Janeiro  
Brasil

## Cynthia Demidovich

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**From:** Victoria Riskin [riskinv@gmail.com]  
**Sent:** Wednesday, March 19, 2014 8:13 AM  
**To:** Cynthia Demidovich

Dear Supervisor Cynthia Demidovich:

I am writing in support of Ratna Ling, the beautiful retreat center in your area.

I have been visiting Ratna Ling since its opening for retreats for my own personal renewal and to deepen my understanding of Tibetan Buddhism. The serene landscape and the classes have made an enormous difference in my life.

While there, I have cherished the opportunity to participate in the text preservation project, to work with the books and to feel gratified knowing that the purpose is to replenish the lost libraries of Tibet for the benefit of the Tibetan culture. Early on in the text project I went to India to help with the text distribution. You cannot even begin to imagine the profound gratitude of the monks and nuns to receive this gift of the remarkable body of knowledge lost to them and to be able to continue their traditions. This is especially meaningful when Tibet under the Chinese have treated the Tibetans in such a repressive manner and so much has been destroyed.

My friends in Sonoma County and the Bay area have joined me on retreat, taking the classes and they have found this place they have chosen to return to many times.

Thank you in advance for your understanding.

Vicki Riskin

--  
VICTORIA RISKIN  
680 RANDALL ROAD  
MONTECITO, CALIFORNIA 93108  
805 969 6892  
310 430 0416

## Cynthia Demidovich

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**From:** Lois [lhathway@att.net]  
**Sent:** Tuesday, March 18, 2014 4:01 PM  
**To:** Susan Gorin; David.Rabbit@sonoma-county.org, Shirlee.Zane@sonoma-county.org, Mike.Mcguire@sonoma-county.org, Efren.Carrillo@sonoma-county.org, Cynthia.Demidovich@sonoma-county.org; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Cc:** genegretchen@yahoo.com  
**Subject:** Support for Ratna Ling

Dear Sonoma County Leaders:

I want to let you know of my support for Ratna Ling. For the past many years, I have been in awe and appreciation of the positive influence Ratna Ling has been in Sonoma County. Within its peaceful and bucolic presence, Ratna Ling has steadfastly attended to its activities for the benefit of Tibetan Buddhism. The printing and distribution of sacred Buddhist texts is probably the only source of these materials for the displaced Tibetan Buddhists. By the giving of these sacred texts, Ratna Ling has helped assure the religious freedom of these people and has greatly contributed to the survival of their fragile culture.

Besides its work with sacred texts, Ratna Ling is a wonderful county resource by providing valuable retreats and seminars. A central part of the seminar experience for participants is the invaluable benefit of participating in the production of the sacred texts.

Sonoma County has a proud history of supporting Ratna Ling. I urge County leaders to continue to recognize and value this wonderful county treasure.

Sincerely,

Lois Hathway

Sent from my iPad

## Cynthia Demidovich

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**From:** Kasi Sheridan [kasi@wix.com]  
**Sent:** Tuesday, March 18, 2014 4:05 PM  
**To:** Susan Gorin; Efren Carrillo; Mike McGuire; Shirlee Zane; David Rabbitt  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** We support Ratna Ling!

Hello County Officials,

I am writing to express my sincere concerns that Ratna Ling Retreat Center may close their operations. I have visited Ratna Ling on several occasions (one personal and two business visits). Here are my reasons to plead to keep it open:

The first visit was a personal visit and was when my husband had knee surgery and we wanted a quiet place to retreat where we were not only one with nature but there was no phones and no outside influences such as television and busy streets. It was VERY successful. We go there late and the Team there had prepared us food so that we didn't go hungry that night (felt so special) my husband was able to get around with ease (despite the surgery) and the Center was so tranquil and lovely that we felt like we were on top of the world.

Second and Third visit were with our Management Team here at Wix. Because I was so impressed by our visit I knew it would be a fantastic place for the Team to get away from all the distractions of work... and focus on work. :) Sounds crazy but it is so true. At Ratna Ling we are able to focus on issues, each other, management styles, meditation, relaxation, nature... all of these things that help to make a crazy management team successful but we never have the time to do. Because of our time at Ratna Ling we have become a better company and I know that we would not have been able to achieve the goals we have achieved were it not for their loving space and care.

We hope to continue our time there and would be so sad to hear we don't have that option anymore. They are such a loving team that has so much to offer their communities and beyond. There needs to be more places such as Ratna Ling that bring us back to center, protect unfortunate people and cultures, and let us know through love what is truly important in life.

I am available at any time if you need to discuss further - please help us in saving Ratna Ling!

Sincerely,  
Kasi Sheridan



**Kasi Sheridan**  
Operations Manager

2601 Mission Street, 3rd floor

San Francisco, CA 94110  
415.562.5274, cell  
415.329.4610, office  
415.358.0897, conference



## Cynthia Demidovich

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**From:** Pilar Rodríguez [pilarrodriguez@live.com.ar]  
**Sent:** Tuesday, March 18, 2014 4:27 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** From Argentina

Estimada Señora / Estimado Señor ,

Este e-mail es para hacerle saber que he realizado retiros en el Centro de Retiros Ratna Ling y que aprecio mucho el trabajo realizado en ese lugar.

Soy de Argentina.

De mi tiempo en Ratna Ling valoro mucho las Meditaciones de Yoga Kum Nye, las Enseñanzas tradicionales de Dharma y nuestro tiempo de práctica de trabajo, la misma se realiza cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros.

No puedo expresar con palabras lo importante que para mí ha sido esta práctica de trabajo. Es como meditación, y me ha permitido estar en contacto directo con textos sagrados y milenarios. Uno de los motivos que hace que esa tarea sea valiosa es que en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso.

También sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos.

Por favor, ten en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muy preciado para mí, y la misma es una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

Atentamente,

Pilar Rodríguez



## Cynthia Demidovich

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**From:** Magui Cadot [maguicadot@gmail.com]  
**Sent:** Tuesday, March 18, 2014 4:53 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Estimados,

Este email es para hacerle saber que vengo regularmente al Centro de Retiros Ratna Ling. A veces vengo más de una vez al año, y siempre aprecio mucho mi tiempo allí.

Yo soy de Argentina, y además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, valoro sobre todo nuestro tiempo de práctica de trabajo .

Cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros tibetanos. A veces ordenamos los libros o coloreamos sus bordes o ayudamos a llenar los bolsillos de la encuadernadora.

No puedo expresar con palabras lo importante para mí ha sido esta práctica de trabajo. Es como meditación, y estoy comprometida con los textos antiguos. También es muy valiosa porque en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso. Es como que estoy corporizando los libros que estoy ayudando a encuadernar.

Por supuesto, también sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos.

Por favor, ten en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muy preciado para mí, y para mí es una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

Muy de a poco, pero de manera contante, estos textos de budismo tibetano adaptados a la mente occidental estan logrando una disminución cada vez mas importante del sufrimiento en el mundo.

Atentamente,

Magui Cadot



## Cynthia Demidovich

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**From:** Andra%20 [a.sandberg@comcast.net]  
**Sent:** Tuesday, March 18, 2014 4:59 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Ratna Ling Bubbhist Retreat Center  
**Attachments:** Ratna Ling Letter of support.docx

To Whom It May Concern,

March 17, 2014

My sister and I have been so fortunate to stay at Ratna Ling twice and look forward to returning next month for a personal retreat. The beautiful ambiance created at Ratna Ling is breath taking and soul nourishing. We were so grateful to find a retreat center that is within our driving comfort.

The first retreat we attended helped us set a loving intention for our life, and the second retreat assisted us in connecting with nature through meditation, yoga, and sacred mindfulness. Both of these sessions have made a powerful, beneficial, impact on our daily lives, helping us function more compassionately in this complex world. The printed materials and bound books we read at Ratna Ling provided us with an experience of deep contemplation in our exquisite cabin, with the focus on practicing relaxation and loving kindness for ourselves and others; ways of life my sister and I have been seeking.

We have visited Ratna Ling's surrounding farm where volunteer farmers grow the food to feed guests and volunteer staff, reducing its carbon footprint by needing fewer trips to the store for food, and serving only vegetarian meals. Everyone we have met at the center, from the volunteers that grow and prepare the food, to the other volunteer facility staff, all have a very firmly rooted spiritual practice of supporting the world with kindness and meaningful acts and caring for the land ecologically.

Walking and driving around the facility and surrounding area, we never saw nor heard anything that detracted from this spectacular facility and surroundings that are Ratna Ling. We value the integrity of the Ratna Ling organization, its people, and its teaching, and the reverence for the land and life that we experience there.

Sincerely,

Andra Sandberg, RN, BA, MA, BSN

Lactation Consultant & Marriage Family Therapist

## Cynthia Demidovich

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**From:** Gene Gretchen [genegretchen@yahoo.com]  
**Sent:** Tuesday, March 18, 2014 5:12 PM  
**To:** Efren Carrillo; Shirlee Zane; Susan Gorin; Mike McGuire; David Rabbitt  
**Cc:** Cynthia Demidovich  
**Subject:** SUPPORT RATNA LING

Dear Supervisor,

Please support Ratna Ling.

I am writing this in my personal capacity as a property owner in the Sea View Highlands. My property is separated from Ratna Ling by one lot. Before retiring I was a recognized leader in the Europe environmental movement and I also organized and managed a volunteer fire department of 50-70 volunteers for over 10 years.

In the spirit of full disclosure, I volunteer part time at Ratna Ling and am on the board. Being involved in the management gives me full visibility of its current activities and future plans of the organization. I would not associate myself nor buy property so close to Ratna Ling if there was any chance that the present or future activities at Ratna Ling would cause pollution of any type, increase the fire danger or lower my property value.

I had 3 major reasons for purchasing property in Sonoma County:

1. Its proximity to Ratna Ling
2. The beauty of the area
3. Most importantly, the attitude of tolerance and respect for diversity historically shown by Sonoma county residents

My immediate neighbors and most residents of the West County respect one's rights to diverse options, lifestyles and also respect freedom of religion. This attitude of freedom has drawn me to Sonoma since the 60's and it is my hope you will reaffirm this by supporting Ratna Ling on April 8.

Sincerely Yours

Gene Gretchen

## Cynthia Demidovich

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**From:** Mary McDowell [mary510@msn.com]  
**Sent:** Tuesday, March 18, 2014 2:10 PM  
**To:** susan.Gorin@sonoma-county.ore; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Hearling - Master Use Permit

The work done at Ratna Ling is a huge benefit to the community at large. It is so important in our busy lives to have a place where we can go to experience peace and harmony with others. A place that is dedicated to enhancing a more spiritual life. Rata Ling not only shares community with those who come to retreat but also in the greater community. Classes are offered to neighbors, water and rest stops provided by Ratna Ling are counted on by cyclists visiting our beautiful West County. And so many more kindnesses are given. The printing and distribution of sacred texts are of great cultural importance to the great numbers of Tibetans forced to flee their country for religious freedom. I urge you to approve the Master Use Application of Ratna Ling.

Thank you,

Mary McDowell  
760 Pinecrest Avenue  
Sebastopol, CA 95472

## Cynthia Demidovich

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**From:** charles keefe [ckeefe1947@yahoo.com]  
**Sent:** Monday, March 17, 2014 10:11 PM  
**To:** Susan.Gorin@sonoma-county.org; Shirlee Zane  
**Cc:** David Rabbitt; Mike McGuire; Efen Carrillo  
**Subject:** April 8th hearing on Ratna Ling

Dear Sonoma County Supervisors,

I am writing to you on behalf of the Ratna Ling Buddhist Religious Community located at 35755 Hauser Bridge Rd, Cazadero, Ca. 95421

I have had extensive experience working with them in the press and participated in Meditative and Yoga retreats. It has been a life changing experience for me. The religious center of Ratna Ling in Sonoma has a presents of peace, tranquility and harmony surrounded by natures' beauty.

The community dedication to a purpose greater than themselves, in spreading compassion and harmony throughout the world, in the preservation of Holy Texts which make up the heart of the exile Tibetan Peoples culture. These teachings which can show us the way to calm our negative energies and give us realization to the oneness of this planet and its inhabitants. It was here, in Sonoma, at Ratna Ling, the beauty, tranquility and harmony with nature, that I have learned how to utilize my working energies as meditation in creating awareness and harmony with my body, speech and mind, and with my fellow man.

The Ratna Ling's religious community press is not an industrial commercial press, as speculated by the contending neighbors, but a religious printing operation. Its' sole purpose is to print and freely distribute religious text to the Tibetan people which is the cultural and the religious survival of the Tibetan people Wisdom Teachings; in doing so, they can be shared and studied throughout the world for generations to come. It also enables Americans, from all walks of life, to volunteer, explore and participate if the work speaks to their hearts.

Since 2004 the Ratna Ling Religious Meditation Center, in Sonoma, has been brought to the attention of the world for their Meritorious work in supporting the Tibetan People in exile, by freely printing and distributing religious texts overseas. As I write today;however, the

genocide of the Tibet Culture has increased and the severity in which the Chinese government's determination to exterminate them continues as the atrocities worsen every year, and this is why the urgency to print and distribute the texts. Time is not on the side of the Tibetan people as an intact culture, whether inside Tibet or in exile.

Along the way of establishing this endeavor, the surrounding community of Seaview Ridge initially has been supportive, and where there have been differences and concerns, committees from both communities have met to find common ground. Whenever, however, discussions lead to uncertainty or misunderstandings, the Seaview Ridge community would look to hypothetical code violations as their point of contention. After petitions and reviews, Ratna Ling has never been cited for violations. The Ratna Ling Community has worked hand in hand with the county zoning board following their guidance about requirements of codes and ordinances; and the community has done its' best to address the concerns of the surrounding community.

In 2004 the County's Permit and Resource Management encouraged Ratna Ling to apply for a 20yr master use permit covering construction and future operational plans. The application was filed in 2011 and approved in June of 2012 by all board members. The opposing Seaview Ridge neighbors have again filed an appeal of that ruling to the Board of Supervisors and it is scheduled for a hearing in April.

Again, the Ratna Ling Community has done everything in their power to uphold the rules and regulations of the county, and tried their best to find common ground with the opposing neighbors. I urge the Board to take into consideration how all the required codes and permits have been met and approved along with all the considerable effort to reach common ground with their Seaview Ridge neighbors. I beseech you to grant Ratna Ling's 20 year master plan, as approved by the county's zoning adjustment board acceptance, so they can continue the good and virtuous work beneficial for the Tibetan people, and for the peoples of the whole world.

Respectfully,  
Charles Keefe  
Berkeley California  
510-725-9675



[ckeefe1947@yahoo.com](mailto:ckeefe1947@yahoo.com)

## **Cynthia Demidovich**

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**From:** charles keefe [ckeefe1947@yahoo.com]  
**Sent:** Monday, March 17, 2014 10:11 PM  
**To:** Susan.Gorin@sonoma-county.org; Shirlee Zane  
**Cc:** David Rabbitt; Mike McGuire; Efren Carrillo  
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Respectfully,  
Charles Keefe  
Berkeley California  
510-725-9675

[ckeefe1947@yahoo.com](mailto:ckeefe1947@yahoo.com)

## Cynthia Demidovich

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**From:** Deb Black [deb.black@gmail.com]  
**Sent:** Monday, March 17, 2014 7:48 PM  
**To:** Efren Carrillo  
**Subject:** Ratna Ling

Dear Mr. Carrillo,

I understand that neighbors of Ratna Ling are complaining about .... Its existence?

Although I have never been there myself, I have several friends who have gone to retreats there. Loved the place and the people there.

The people of Ratna Ling are also doing wonderful work to help save a culture in danger.

What is the problem here?

Best regards,  
Deborah Black

Sonoma

**Cynthia Demidovich**

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**From:** Barry Schieber [azukihat@gmail.com]  
**Sent:** Monday, March 17, 2014 6:33 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Subject:** Ratna Ling Land Use

Dear Board of Supervisors,

Ratna Ling is a county asset, a revenue producer and world landmark for producing sacred texts. It is a beacon of inspiration for preserving a culture of wisdom and compassion.

It is a beautifully maintained retreat center bringing guests seeking place of contemplation.

The printing has been curtailed as requested and it can hardly be considered an industrial site.

Anyone who visits can quickly appreciate the special quality of important work being done and the care for the landscape.

Ratna Ling is a treasure both for the residents of the county and the world.

Sincerely,

Barry Schieber

## Cynthia Demidovich

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**From:** Shan Magnuson [npeace@sonic.net]  
**Sent:** Tuesday, March 18, 2014 9:49 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Cc:** genegretchen@yahoo.com; jdulberg@comcast.net  
**Subject:** Letter in support of Ratna Ling Retreat Center

From:  
Shan Magnuson  
915 Carr Ave.  
Santa Rosa, CA 95404

March 18, 2014

To:  
County of Sonoma Board of Supervisors  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

Dear Supervisors Gorin, Rabbitt, Zane, McGuire and Carrillo,

Thank you for your review of the Master Use Permit application for the Ratna Ling Buddhist Retreat Center. I am writing to urge you to approve the permit. I have benefited from attending a retreat at the retreat center and would love to see more individuals and groups benefit from this beautiful, peaceful, sustainable, and well cared for center. I hope to see it continue to thrive and to continue providing our community with its tranquil and beautiful setting for retreats, classes and Buddhist teachings. I understand that the retreat center also includes work at the religious press, and appreciate the cultural importance of saving the Tibetan Buddhist sacred texts, given the Chinese destruction of thousands of monasteries and libraries. This printing and distribution work preserves and spreads the Dharma. It is internationally recognized and brings positive recognition to Sonoma County.

Thank you for your support of this beautiful and peaceful retreat center which is a valuable addition to Sonoma County's cultural and natural assets.

Sincerely,

Shan Magnuson

## Cynthia Demidovich

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**From:** Cecilia Schall [ceschall@yahoo.com]  
**Sent:** Tuesday, March 18, 2014 10:01 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** The Experience of Ratna Ling Center and Press

Dear Sonoma County Officials,

Awash in beauty, deeply relaxed, refreshed and renewed—this is how I feel after a retreat at Ratna Ling. Everything about it is healing to the harried modern spirit. Deer, quail, rabbits, turkeys, all the animals surround you there, outside the window, down the canyon, beside the path, in the nearby trees. The deep quiet is a balm to the ears, and the dark night a relief for the eyes.

But the most profound, meaningful and moving experience at Ratna Ling is the opportunity to assist the persecuted and beleaguered Tibetan people in exile. Abused, marginalized, harassed, imprisoned and murdered in their own land, at any sign that they are practicing their own Buddhist faith, it falls to those in exile to maintain their religious culture and freedom. The central guides to their practice are their precious, sacred books. Most of these were destroyed, along with their monasteries and learned elders throughout Tibet, but those that were smuggled out are being systematically reproduced at the Ratna Ling press, and shipped and dispensed at no cost to Tibetan monks, nuns and lay practitioners in exile throughout Asia, as well as to fully stock Buddhist monasteries around the globe.

So the Ratna Ling press, unique in the world, has the mission to empower Tibetans to maintain the full authenticity and collected wisdom of their culture, by supplying them for free with what they have long valued as their most precious possessions—their sacred books. And when you help to assemble and wrap these books in their brightly colored satin cloths, you help a unique, good-hearted people living hard lives in exile, to keep alive for posterity one of the world's increasingly rare, ancient wisdom-traditions. Joy! Such deeply meaningful activity can be hard to contact in modern life, but it is available at Ratna Ling.

Thanks,  
Cecilia Schall  
Ratna Ling Retreatant



## Cynthia Demidovich

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**From:** lis.gladstone@comcast.net  
**Sent:** Tuesday, March 18, 2014 10:15 AM  
**To:** Efren Carrillo; Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** I support full and final approval of Ratna Ling's Master Use Permit

Dear Supervisors,

I am a resident of The Sea Ranch, and have been lucky enough to attend classes at the Ratna Ling Retreat center. I have met many of the volunteers, who are dedicated to preserving Buddhist teachings by printing sacred texts for free distribution in many countries.

All the volunteers I have met display respect and sincerity in their communication and work and I am happy they are in my neighborhood. Before moving to The Sea Ranch, I lived and raised a son on Seaview Road for 10 years.

Ratna Ling has made generous contributions to the community such as a fire truck and outfitting an emergency vehicle. They have also provided support to the Fort Ross Foundation.

On balance I believe Ratna Ling to be an excellent asset to this community. I urge you to approve the Master Use Permit without modification.

Sincerely,  
Elisabeth Gladstone  
PO Box 146  
Stewarts Point  
Ca 95480

## Cynthia Demidovich

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**From:** Elske van de Hulst [evdhulst@xs4all.nl]  
**Sent:** Tuesday, March 18, 2014 11:23 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** a few words about Ratna Ling Retreat Center

Dear persons in charge,  
Dear supervisors

Please listen to this message from Amsterdam, thank you

I have been to Ratna Ling Retreat Center in your beautiful Sonoma countryside for several times and thoroughly enjoyed that.

People that run it are honest, straightforward, kind, caring and reliable.

Not like many other more commercial enterprises that offer retreats or wellness.

I hope to return there many more times.

It is my strong conviction that the Buddhist teachings give them the strength to work as hard and as selflessly as they do.

The Dharma Press is like a beating heart to the property and i've spent many hours workpractice helping to print these priceless authentic teachings

These precious teachings might be completely lost after Chinese military invasion inTibet if initiatives like Yeshe De Text Preservation had not existed and persevered.

The wisdom of the texts and the selfless volunteer labor on the printing unites people from all walks of life in a way i've never seen equalled anywhere else.

The work on the books as part of our retreat teaches us to embrace our humanity and to really care about all others.

I do not know exactly what is happening but please take care that this precious work can continue and can be part of my retreat again when i cross the Atlantic Ocean to be there for my next retreat. (Planning to come this summer, if all goes well)

Thanks so much for listening

Kind Regards

Elske van de Hulst  
Studio Elf

ELF offers:

two spacious comfortable apartments with private kitchen, shower, toilet, internetaces in Jordaan Area, Amsterdam's most characteristich, cosy and popular neighbourhood.

Three minutes from Anne Frank House, your temporary home away from home!

Tweede Boordwarsstraat 11  
1015LJ Amsterdam

\*\*31 620411959  
evdhulst@xs4all.nl

## Cynthia Demidovich

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**From:** Sylvia Gretchen [sylvia.gretchen@gmail.com]  
**Sent:** Tuesday, March 18, 2014 12:51 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** in support of Ratna Ling Buddhist Retreat Center

County of Sonoma Board of Supervisors  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

To the Honorable Supervisors Susan Gorin, David Rabbitt  
Shirlee Zane, Mike McGuire, and Efren Carrillo

March 18, 2014

Dear Supervisors,

I am writing to urge you to support Ratna Ling's application for a new Master Use Permit.

I have been to Ratna Ling often over its years of operation, sometimes to teach retreats there, and at other times to spend a few days on retreat myself.

Ratna Ling's quiet serenity creates the perfect setting for a retreat focused on meditation or Buddhist teachings. The outer silence and peaceful setting make it easy for students to discover a silent place within their minds. And Ratna Ling's focus on preserving the Tibetan wisdom tradition allows students to activate their own sense of compassionate caring, a cornerstone of all Buddhist teaching.

Every retreat that I have taught at Ratna Ling has included time for students to work on the production of sacred texts that will be given away free of charge to devoted Buddhist practitioners in Asia. I hear again and again from students how important this activity is for them. They describe how the work opens their hearts to a larger sense of community and a deeper commitment to what is sacred and good. They also say that the religious atmosphere of the Press makes the work they do feel like a 'meditation in action' and that it helps them integrate whatever teachings we have been studying. I consider work at the Press to be an essential component of retreats at Ratna Ling.

I have also witnessed first-hand the appreciation and reverence with which these sacred texts are received by the Tibetan community in India and the Himalayan regions. Their expressions of heartfelt gratitude upon receiving the texts are deeply moving. The Tibetan people lost their sacred written tradition, and now it is being restored to them. The books from Ratna Ling are treasured now, and they will be treasured for generations to come. They are made possible by the generosity of each person who has had a hand in their creation, and by the openness of Sonoma County in allowing a place like Ratna Ling to flourish.

The sacred texts from Ratna Ling represent over 2,500 years of collected wisdom on myriad topics that include meditation, philosophy, psychology, medicine, and ritual science. Only a tiny proportion of these texts have been translated into any Western language and it is crucial to bring these sacred writings to those who can read them so that the living lineage of realization will not be lost.

Restoring the texts to the Tibetan people benefits us in the West as well, both now and in the future. More Tibetans are learning English and they will be able to undertake the arduous task of bringing this body of ancient wisdom to the modern world, translating these texts and passing their knowledge on to us. This knowledge is a perfect complement to the materially oriented scientific knowledge that we now emphasize, for it offers remarkable insights into virtually every aspect of our own humanity--our human knowledge and endeavor.

The work undertaken by Ratna Ling volunteers is itself an expression of the teachings in the texts, which emphasize altruistic service. According to Tibetan Buddhist teachings, we reach enlightenment by means of both wisdom and merit. Merit is gained through undertaking actions that benefit others, with the greatest merit arising from giving the gift of wisdom. The sacred texts are such a gift, offered freely to those who can learn from them and pass this learning on.

Ratna Ling's reputation as the home of the Tibetan text preservation project has served as a magnet drawing people to Sonoma County. People come from throughout the world to Ratna Ling to attend a retreat and volunteer with the sacred texts. Afterwards, many tour the coast and inland areas of the county. While Ratna Ling is the reason for their travels, it is often not their exclusive destination.

At Ratna Ling the peaceful beauty of nature merges with the compassionate beauty of the human spirit. Through your support, it will continue to thrive, benefiting all, both near and far away.

I thank you for considering these matters and for your open-mindedness and commitment to protecting the beauty of Sonoma County and fostering its prosperity.

*Sincerely,*

Sylvia Gretchen  
Director  
Nyingma Institute  
Berkeley, California

## Cynthia Demidovich

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**From:** Flavia Mousinho [flaviam22@gmail.com]  
**Sent:** Tuesday, March 18, 2014 12:57 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane; Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Retreat Center

Dear Madam/Dear Sir,

This email is to let you know that I come regularly to the Ratna Ling Retreat Center. Sometimes I come more than once a year, and I have always greatly appreciated my time there.

I am from Rio de Janeiro, Brazil and in addition to the Kum Nye, Yoga Meditations and Traditional Dharma Teachings I have valued mostly our time of work practice.

Each day we go to the Tibetan Text Project and help with the binding of Tibetan Books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thanks.

I cannot express in words how important for me this work practice time has been. It is like meditation, and I am engaged with ancient texts. It is also very valuable because in the classroom we do work with the body and mind, but not with the hands so during work practice I actually touch the sacred text materials and help them into their next phase of process. It is just like I am embodying the books that I help to bind.

Of course I also know what happens to the books, that they are being shipped to India and freely distributed to the Tibetan monks and nuns in exile. I have gone to the annual distribution and I know how appreciative the nuns, monks, and lay people are to receive these ancient texts.

Please hear me when I say that this work with the Tibetan texts is most precious to me, and for me it is an integral part of learning the Dharma and making my life more spiritual.

Sincerely yours,

Flavia Mousinho

## Cynthia Demidovich

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**From:** Morgan Wells [morewel@gmail.com]  
**Sent:** Tuesday, March 18, 2014 1:44 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; Robin Caton  
**Subject:** Letter in Support of Ratna Ling's Use Permit Application

3/18/2014

County of Sonoma Board of Supervisors

575 Administration Drive, Room 100A

Santa Rosa, CA 95403

Dear Sonoma County Board of Supervisors:

I am sending this message in support of Ratna Ling Retreat Center and their application for a master use permit. I have taken several retreats at Ratna Ling over the past several years, including two retreats that involved the ritual assembling and wrapping of sacred texts, in addition to Kum Nye yoga sessions and other Dharma classes. My first retreat was in 2008 and my most recent visit was in October 2013.

Sonoma County is truly blessed to be home to this sacred activity. When I first arrived at Ratna Ling, I was struck by its beauty and tranquility. Deer, rabbits, and turkeys roamed the property. The air was quiet, still, and clean. The serene atmosphere helps calm the mind and senses, and creates the perfect conditions for developing spiritual practice.

The presence of the press building in no way negatively impacts the serenity of the grounds at Ratna Ling. From the nearby cabins and cottages, from the lodge, and from nearby Hauser Bridge Road, the activity is hidden and silent. The press building is tucked away in a corner of the property. A beautiful stupa, a sacred symbol of enlightenment, stands directly outside. Prayer flags adorn everything. Inside the press building, large and wonderful depictions of the bodhisattvas adorn the walls. Religious workers quietly go about their work, creating sacred books that bring blessings to all of humanity. It was profoundly moving to be able to handle and wrap these sacred artifacts, which contain treasured teachings that can bring balance and peace to the world.

This religious activity is vital on multiple levels. On one level, the Dharma press is keeping the teachings of the Buddha alive. Many of these teachings were nearly lost forever when China invaded Tibet and intentionally and

systematically destroyed all the libraries and sacred materials they could find. Today, Buddhism is still suppressed in Tibet (now a region of China), and these teachings can only be preserved by the Tibetan refugee community and by practitioners from other cultures such as myself.

On another level, making sacred texts generates merit and blessings that bring benefit to all. Making offerings is devotional activity—a selfless act that turns the mind away from petty concerns and toward the end of suffering for all beings. Wrapping the sacred texts, I felt my deep connection to all the life on this earth, and a sense of contentment that can only come from making such profound offerings. In addition, the existence of the texts themselves as sacred objects bring blessings to this world for as long as they endure.

Ratna Ling Retreat Center is truly a very special place. Please support them and approve their application for a use permit. Thank you for your time in reading this.

Sincerely,

Morgan Elizabeth Wells  
Sacramento, CA



## Cynthia Demidovich

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**From:** John & Jennifer Dilley [docdilley@gmail.com]  
**Sent:** Tuesday, March 18, 2014 1:55 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Ratna Ling

Dear Sonoma County Board of Supervisors:

Back in 2008, following a rather crippling emotional trauma in our family, my wife and I were honored to have been invited to spend a few recovery days at Ratna Ling, which was our first visit there. As I mentioned in a letter to you back in 2010, we found this such a beautiful setting for healing, and the energy of such was palpable on their holy grounds. We were also were impressed to learn more about the outreach of peace that this organization is doing locally, nationally, and worldwide. Though not practicing that particular faith ourselves, we are strongly aware of the importance of preserving the sacred manuscripts of such, and were blessed by seeing that positive global endeavor taking place in your very geographical area. We certainly trust they will be allowed to continue doing so.

Sincerely,

Dr. and Mrs. John B. Dilley  
1350 NW 138th St., Suite 200  
Des Moines, IA 50325

## Cynthia Demidovich

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**From:** Berenice van Woerden [berenicevanwoerden@gmail.com]  
**Sent:** Wednesday, March 19, 2014 8:59 AM  
**To:** David Rabbitt; Shirlee Zane; Mike McGuire; Susan Gorin; Efren Carrillo  
**Cc:** genegretchen@yahoo.com; Cynthia Demidovich  
**Subject:** valuable work practice binding Tibetan books at the Ratna Ling Retreat Cente

Dear Madam / Dear Sir,

This email is to let you know that I come regularly to the Ratna Ling Retreat Center. Sometimes I come more than once a year, and I have always greatly appreciated my time there.

I am from Holland and in addition to the Kum Nye, Yoga Meditations and Traditional Dharma Teachings I have valued mostly our time of work practice.

Each day we go to the Tibetan Text Project and help with the binding of Tibetan Books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thanks.

I cannot express in words how important for me this work practice time has been. It is like meditation, and I am engaged with ancient texts. It is also very valuable because in the classroom we do work with the body and mind, but not with the hands so during work practice I actually touch the sacred text materials and help them into their next phase of process. It is just like I am embodying the books that I help to bind.

Of course I also know what happens to the books, that they are being shipped to India and freely distributed to the Tibetan monks and nuns in exile. I know people who have gone to the annual distribution and they have tried to convey to me how appreciative the nuns, monks, and lay people are to receive these ancient texts.

Please hear me when I say that this work with the Tibetan texts is most precious to me, and for me it is an integral part of learning the Dharma and making my life more spiritual.

Sincerely yours,

Berenice van Woerden  
Zwolle,  
Holland

## Cynthia Demidovich

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**From:** Hugh Joswick [hughjoswick@sbcglobal.net]  
**Sent:** Wednesday, March 19, 2014 9:23 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** In Support of Ratna Ling Master Use Permit

Dear Sonoma County Board of Supervisors:

I am writing to you today in support of the activities at the Ratna Ling Retreat Center in Sonoma County. It is my understanding that the County Board of Supervisors will hold a hearing regarding the Master Use Permit of Ratna Ling this April and I urge you to support the continued operation of the retreat center and their sacred text production.

I have attended the Ratna Ling Retreat Center several times in the past few years and have very much appreciated the quiet and gentle quality of the retreat center's environment. The land is well cared for and a very peaceful atmosphere pervades the entire place. It is not uncommon to see turkeys, rabbits and quail as deer graze softly nearby. The natural surroundings are protected and one feels a centered calmness that is perfect for retreat.

Those on retreat also participate in the preparation and wrapping of sacred Tibetan texts at Ratna Ling. These texts are a unique contribution to the world's literature and an important project to preserve a threatened Buddhist culture. The texts prepared at Ratna Ling are given away freely to Tibetan communities in exile and ensure that the study of Tibetan Buddhism will continue. For those on retreat, participation in this work is an important part of the ongoing transmission of knowledge. The work and the practice blend together and enhance the peaceful quality of being at Ratna Ling.

For those who know the value of these texts, it is a privilege to work with their production and distribution. Ratna Ling is not an industrial commercial press, but a vital organ to preserve an endangered culture. Its continued operation provides an essential link for those on retreat with the wisdom of the Tibetan tradition and it establishes a positive energy that pervades both the land and the people involved.

I urge you to support the Master Use Permit for the Ratna Ling Retreat Center.

Very truly yours,

Hugh Joswick  
2162 Vine Street, Apt. 2  
Berkeley, CA 94709  
(510) 704-1478

## Cynthia Demidovich

---


**From:** Susan Upchurch  
**Sent:** Wednesday, March 19, 2014 9:36 AM  
**To:** Cynthia Demidovich  
**Subject:** FW: Support of Ratna Ling Activities

Best regards,

Susan Upchurch  
District Director for  
Supervisor Efren Carrillo  
Fifth District Representative  
County of Sonoma  
575 Administration Drive Room 100a  
Santa Rosa, CA 95403

phone: 707-565-2241  
fax: 707-565-3778  
e-mail: [Susan.Upchurch@Sonoma-County.org](mailto:Susan.Upchurch@Sonoma-County.org)

County of Sonoma on the web: <http://www.sonoma-county.org/>

 Please consider the environment before printing this e-mail



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**From:** Sandra Andrade [<mailto:saneves@gmail.com>]  
**Sent:** Wednesday, March 19, 2014 8:12 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Subject:** Support of Ratna Ling Activities

Dear Supervisors,

I am writing in support of activities at Ratna Ling.

I am practitioner of Buddhism in the Nyingma Center of Rio de Janeiro, and in the past eight years I have gone several times to the United States to attend retreats at Ratna Ling.

The teachings we learn along with working with sacred texts in the printing press has been enriching experiences, that I would like to still be able to enjoy in the future.

The retreat center located in the beautiful Sonoma County has an atmosphere of calm and tranquility that is very inspiring. I plan to continue going to this location in the coming years.

Sincerely,

Sandra Neves de Andrade  
Architect

Rua Decio Vilares 241/302 - 22041-040  
Rio de Janeiro  
Brasil

## Cynthia Demidovich

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**From:** Amanda Miller [amandadawnmiller27@gmail.com]  
**Sent:** Wednesday, March 19, 2014 9:40 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** genegretchen@yahoo.com; Cynthia Demidovich  
**Subject:** Ratna Ling Retreat Center

To Whom It May Concern,

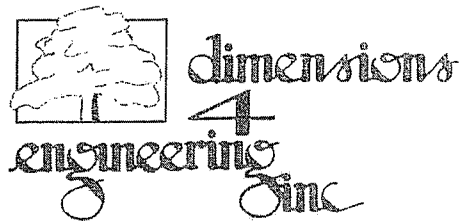
I recently received correspondence from friends and former volunteers of the Nyingma Institute of Berkeley regarding the possibility that the Yeshe De Text Preservation Project located in Cazadero, California might be shut down. As a former volunteer on this project and the related Tibetan Aid Project I am deeply saddened at the potential loss of such an enriching program. I volunteered at the bindery for a total of seven months from 2007-2008 as a supplement to my cultural anthropology degree, and I found the experience to be incredibly enriching to both my professional and personal life. Ratna Ling retreat center offers, in exchange for volunteering on the Yeshe De project, three vegetarian meals a day and free mindfulness meditation classes. In addition to this volunteers have the option of living in the Ratna Ling community with their fellow volunteers, which is an incredible experience in itself. During my time at Ratna Ling/Yeshe De I not only learned the practical skills of basic bindery operation, I also learned about Tibetan culture and language and built many strong friendships with the resident volunteers. My work ethic was strengthened as a result of the mindfulness practices taught, and my appreciation for all living things grew as I lived alongside the wildlife on the property.

In addition to my own personal enrichment I came to understand how important the Yeshe De project is to the countless monks and nuns of Tibet who receive the books we print. These books are a part of their cultural heritage, much of which was destroyed during the Chinese invasion of 1950 and the continuing occupation of the Tibetan lands. During this time the Buddhist temples of Tibet were destroyed and thousands of lives were lost in incredibly violent killings. The surviving generations of Tibetans now live either in continuing occupation or in exile in surrounding countries, their former way of life having been completely annihilated. When the monks and nuns receive copies of these books, for which they often make pilgrimage of many miles on foot, they are filled with so much joy and gratitude, which is so wonderful for the volunteers in California to see. We are helping to promote a more peaceful, joyful world by keeping these cultural practices alive, and in turn we ourselves are becoming more peaceful and joyful through our selfless service, which we hope benefits all living creatures on the earth.

Although it has been six years since I last set foot in Cazadero and I am approaching my twenty-seventh birthday, I carry with me the positive experience of having volunteered for such an amazing non-profit project. I hope that in the future many other people can visit Ratna Ling and work in the bindery, take meditation classes, and eat the delicious cruelty-free food that is offered there, thus reaping the benefits of engaging in this wonderful service. I humbly ask that all who believe in the benefit of peace and cultural exchange to support Ratna Ling in their endeavors to continue this very important work.

Sincerely,

Amanda D. Miller



ANALYSIS  
PLANNING  
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ENGINEERING

2952 Mendocino Avenue, Suite C  
Santa Rosa, California 95403

(Office) 707-578-3433  
(Fax) 707-526-3433

March 18, 2014

Mr. Efren Carrillo, Fifth District Supervisor of  
County of Sonoma Board of Supervisors  
Supervisor Susan Gorin  
Supervisor David Rabbitt  
Supervisor Shirlee Zane  
Supervisor Mike Mcguire  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

Email: [Efren.Carillo@sonoma-county.org](mailto:Efren.Carillo@sonoma-county.org)  
[Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org)  
[David.Rabbitt@sonoma-county.org](mailto:David.Rabbitt@sonoma-county.org)  
[Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org)  
[MikeMcguire@sonoma-county.org](mailto:MikeMcguire@sonoma-county.org)

Subject: Ratna Ling Facility  
Hauser Bridge Road  
Cazadero, CA

Dear Supervisors,

This letter is to voice my support for the Ratna Ling facility at Hauser Bridge Road, Cazadero, California.

I have personally been involved with the Ratna Ling facility and management group beginning from the time that Ratna Ling acquired the property in 2004 through the present time. My office has provided professional land surveying services and professional civil engineering services for a number of projects at Ratna Ling.

Throughout the history of our services, I have observed that Ratna Ling has always attempted to invoke a "good neighbor" policy regarding all their development. In an early situation, when a property line encroachment by a neighbor was discovered, Ratna Ling generously offered to adjust lot lines at their expense to allow the neighbor to retain improvements.



In matters regarding civil engineering projects, the Ratna Ling group has always conducted proposed construction with necessary permits. The Ratna Ling group has been generous to the local fire department and has 200,000 gallon water storage along with two reservoirs available for fire suppression. This is important in an area that has few available water sources.

All the grading and drainage plans prepared by Dimensions 4 Engineering, Inc. include rigorous BMP's for dealing with soils retention and erosion control. Ratna Ling has always complied with all the requirements shown on our plans in a professional manner.

I believe Ratna Ling is a huge bonus for Sonoma County in general and for the West County, Fifth District in particular because they observe a high standard in any project they propose. They create an immediate financial benefit with their hire local policy. Lastly, they will create a lasting benefit with a healthful retreat center providing employment for staff and a destination for guests.

Please feel free to contact me if you have any questions or comments regarding my letter. Thank you for your consideration.

Respectfully,  
For Dimensions 4 Engineering



Douglas Donmon  
President

Cc: Doug Nurnberg, Ratna Ling  
[DougN@RatnaLing.Org](mailto:DougN@RatnaLing.Org)  
Kay Gretchen, Ratna Ling  
Cynthia Demidovich, Planner  
[Cynthia.Demidovich@sonoma-county.org](mailto:Cynthia.Demidovich@sonoma-county.org)  
File

## Cynthia Demidovich

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**From:** Jane Clemmons [janeclemmons@hotmail.com]  
**Sent:** Wednesday, March 19, 2014 10:25 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Retreat and Printing Facility

Dear Sonoma County Supervisors,

Re: Ratna Ling Retreat Center and Printing Facility

I am currently caring for my mother in New York State, but spent many years (1989-2009) at Odiyan and at Ratna Ling as a volunteer helping with the creation of the Tibetan texts that are now printed and bound at Ratna Ling. One year I was fortunate enough to attend the Peace Ceremony at Bodhgaya India and was able to see the appreciation on the faces of those who received the books that we had been producing. To me it is a miracle that the organization has been able to find the support necessary to continue this work over so many years and to offer books free of charge to thousands of refugees each year all over Asia. The books that are produced at Ratna Ling and are sent to Asia not only preserve the Tibetan culture that has been so seriously threatened, but the teachings within the books promote peace and understandings of the nature of reality that are exactly what are needed in these turbulent times... not just for Tibetans, but for all of Mankind. I pray that the work will continue for many years to come.

I also feel that those who volunteer for the organization and those who attend retreats at Ratna Ling are fortunate for the opportunity. My life has been deeply enriched by my association with the Nyingma organization and I am grateful.

I'm very sorry that some neighbors are disturbed by the Ratna Ling activities. I pray from my heart that all conflicts will be resolved in a way that not only allows the Ratna Ling volunteers to continue their virtuous and all important work, but that also will bring the very highest good to the Ratna Ling neighbors as well.

From my point of view, Sonoma County should be glad to have Ratna Ling volunteers caring for the land, protecting the wildlife, and offering positive energy to the neighboring community...as well as producing the books that bring so much benefit to thousands of Asian refugees. In addition to that, Ratna Ling volunteers and retreat participants are provided with opportunities to serve and to grow. Is that not a win/win scenario?

Thank you for allowing me to share my perspectives.

Best wishes, Jane Clemmons

## Cynthia Demidovich

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**From:** Marina Marazzi [marinamarazzi@gmail.com]  
**Sent:** Wednesday, March 19, 2014 10:39 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** working practice in Ratna Ling Please!

Estimada Señora / Estimado Señor ,

Este email es para hacerle saber que vengo regularmente al Centro de Retiros Ratna Ling. A veces vengo más de una vez al año, y siempre aprecio mucho mi estadía allí.

Yo soy de Argentina, hago un largo viaje para llegar a Ratna Ling. Además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, valoro sobre todo nuestro tiempo de práctica de trabajo .

Cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros tibetanos. A veces ordenamos los libros o coloreamos sus bordes o ayudamos a alimentar a la encuadernadora.

Es maravilloso lo que ocurre con la mente y el cuerpo cuando estamos trabajando! Entramos en un ritmo que fluye mientras trabajamos con las manos y con los otros, ajustando los tiempos. A veces dos horas parecen dos minutos de lo comprometidos que estamos haciéndolo. Es como una meditación en el trabajo. No puedo expresar con palabras lo importante que es para mí esta práctica de trabajo.

La práctica en el trabajo con los libros complementa y acrecienta el trabajo de mente y cuerpo durante la clase. Ayudar con los textos , tocarlos es como contactar lo sagrado que contienen Es como corporizar los libros que estoy ayudando a encuadernar.

Por supuesto, también sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Estoy comprometida con los textos antiguos y con la posibilidad de que sigan distribuyéndose. La enseñanzas son muy valiosas.

Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos. Incluso lo he visto en videos de la ceremonia en las que los distribuyen. ¡Es tan hermoso ver como se alegran de recuperar los textos perdidos!

Por favor, tenga en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muy preciado para mí, y lo considero una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

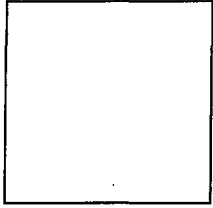
Atentamente,

Marina Marazzi

--

**Talia Lozipone**

Help spread this universal prayer!!



**Dharma Publishing**

35788 Hauser Bridge Rd.

Cazadero, CA 95421

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f: (707) 847-3380

e: [talial@dharmapublishing.com](mailto:talial@dharmapublishing.com)

## Cynthia Demidovich

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**From:** Jonathan Clewley [asitis000@gmail.com]  
**Sent:** Wednesday, March 19, 2014 11:02 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Texts made at Ratna Ling

Dear Supervisors: Esteemed Sirs & Madams

Over the past several years I have regularly visited the Ratna Ling Retreat Center in Sonoma County, and I have greatly valued the time that I have spent there - it is a great contrast to London, England, where I live; and I appreciate the opportunity to practice yoga-meditation and also to volunteer to help with the work of the Tibetan Text Project, which is undertaken at Ratna Ling.

Regarding the production of these Tibetan Books, I'm sure that you're aware that the ones that are finished at Ratna Ling are shipped to India, and then freely distributed to Tibetan monks and nuns in exile from their own country, and who consequently have no other possibility of obtaining these ancient texts. Understandably, the recipients are extremely pleased to receive them, and are grateful for the efforts put in that make it all possible (a little bit by visitors like me!).

I most sincerely hope that this work may long continue in its present location: it is precious, beneficial and a tribute to the good folks of Sonoma County.

Yours sincerely

Jonathan Clewley

## Cynthia Demidovich

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**From:** Cindy Franklin [cindyfranklin@allmail.net]  
**Sent:** Wednesday, March 19, 2014 11:40 AM  
**To:** David Rabbitt; Susan Gorin; Mike McGuire; Shirlee Zane; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** In support of Ratna Ling retreat center

Dear County Supervisors,

This letter is in support of Ratna Ling Retreat Center, and its permit to continue to do the important spiritual work of preserving sacred ancient text through its printing press. I believe there will be a hearing about this matter on April 8th.

I have personally been a beneficiary of the Ratna Ling retreat center, because I have attended spiritual programs at the Center, programs of a group that does related, but different, spiritual work and who found the retreat center an ideal environment. I found the atmosphere at Ratna ling to be extraordinarily peaceful and full of devotion, compassion, and kindness. All of us who were attending our spiritual retreat felt we had a place of very pure spiritual energy in which to conduct our own spiritual practices, meditation, and retreat.

The leader of our group, who is from a different spiritual tradition than Ratna Ling, commented on how beautifully the staff at Ratna Ling, as spiritual aspirants and practitioners, conducted themselves throughout. He was deeply impressed. We all found that their welcome and generosity was extraordinary. They quietly went about making an ideal environment for all of us, and taking care of us in every way.

Honestly, while spending a week in retreat at Ratna Ling I was not aware of any negative disturbance of any kind coming from the communities' printing press activities. I was aware that this activity was going on every day but experienced no unpleasant noise, pollution or anything of that nature to disturb the tranquil atmosphere.

I did learn of the work they are doing, and deeply respect it and feel it reflects well on the County. I would like to give a little bit of further background about myself, to explain my response to what I saw in Ratna Ling. I am currently a corporate consultant: but as a young adult I spent 16 years living in an Ashram - which is a spiritual community based on the principles of Yoga. In the ashram I did many practices - chanting, meditation, attending spiritual discourses, yoga - but the main practice I did was called "seva" - selfless service. For me, service was the main spiritual practice: and I think it was the main spiritual practice for all of us in the tradition I was a part of. By publishing sacred works, and welcoming people from all walks of life and from all countries to come and study yoga philosophy in the ashram, we did our spiritual practice of "seva." I felt then, and feel now still, that this was the main practice that has nourished my spiritual life: and it remains one that I can apply in my new life context as well...as can and do my friends who studied in the ashram with me some years back. it is always possible to seek ways to be of service.

The reason I am mentioning this, is that when I was at Ratna Ling I could perceive how those "on staff" at the retreat center had a similar practice. They were clearly doing service as a spiritual practice - to the public by welcoming us as visitors with open arms and with a beautiful spirit. And also doing service for people worldwide, and for future generations, by operating the printing presses and saving ancient sacred texts that had been endangered by the Chinese invasion of Tibet, and publishing them for dispossessed Tibetan refugees worldwide, and for the people of the world as a whole as well. I also noticed that they had a book about "skillful means" written by their spiritual teacher- basically, about how to work and serve other people as a path to spiritual development. I could see that they were

applying this teaching in how they were approaching their service work, and in the specific sacred service work they were doing of preserving sacred texts.

I think that the Ratna Ling retreat center does tremendous benefit for the community, that they bring it honor wide and far, and that they engage the work they do as a spiritual practice. I wholeheartedly request that you please support them in continuing their sacred work.

with respect,

Cindy Franklin  
12 Toyon Court  
Sausalito, CA 94965  
(917)721-3328

## Cynthia Demidovich

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**From:** Micaela McNulty [micaela.mcnulty@gmail.com]  
**Sent:** Wednesday, March 19, 2014 11:51 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Please support Ratna Ling Retreat Center

Dear Members of the Board,

I am writing to ask that you support the Ratna Ling Retreat Center by approving their use permit application. As a resident of Sonoma County, and having spent some time there myself, I feel that Ratna Ling is an important and positive presence in our community.

Ratna Ling is a beautiful retreat center offering a place for people to connect with deep spiritual meaning in their lives and experience the natural beauty of Sonoma County. Attending a retreat at Ratna Ling also offers the unique and special opportunity to contribute to the preservation of sacred Tibetan Buddhist texts. This is hugely important to helping the Tibetan refugees in keeping their cultural and spiritual heritage alive. I have had the opportunity to volunteer with the text preservation project, and it was both a very positive spiritual experience as well as an inspiration to contribute to a cause that truly benefits other people - not just the Tibetans themselves but also everyone who finds meaning in their lives through learning about Tibetan Buddhism.

Your support of Ratna Ling is so important to people like myself who wish to engage in spiritual development while also giving back to the Tibetan people, and it brings positive recognition to Sonoma County as a community that promotes social responsibility both at home and around the globe.

I greatly appreciate the Board's past support of Ratna Ling and wish to also thank you for this. Your continued support will bring great benefit to many people in Sonoma County and beyond. Thank you very much for your time and consideration.

Sincerely,

Micaela McNulty  
8340 Blackney Road  
Sebastopol, CA 95472



## Cynthia Demidovich

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**From:** Eliana Kalaf [eliana.kalaf@gmail.com]  
**Sent:** Wednesday, March 19, 2014 11:53 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support of Ratna Ling

Dear sirs,

I am from Brazil and a Buddhist practitioner. I am writing this email is to let you know that I come regularly to the Ratna Ling Retreat Center, and I have always greatly appreciated my time there. It is a peaceful and beautiful environment.

The Retreat at Ratna Ling is a wonderful, spiritual experience. Working on text project is an important part of retreat experience. I feel fortunate to be to be a part of it

Each day we go to the Tibetan Text Project and help with the binding of Tibetan Books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thankas. I cannot express in words how important for me this work practice time has been. It is like meditation, and I am engaged with ancient texts

After the retreat, I used to visit Sonoma County which I always enjoy very much.

Please hear me when I say that this work with the Tibetan texts is very precious to me, and it is a necessary part of my path as a Buddhist practitioner. I am asking you to please support Ratna Ling's application, so I can continue coming to Ratna Ling for retreat and enjoy the beauty of Sonoma County.

I thank all the supervisors for your consideration.

Sincerely yours,

Eliana Kalaf

Rua Humaitá 282, apto 603 bloco 2

Rio de Janeiro - RJ - Brazil

March 19, 2014

County of Sonoma Board of Supervisors  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

Re: Support for new Master Use Permit for Ratna Ling Buddhist Retreat Center

Dear Supervisors Carrillo, Gorin, McGuire, Rabbitt, and Zane:

Back in 2006, I started wrapping sacred texts as a volunteer. At the time I didn't know much about Buddhism, but there was something about working with the books, about the fluid motions with cloth and paper and the sense of cooperation among all of us there, that kept me coming back. I think it was my first experience of a kind of meditation, of being in tune with the moment — wrapping each book, aware of which way the text was facing, the position of the fabric, winding the ribbon — while my mind calmed, and at some point in the day became genuinely at peace.

I haven't attended a retreat at Ratna Ling, but it has to be that the people on retreat there feel what I do when I'm handling sacred texts. Feel it even more than I do, actually, since they're supplementing working with the religious press with meditation techniques, talks, and other retreat activities. And it's not just about what working with sacred texts does for an individual, but that the work is vital to the preservation and continuation of Tibetan culture. Retreat participants should have the opportunity to experience the calm centeredness I do when I perform work that helps get texts back in the hands of Tibetans so they can study them and continue to transmit the Dharma.

Sincerely,



Terry Rillera  
2704 Derby Street #34  
Berkeley, CA 94705  
trillera@juno.com

cc: Cynthia Demidovich  
genegretchen@yahoo.com

## Cynthia Demidovich

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**From:** Michelle Barnett [dh6er2003@yahoo.com]  
**Sent:** Wednesday, March 19, 2014 2:29 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Cc:** genegretchen@yahoo.com  
**Subject:** Master Use Permit : Ratna Ling

Re: Master Use Permit at Ratna Ling

Dear Sonoma County Supervisors,

It is of greatest importance that you uphold and allow the Master Use Permit to the Ratna Ling retreat facility.

I have personally been on retreat at this facility and it is a model spiritual community of exceptional land stewardship and community generosity.

Never was my tranquil retreat interrupted in any way by the efforts of the printing facility that produces new copies of previously unavailable texts.

I have also been a volunteer on the sacred text project. It is one of the only truly meaningful projects I have been privileged to be a participant.

The spiritual practice of gifting sacred texts back to those who have had them destroyed due to political conflict

is essential if Buddhist practitioners are to maintain their cultural history and identity.

It is my understanding that the Master Use Permit that has already once been approved by law is now up for appeal on April 8th, 2014.

I urge you strongly to continue to allow the beneficial works of the Ratna Ling spiritual community.

Thank you for your time and consideration.

Best,  
Michelle Barnett

## Cynthia Demidovich

---

**From:** Els Gielens [elsg@dharmapublishing.com]  
**Sent:** Wednesday, March 19, 2014 2:34 PM  
**To:** Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** Ratna Ling

Dear Sir,

I'm very happy to let you know that I'm living at Ratna Ling, already for 3 years. It is a great pleasure for me to live and work at this place. I'm Els and came all the way from Holland.

Life for me here is very satisfying, first of all, my day starts with Tibetan Yoga. We do this with a little group. And to be honest on my own, I would never accomplish to do this every day. Here I have the support.

At 8 I start working and since I can do what I really like to do, my day is fulfilling. I'm teaching many classes and have also the opportunity to study for those classes and prepare webinars / teachings online. Classes are about Tibetan Yoga and Transforming Stress into Well-Being.

My work day ends at 6 and have then the opportunity to attend classes. I really like to deepen my understanding and find even more ease inside myself. In this way I'm also more beneficial for others. Spirituality always helped me and I'm learning even more in the moment.

Our breaks here are plenty and the food more then delicious. I feel well cared for and in the meantime I can study and work and follow my deepest wishes, and share that with others.

Thank you  
Els Gielens



Els Gielens  
Dharma Publishing  
35788 Hauser Bridge Rd.  
Cazadero, CA 95421  
p: (707) 847-3717 x 212  
[e:elsg@dharmapublishing.com](mailto:elsg@dharmapublishing.com)

## Cynthia Demidovich

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**From:** Anna Dozor [annadozor@gmail.com]  
**Sent:** Wednesday, March 19, 2014 4:13 PM  
**To:** Susan Gorin; Shirlee Zane; Mike McGuire; Efren Carrillo; David Rabbitt; Cynthia Demidovich  
**Cc:** genegretchen@yahoo.com  
**Subject:** A Note in Support of Ratna Ling

Dear County Supervisors and Planners,

Having recently been alerted of the upcoming hearing on Ratna Ling's Master Use Permit application, I wanted to send a quick note of support.

I grew up in Sonoma County, and am very protective of its beauty, serenity, and tranquility. In all the time I have spent at Ratna Ling in the last five or so years, mostly volunteering in the Bindery on weekends and vacations, I have only seen these aspects represented and respected. The press does a wonderful world service by cataloging and distributing rare Tibetan materials that were destroyed in the Chinese occupation, and does so without disrupting the nature and peace of the Searidge community. I see Ratna Ling as a important cultural asset for our county as well as spiritual asset for myself, personally. I hope to continue to see it thrive.

Thank you for your time,

Anna Dozor

3213 Franz Valley Road  
Santa Rosa, CA 95404

## Cynthia Demidovich

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**From:** Rima Tamar [rimatam@gmail.com]  
**Sent:** Wednesday, March 19, 2014 4:14 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** In support of Ratna Ling

To: County Board of Supervisors

575 Administration Dr., Room 100A

Santa Rosa, CA 95403

Attention: Susan Gorin, David Rabbitt, Shirlee Zane, Mike McGuire, Efren Carrillo, and Cynthia Demidovich

Dear Supervisors,

I am writing in support of Ratna Ling Retreat Center, a place that I have enjoyed retreating to for several years now. I have taken several workshops there and did work practice at the Yeshe De bindery many times. Everyone I have ever met at Ratna Ling was kind and helpful. The teachers are wonderful and the food is healthy and delicious, with many of the vegetables grown in their garden.

I have heard that some of the neighbors are unhappy with Ratna Ling and object to the printing press on the Ratna Ling property. While staying in a cabin on the property, I never heard noise or felt any unpleasantness do to press operations. I know that they are printing sacred texts which are given out at no charge to monks and nuns in Tibet and India. They are doing wonderful, important work which is helping to preserve a culture in danger of extinction.

I know that many neighbors seem happy with RL as I have seen some of them at events at the retreat center. I went to a Mother's Day picnic where Ratna Ling folks presented a brand new fire engine to the community! If that's not being neighborly, I don't know what is.

I certainly hope that this can be resolved and that Ratna Ling can continue to provide retreats & classes for the community, and books for the Tibetans.

Sincerely,

Rima Tamar  
Berkeley, CA

## Cynthia Demidovich

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**From:** kristine winber [kristinewinber@mac.com]  
**Sent:** Wednesday, March 19, 2014 4:15 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Efren Carrillo; Mike McGuire  
**Cc:** Cynthia Demidovich  
**Subject:** Ratna Ling support from Iowa

Dear Sonoma County Supervisors,

For 5+ years I was a frequent visitor at Ratna Ling. I was going through a difficult time in those days. The people, the environment, and the time volunteering at the press all contributed to my ability to sort out the many difficult things that were happening then.

The work at the press brought me in touch with how helping to save a culture was more important than the relatively petty concerns that were plaguing me at the time. I cherish every moment that I was able to be there. Really.

In a few weeks I will turn 65. I have been looking forward to 2015 when my youngest child heads off to college and I can return to Ratna Ling. In fact, extended visits to Ratna Ling have factored heavily into my retirement plans. I have been looking forward to working at the press. Using my retirement time to work closely with others to help preserve a wisdom tradition has been something I have looked forward to for a very long time.

In addition to the beauty of Ratna Ling, I am also looking forward to my favorite places along the coast. Like the coffee shop in Jenner, the wonderful food and view at Rivers End, the restaurant at Sea Ranch, Two Fish Bakery, all the wonderful shops in Gualala! Plus, Surf Market is the BEST! I am still wearing the clothing I bought at Red Stella and I am drinking coffee out of a Cafe LaLa mug as I write this.

Please keep Ratna Ling and the press intact for the future. It is one of the very bright spots in an increasingly dark world.

Thank you for helping preserve this special destination spot in Sonoma County!!!

Kristine Bartley Winber  
714 Bradway Place  
Des Moines, Iowa 50312



## Cynthia Demidovich

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**From:** Sarah Dozor [sarah.morgaine@gmail.com]  
**Sent:** Wednesday, March 19, 2014 4:45 PM  
**To:** Susan Gorin; Shirlee Zane; Efren Carrillo; David Rabbitt; Mike McGuire  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling letter of support

I worked on the sacred texts at Ratna Ling for three years. The experience changed my life and I watched it change many others as well. Working in the bindery, on physical production of these texts that are so cherished and respected by Tibetan Buddhists, gave volunteers new clarity and calm. It grounded us. People found direction, made strong life decisions, or simply learned of abilities they never knew they had. This was often directly tied to the patience, communication, quickness, and calm needed for book production. The press and bindery are vital both to preserving Tibetan culture and to continuing to offer a venue for learning and growth for the volunteers there.

Thank you,

Sarah Dozor

## Cynthia Demidovich

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**From:** Marcy Baskin [marcy@elderroads.com]  
**Sent:** Wednesday, March 19, 2014 4:53 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Support for Ratna Ling

I have attended several retreats at Ratna Ling, as well as lived up on the ridge on Bohan Dillon Road for 14 months while my husband was the project manager for a senior wellness center at Ratna Ling. It is a bucolic, wonderful community.

The retreats leave me feeling nurtured, peaceful, and connected to the natural beauty all around me. I always have thought it more about the place itself than the content of the retreat. Each time, I visited the building where people selflessly worked on the production of sacred text, a task filled with devotion and passion for the preservation of Tibetan culture. On one of my visits, I actually participated in wrapping books that would eventually be gifted to the Tibetan people. The sense of contribution was remarkable. One need not be a Buddhist practitioner to feel gratitude and appreciation for the ability to choose our own path, to not have the things we treasure the most taken from us. I am struck by the selflessness with which people at Ratna Ling give themselves to this cause of preservation and their compassion for visitors and each other. With such serious concerns, one might assume a solemn tone. What I experience is love, peacefulness, joy, and respect for all beings.

I hope you will support their ability to continue to bring their gifts to all.

Thank you.

Respectfully,  
-Marcy Baskin

Marcy Baskin, CSA  
Elder Care Manager and Family Coach  
Author, [Assisted Living: Questions I Wish I Had Asked](#)

415 302 2929

[www.elderroads.com](http://www.elderroads.com)

## Cynthia Demidovich

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**From:** Jeff Marble [jcmarble@gmail.com]  
**Sent:** Wednesday, March 19, 2014 5:07 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support for Ratna Ling

Dear Sonoma County Supervisors:

I have spent two retreat periods at Ratna Ling. The lovely, peaceful environment and thoughtful, caring staff made both visits a wonderful experience. The yoga and meditation practices create an aura of quiet peace for contemplation and spiritual renewal. Ratna Ling staff contributed to the sense of attentive presence to movement and awareness; each day unfolded as a living practice of Buddhist mindful principles.

Integral to each visit was the opportunity to contribute to the Tibetan religious text distribution project. We worked side by side with prayer and deep intention to benefit the displaced refugees and help support the preservation and dissemination of Tibet's religious heritage. It is deeply moving to experience the care and quality with which this project is undertaken. The opportunity to be of service was a key element and highlight of each visit.

I'm writing to offer my strongest support for Ratna Ling. Please allow the Master Use Permit to continue the wonderful gift of service that Ratna Ling provides.

Thank you for your consideration,

Jeff Marble

## Cynthia Demidovich

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**From:** Ellen Barnett [docellenimc@gmail.com]  
**Sent:** Wednesday, March 19, 2014 5:10 PM  
**To:** David Rabbitt; Shirlee Zane; Mike McGuire; Cynthia Demidovich; Efren Carrillo; susan.Gorn@sonoma-county.org  
**Cc:** genegretchen@yahoo.com  
**Subject:** Support of Ratna Ling

As a family physician and educator I have had the honor of presenting educational retreats at the Ratna Ling retreat center for 4 years. With each retreat the participants have the opportunity in their small window of free time to visit and work if they choose at the press. Uniformly our feedback is positive. They love the retreat center and the chance to have medical education seminars in such a lovely, restful place. And they have commented at every retreat how inspiring the work is of printing the sacred texts for shipment to Asia to retain the nearly lost Tibetan culture. This is a treasure of Sonoma County. All the times we have been there I have seen absolutely no evidence of impact or damage to the area.

In addition, my daughter volunteered at the press for over 2 years. Her experience and the reported experience of the many volunteers that have worked there speaks to the opportunity the volunteer program offers. Working together, with a team of other young people and seeing the effects of hard work and common goals has been invaluable to her. She is currently in graduate school and a big part of that decision was based on her experience at Ratna Ling.

I wholeheartedly support the work of the Ratna Ling Retreat Center and Press. It is a selfless project that is bringing needed positive energy and spiritual strength to our community. I am happy to answer any questions or give further accounts of my many positive experiences at Ratna Ling and with the community there.

My home and business addresses are both in Sonoma County.

Home is 3213 Franz Valley Rd Santa Rosa 95404

Business is 175 Concourse Blvd. Santa Rosa 95403

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*Ellen Barnett, MD, PhD*

*Integrative Medical Clinic Foundation*

*Director - Outreach and Program Development*

*Patient Navigation Certificate Program - Internship site placement coordinator*

*707 284 9206*

*[www.imcfound.org](http://www.imcfound.org) 707 284-9225*

*Integrative Medical Clinic*

*Medical Director*

*707 284 9200*

*[www.imcsr.com](http://www.imcsr.com)*

## Cynthia Demidovich

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**From:** R.D. Jaramillo [rrockrose2003@yahoo.com]  
**Sent:** Wednesday, March 19, 2014 5:58 PM.  
**To:** BOS  
**Cc:** Cynthia Demidovich  
**Subject:** Re : Ratna Ling Hearing on April 8, 2014

To : Individual Members of the County of Sonoma Board of Supervisors  
From : Robert D. Jaramillo  
Purpose : A letter in support of the Ratna Ling community in their valuable work

Dear Members,

I have been a member of the Nyingma community, in reality, ever since 1969, when I first met the founder, Tarthang Tulku, Rinpoche, who gave a talk at the university I attended in San Francisco. At that time, I was not aware of the life-changing event this chance meeting would exert on myself. Subsequently, in 1971, as a graduate student, I had the honor of arranging a formal speaking engagement for Rinpoche that was supported by the Student Council. The event was very well received by approximately 200 students and teachers of the university population, and was considered a success by my university professor at that time.

Taking courses at the Nyingma Institute in Berkeley, next to the University of California campus, after its' founding in 1973, I found that the Nyingma tradition of Tibetan Buddhism had special appeal not only to myself, but to broad societal strata : business, professional and educational levels of American society, because it provided practical solutions to many of the most vexing challenges that confronted us, as Americans, during this most fluid time. Especially helped were those professionals in at least three areas of American occupational life : the healing area - medical doctors, therapists and those in traditional religious orders ; higher educational sectors - such as scholars at major American universities ; and, the business arena - business leaders and entrepreneurs.

The study of ancient wisdom, as applied in a thoroughly Western setting, with ever increasing technological change, made sense to me, and to the professionals mentioned above, because this study provided deeply satisfying perspectives - an epistemological basis , if you will, - for understanding radical change, both personally and in chosen life occupations. Most amazingly, after more than forty years, up to the current time, the wisdom of long ago is still providing applied, practical solutions to many of the challenges that have only increased, as the pace of modern life has accelerated. Authentic education, in paraphrasing what the founder of American education, Thomas Dewey, said, was to help us live life better. Living life better is the gift Nyingma perspective and its application have given me.

So, to live my life better, and to educate myself, I began a five year "practice period," a true educational learning experience, by first volunteering in building Odiyan, the first Tibetan Buddhist Nyingma meditation and community center, at its' earliest beginning stages in 1975. This unique, and thoroughly rewarding experience - one which I will savor for the rest of my life, and, which I know, will have a profound and wide ranging impact for the good in all aspects of American life - was followed by over a year at the Nyingma Institute, in 1976, where I helped disseminate educational programs at universities and churches, on a state and national level. Books, published by Dharma Press, a small, but first rate publishing company, were at approximately 480 universities throughout the country. This publishing effort created the wide-spread interest in Tibetan Buddhist thought and practice, that fitted very well with main stream higher education in America.

The vision of Tarthang Tulku, Rinpoche, was only matched by the living example of his generosity, skillful means, and truly humanistic and heroic efforts in teaching us daily, and creating and guiding such wondrous Dharma projects. We were all volunteers, so understaffed, but inspired by Rinpoche's unselfish dedication to a vision that made us better human beings, and, to a way of life that satisfied our deepest longings, even though we often felt otherwise. I'm sure we all felt inadequate - I know that I did - but, giving everything, we learned how to nurture ourselves, in order to help others.

From 1978 to the first days of 1980, I helped make the first generation of prayer wheels - both hand-held, and large, electrically powered versions - that grace, and give grace to all

Nyingma environs and structures, and the people who are fortunate to come into their direct contact, and even those who do not. Their effect is beyond the rational mind to understand, but volunteers were, through meditation and hard work, starting to understand, directly, with their hearts. In short, the work and Rinpoche's vision and example changed all our lives for the better : I believe we became better human beings, and I am so grateful for playing such a small, insignificant part in this Dharma activity.

The purpose of this letter is to urge you, the members of the Sonoma County Board of Supervisors, to recognize the utter importance of this work, that is so essentially human, being human defined as what is possible for humans to be ; that is, to actualize the best that is in us, as exemplified by unselfish goals and actions, by compassionate behavior in the world, to make it and us the very best we can be, by uncovering what is already there. This work is essentially non-sectarian and non-denominational : I urge you all to be a part, and much more than proud, but, hopefully by your awareness and action, a *significant part* of this human work, to understand that *you are* a witness to this enlightened behavior, and can enjoy the beneficial results in your own county and country

Whenever and wherever we worked, in building meditations centers, or making gorgeous and significantly impactful and sacred texts, or creating powerful meditation tools such as prayer wheels, or helping organize and implementing university level courses, whatever we did, we practiced awareness, tolerance, and compassionate behavior toward all parts of the environment, people and nature. We were conscious of others, and worked quietly, the best we could, for the benefit of others. That is the pattern of behavior and attitude practiced at all Nyingma Centers, here in America in Sonoma County, at Ratna Ling, and at Centers abroad. Succinctly stated, actions and attitudes of the Nyingma community were based on the search and the practice of excellence, a way of interacting with others that provided examples of the Golden Rule - a way to live. True education.

I've only traveled to 22 countries, and have seen that America has always been the beacon of hope and inspiration that have attracted so many to its' shores. We live at a critical time in world history, and, I believe, at a juncture of opportunity and right action - a Renaissance of not how much we can get, but how much we can give. A new, but very old, rebirth of the best that America can be, is not in its' past, but in its' present and in its' immediate and lasting future. But, we have to make the intelligent choices that we know in our hearts are good. In agreeing with your own County's Board of Zoning Adjustments, by a 5 to 0 unanimously approved vote in favor of Ratna Ling's application in June 2012, it looks like , in my opinion, a very intelligent choice and correct, rightful action. I know you all will make the right choice. It will just feel good. It is the right thing to do.

Thank you for the opportunity to present my opinions based upon my life experiences, in this matter.

Sincerely,

Robert D. Jaramillo  
Federal Financial Group  
7700 Edgewater Drive, Suite 724  
Oakland, CA 94521  
Cell : 530-277-7624  
rrockrose2003@yahoo.com

Dear Supervisor,

I am writing you in support of the Ratna Ling Retreat Center and its publication and distribution of Sacred Texts of the profound religious tradition of Tibetan Buddhism. I have a Doctorate in Theology and Art from the Graduate Theological Union in Berkeley and have been a resident of Sonoma County for the last twenty-five years.

It is with great pride that I have informed people of the outstanding and admirable work that American Dharma students have so selflessly and steadfastly devoted themselves to in the preservation and distribution of Sacred Tibetan Texts at the Ratna Ling Retreat Center in Sonoma County. Without their devotion and this sacred place to work, one of the greatest and most sublime treasuries of human wisdom could be lost to human history through ignorance and carelessness. Not only is Sonoma County and Coastal California recognized for its environmental beauty, agricultural integrity, and visionary acumen as was recently acknowledged by President Obama's signing of the bill to preserve the Stornetta Lands, but also we are gifted here with the opportunity to take responsibility for the cultural and intellectual preservation of Wisdom teachings essential to the profoundest understanding of the human mind and heart.

As our elected Supervisors, we trust you with your authority to allow this great work of printing and distribution of sacred literature to continue for the sake of our children to build a more peaceful and humane world.

Please listen to this request heartfully and act wisely.

Respectfully submitted,

James L. Gauer, Ph.D

## Cynthia Demidovich

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**From:** Roselene Pereira da Costa [roselenecosta@gmail.com]  
**Sent:** Wednesday, March 19, 2014 8:29 PM  
**To:** David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Susan Gorin  
**Cc:** Cynthia Demidovich  
**Subject:** Supporting Ratna Ling

I am Roselene Costa, from Rio de Janeiro, Brazil.

I am writing in support of Ratna Ling. I have been in retreat at Ratna Ling a couple of times on my retreat training.

I am a Buddhist practitioner and I consider the importance of this peacefulness and quiet place. I also love and realize the importance of working, printing for further distribution of the sacred Buddhist texts.

The work we can do there will flourish in benefits to all sentient beings. I mean it's a great opportunity to maintain all these knowledge alive!

We have a responsibility about our environment and there we take care planting trees, making beautiful gardens and respecting our neighbors deers, birds and magnificent trees and atmosphere.

I intend to be there on next June leaving Rio/Brazil in the time of world Cup.

We do love and care. May USA can value this human contribution.

With appreciation,

I am Roselene Costa, from Rio de Janeiro, Brazil.

**Roselene Costa**

[www.nyingmario.org.br](http://www.nyingmario.org.br)

[instituto@nyingmario.org.br](mailto:instituto@nyingmario.org.br)

Tel.: (21) 2527-9388



## Cynthia Demidovich

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**From:** Daniel Weiss [dsweiss@pacbell.net]  
**Sent:** Wednesday, March 19, 2014 9:04 PM  
**To:** Susan Gorin  
**Cc:** Cynthia Demidovich  
**Subject:** Master Use Permit application of the Ratna Ling Buddhist Retreat Center

To the Supervisors:

I am not a resident of Sonoma County (though I often consider becoming one) but I am someone who visits the county, spends money in the county, and encourages friends and out of town family members to visit the county.

I write in support of Ratna Ling's pending Master Use Permit application, and suggest that the opposition to the permit is without substantial merit. My wife and I have both spent time at Ratna Ling, and were able to watch the transformation of the land and space into the beautiful space it has become. That has been a pleasure and privilege.

We are also strong supporters of the goal and activities of the press, having an abiding faith and commitment to trying to main the culture and religious practices of Tibetans in the face of the enormous pressures exercised against them.

The activities at Ratna Ling are not merely self contained, but also are focused on the community, both in terms of peaceful coexistence and contributions to the community such as building a playroom at the school or donating a fire truck.

I urge you to deliberate based on the facts of the situation rather than the public relations. That is all one can ask of those who have chosen public service.

Thank you for taking the time to consider my thoughts.

Daniel S. Weiss, Ph.D.  
Professor Medical Psychology  
University of California, San Francisco

## Cynthia Demidovich

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**From:** Matthew Hughes [matthewhughes123@gmail.com]  
**Sent:** Wednesday, March 19, 2014 9:57 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Lett of support for Ratna Ling and associated printing activities

To the Sonoma County Board of Supervisors,

When I learned there was the possibility that some of the projects at Ratna Ling, particularly the printing projects, might not be allowed to continue, I thought a long time about how I might be able to express my support for these activities and also convey the extraordinary value and meaningfulness participating in these projects have brought to my life, and in turn, to the lives of the people around me. After several attempts, I found I simply couldn't do it.

The three years I spent living and working in this organization provided a foundational experience for my life and everything I've done since. In all I do, it serves as a model for me to live up to, of how to work harder than I think I'm capable of, and how one might give themselves fully to what they believe in. I am continually inspired by the example of Odiyan and Ratna Ling. Being a poor writer, it is difficult to really put these thoughts into words.

At the very least, I would like to express my sincere and heartfelt gratitude that these religious projects have been allowed to continue up to the present. At most, I suppose I would like to think that my own small perspective expressed in this letter helps to convince you that the activities at Ratna Ling, particularly the tibetan text production of Yeshe De, are incredibly valuable and worthwhile to preserve. From the depths of my heart, I sincerely hope a solution can be found that both allows the printing to continue and gives sufficient ease to those who oppose it.

Sincerely,  
Matthew Hughes

[matthewhughes123@gmail.com](mailto:matthewhughes123@gmail.com)  
(510) 316-8490  
B.s. Forestry  
MF Forestry  
ISA certified arborist

## Cynthia Demidovich

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**From:** Robert Vibat [robertvibat@gmail.com]  
**Sent:** Thursday, March 20, 2014 3:35 AM  
**To:** David Rabbitt  
**Cc:** Susan Gorin; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich; genegretchen@yahoo.com; judy rasmussen  
**Subject:** Ratna Ling- In support of Master Use Permit, 2014.

To: Board of Supervisors of Sonoma County

Re: Ratna Ling

I have personally worked on the sacred texts as well as the prayer wheel projects. Not only has the experience been enriching to my life, but it is a much needed project which helps to preserve a tradition of wisdom - not only for our generation, but for future generations as well. The work that is being done at Ratna Ling has far reaching effects; without preservation efforts, monasteries, and practitioners would not be able to have full access to precious texts. These texts are crucial to the survival of Tibetan Buddhist study and practice, and their distribution brings direct benefit to many thousands of lives. I am in firm support of Ratna Ling and its activities. Please grant Ratna Ling a master use permit, so that this work, which helps to foster peace on a broader scale, may continue.

Thank you for your consideration.

Regards,

Robert Vibat RN, BSN, PHN

510-967-6333

## Cynthia Demidovich

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**From:** Horacio Calvo [hcalvo25@hotmail.com]  
**Sent:** Thursday, March 20, 2014 4:45 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling - Sonoma County

Estimada Señora / Estimado Señor,

Este mail es para informarle que desde hace varios años vengo regularmente al Centro de Retiros Ratna Ling, en ocasiones más de una vez al año, y valoro mucho el tiempo que disfruto allí para mi desarrollo personal.

Yo soy de Argentina, y además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, pero valoro inmensamente el tiempo dedicado a la practica en el trabajo, como una forma de corporizar las enseñanzas tan valiosas para mí.

Cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros tibetanos. A veces ordenamos los libros o coloreamos sus bordes o ayudamos a llenar los bolsillos de la encuadernadora.

No puedo expresar con palabras lo importante para mí ha sido esta práctica de trabajo. Es como una meditación, y estoy muy comprometido con los textos antiguos, que contienen una de las grandes sabidurías de la humanidad. También es muy valiosa porque en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso. Es como que estoy corporizando los libros que estoy ayudando a encuadernar.

Por supuesto, también sé cual es el destino de los libros que ayudo a ensamblar, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en el exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos, impedidos de acceder a los mismos por otros medios.

Por favor, ten en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muy preciado para mí, y para mí es una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual, además de sentir que con mis manos y mi tiempo estoy contribuyendo, aunque sea minimamente, a sostener una cultura y una sabiduría que ha iluminado mi vida.

Atentamente,

Horacio Calvo

ID 12.434.223

Buenos Aires

Argentina

## Cynthia Demidovich

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**From:** Jeffrey Brandt [jeffrey.Brandt@whitehursttransport.com]  
**Sent:** Thursday, March 20, 2014 5:08 AM  
**To:** Cynthia Demidovich  
**Subject:** Ratna Ling Retreat Center

Dear Cynthia, I am an old student of Tarthang Tulku dating back to 1974 and I have lived and worked at both the Odiyan Center and Ratna Ling over the years. I now live in Calno Virginia. My dealings with the community there in Sonoma have always been positive and they even teach us about practicing low impact strategies and bringing the environment back into balance. When I had stayed at Ratna Ling it was extremely quiet and peaceful for the entire week I was there. There had been a food delivery one day but it was so quiet that we didn't even notice the truck until it arrived at the lodge. For 99% of the time the road was very very quiet; almost like a wilderness road.

May I say that the printing work they are doing there at Ratna Ling is completely paramount to retoring the written tradition of Buddhist religious study for Tibetans in India that had been lost in the Chinese cultural revolution of the 1050's and 1960's. In America we believe in religious freedom and Ratna Ling has been a beacon of religious freedom and American religious values not only in the local area but on a worldwide scale with their retreats and community outreach and their many many programs that teach people about relaxation and meditation. Their efforts have been completely non-sectarian and non discriminating. Everyone is always welcome to visit without hesitation.

I am open to bear positive witness to any and all activities going on there at the facility and I believe they have always without hesitation open the doors to the County to view and audit any and all activities going on there and to offer positive suggestions if any improvements were waranted. This will always be the case. I think it would be their goal at Ratna Ling and mine that the Ratna Ling community be a compliment to the neighborhood at all times. I myself cannot be at the April 8th meeting but you can call me at any time if you need an outside reference that can attest to the integrity and responsibility of this community.

Please feel free to contact me.

Jeff Brandt

PH# 804-349-3285

email= [jndbrandt@netzero.net](mailto:jndbrandt@netzero.net)

mail= Jeff Brandt PO BOX 61 Hanover, Va. 23069

## Cynthia Demidovich

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**From:** luiz roberto barboza de oliveira [lrboliv@gmail.com]  
**Sent:** Thursday, March 20, 2014 6:49 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** In support to Ratna Ling Retreat Center, Sonoma County

To:

County of Sonoma Permit & Resource Management Department  
Supervisor Susan Gorin  
Supervisor David Rabbitt  
Supervisor Shirlee Zane  
Supervisor Mike McGuire  
Supervisor Efren Carrillo &  
Ms. Cynthia Demidovich, Planner

Dear Sirs and Madams:

I, Luiz Roberto barboza de Oliveira, Brazilian, married, father and step father of three adult daughters knew the beautiful and pleasant County of Sonoma thanks to the Retreat Center of Ratna Ling, since the first time I've been there, in 2005.

Since then I've been there many times to enjoy the beauty and spirituality of the Buddhist Retreat Center at Ratna Ling (Sonoma County) and, more than once, I and my wife and daughters have been working as volunteers on the Buddhist Sacred Books Project for free distribution among the Lamas and Monks in the World Peace Ceremony, a Project unique in the history of mankind, to save an entire sacred Buddhist tradition. In the next centuries the name, kindness and hospitality of Sonoma County will be associated to this humanitarian endeavor, that benefits the entire world.

As a practicing Buddhist, I'm absolutely sure that the mere existence of the Odiyan and Ratna Ling Buddhist Retreat Center brings to Sonoma County not only many tourist and economical benefits, but also - and much more important - the spiritual benefits protecting all the Sonoma region and all California from environmental disasters like major earthquakes, climatic change and human and political disturbances like increase of criminality and many other social and political distress, so common nowadays in our world.

That is the reason that we are writing from Brazil to you, pledging in favor of the continuing of our Retreat Center as it is, and will be in the future, protecting Nature and people and inviting men and women of goodwill around the world to this marvelous landscape of Sonoma County to accomplish so high spiritual deeds.

Sure that you will hear our voice,

Respectfully yours,

Luiz Roberto Barboza de Oliveira, wife, Sandra Guimaraes, and daughters Amapola Rios, Andrea Perroni and Cecilia Myra y Lopez, all lovers of your County.

--

Luiz Roberto Miloud B. de Oliveira

lrboliv@gmail.com



## Cynthia Demidovich

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**From:** elena berro [berroelena@hotmail.com]  
**Sent:** Thursday, March 20, 2014 7:03 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** En apoyo al proyecto de textos tibetanos

Estimados,

Este email es para hacerle saber que vengo regularmente al Centro de Retiros Ratna Ling. A veces asisto más de una vez al año, y siempre aprecio mucho mi tiempo allí.

Yo soy de Buenos Aires, Argentina, y además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, valoro sobre todo nuestro tiempo de práctica de trabajo .

Cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros. A veces los ordenamos o coloreamos sus bordes o ayudamos a llenar los bolsillos de la encuadernadora.

No puedo expresar con palabras lo importante que para mí ha sido esta práctica de trabajo. Es como una meditación, y me siento comprometida con los textos antiguos. También es muy valiosa esta tarea porque en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso. Es como que estoy corporizando los libros que estoy ayudando a encuadernar.

Por supuesto, también sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos.

Por favor, tengan en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muy preciado para mí, y lo considero una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

Atentamente,  
Elena Berro

## Cynthia Demidovich

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**From:** Davis Baltz [dbaltz@igc.org]  
**Sent:** Thursday, March 20, 2014 7:14 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com; Tsering Gellek; dougn@ratnaling.org  
**Subject:** support for Ratna Ling publishing facility  
**Attachments:** Ratna Ling support letter 3\_20\_14.pdf

Attached please find my letter in support of Dharma Publishing's facility at the Ratna Ling Buddhist Retreat Center. I urge you to uphold the conditions of their Master Use Permit application in the hearing before you on April 8, 2014.

Sincerely,

Davis Baltz  
Sarnath, India

March 20, 2014

Dear Sonoma County Supervisors:

I am writing in support of Dharma Publishing's facility at the Ratna Ling Buddhist Retreat Center, and urge you to uphold the conditions of their Master Use Permit application in the hearing before you on April 8, 2014. As you know, the County's Board of Zoning Adjustments approved the permit application by a 5-0 vote in June 2012.

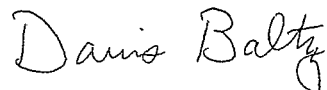
I am the English teacher for the Tibetan monks who live and work at the Sarnath International Nyingma Institute (SINI) in Sarnath, India. The Institute is located at the place where the historical Buddha gave his first teachings. The monks here are refugees from their Tibetan homeland which is occupied by the Chinese government. They are not able to return home for fear of political persecution.

The English program here is called "English for Dharma Purposes" and its purpose is to build the language capacity of the monks so they can teach and preserve and the wisdom of Tibetan Buddhism around the world. Many of the monks here hold advanced spiritual degrees from Tibetan monasteries.

The printing press at Ratna Ling is essential for the work in India. The monks here proofread Tibetan texts to ensure their accuracy before the manuscripts are assembled and printed at Ratna Ling. The finished books are shipped to India, where they are distributed without charge to the exiled Tibetan community and other Buddhist practitioners. Thousands of books are given away every year and are greatly valued by recipients. It is safe to say that the work at Ratna Ling contributes in a highly significant way to the maintenance and further development of Tibet's religious and cultural heritage.

By supporting Ratna Ling's publishing efforts, Sonoma County is itself acquiring merit for this important work. It is my hope that you will approve Ratna Ling's Master Use Permit application.

Sincerely,

A handwritten signature in cursive script that reads "Davis Baltz".

Davis Baltz

dbaltz@igc.org

## Cynthia Demidovich

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**From:** Beatriz Kessler Fleck [beakfleck@yahoo.com.br]  
**Sent:** Thursday, March 20, 2014 8:00 AM  
**To:** Efren Carrillo; Susan Gorin; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com

Dear Madam ,Dear sir

I am writing this email in support Ratna Ling Retreat Center.

I am from Brazil and I use to go every year to Sonoma for retreats in Ratna Ling ,when I have the precious opportunity to work with the tibetan texts.Sonoma is a peaceful and beatiful place , special to spiritual practices and to visit.

The work in the sacred text is very ,very important in my own spiritual study and practice ,bringing me space and presence so necessairie to Dharma learning.

Please ,this work is very precious to me , to Dharma, to world peace!!!!

Thank you

Sincerely yours

Beatriz Kessler Fleck

Porto Alegre-Brazil 20 march 2014

## Cynthia Demidovich

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**From:** Alejandra [fernandezmalejandra@gmail.com]  
**Sent:** Thursday, March 20, 2014 9:46 AM  
**To:** Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** working practice in Ratna Ling Please!

Dear Sir

I am writing to let you know I regularly come to the Ratna Ling Retreat Center. I sometimes come more than once a year, and I always deeply appreciate the time I spend there.

I come from Argentina, and aside from the Kum Nye meditative yoga and traditional Dharma teachings, I above all much value the time we dedicate to practical work.

Every day during the retreats, we address the Tibetan books project and help with the bookbinding of Tibetan books. We sometimes arrange the books, or color their edges, or help the bookbinder fill her pockets.

No words can express how important this practical work has been to me. It is like meditation, and I am committed to old texts. It is also most valuable because in class we do a lot of work with our body and mind, but not with our hands, so during our practical work I can actually touch the sacred texts and help in the next phase of the process. It feels as if I were embodying the books I am helping to bind. This is the time when we put into practice our awareness at work, it is good for my health and I learn to care for my surroundings, including materials, caring for my team mates and the area that protects us (internal and external). I learn and experience that preparing an adequate environment looks after me and I work in harmony.

Of course, I also know the destination of the books, they are sent to India and distributed for free to Tibetan monks and nuns in exile. I know of persons who have personally attended annual deliveries and told me how thankful nuns, monks and lay persons are when they receive these old texts.

Please take my word for it when I say that I very much appreciate this work with the Tibetan texts, and I consider it an integral part of my Dharma learning and it also contributes to making my life more spiritual.

Yours sincerely,

Alejandra Fernandez

## Cynthia Demidovich

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**From:** Beatriz Kessler Fleck [beakfleck@yahoo.com.br]  
**Sent:** Thursday, March 20, 2014 8:39 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Dear Madam ,Dear sir

I am writing this email in support Ratna Ling Retreat Center.

I am from Brazil and I use to go every year to Sonoma for retreats in Ratna Ling ,when I have the precious opportunity to work with the tibetan texts.Sonoma is a peaceful and beatiful place , special to spiritual practices and to visit.

The work in the sacred text is very ,very important in my own spiritual study and practice ,bringing me space and presence so necessairie to Dharma learning.

Please ,this work is very precious to me , to Dharma, to world peace!!!!

Thank you

Sincerely yours

Beatriz Kessler Fleck

Porto Alegre-Brazil 20 march 2014

## Cynthia Demidovich

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**From:** Nyingma Institute [nyingma-institute@nyingma.org]  
**Sent:** Thursday, March 20, 2014 10:02 AM  
**To:** Susan Gorin; David.Rabbit@sonoma-county.org; Shirlee Zane; Mike McGuire; Efren.Carillo@sonoma-county.org  
**Cc:** Cynthia Demidovich  
**Subject:** Ratna Ling Buddhist Retreat Center

Dear members of the Board of Supervisors,

I am writing you regarding the application for the Master Use Permit by the Ratna Ling Buddhist Retreat Center.

I have been a student of Buddhism for over fourteen years, during which time I have been on a variety of retreats at Ratna Ling. Withdrawing from the hectic pace of contemporary life for contemplation and instruction are an integral part of my study. The beauty and quiet atmosphere of the location are very conducive for reflection and personal development.

In addition to the opportunity to go on retreat at Ratna Ling, I also feel extremely fortunate and in awe to have such easy access to ancient Buddhist texts and commentaries, translated by the Tibetan Buddhist community, and printed at the press at Ratna Ling. These texts are a crucial part of my daily contemplation.

It is indeed a gift to the west and other parts of the world that these significant ancient texts have been so readily made available.

Considering the destruction of monasteries and libraries since the invasion by China, it is of particular importance that as much of the material still accessible be retrieved and processed for the benefit of humanity.

It is very fortunate that the Tibetan Buddhist community at Ratna Ling has been so successful in finding, translating, printing and distributing Dharma texts. It is critical that this work be continued, for those interested in the Buddhist religion now, and for future generations.

While on retreats at Ratna Ling retreatants are given an opportunity to help at the press with the production of the various texts. Work study is an important element of the religious practice, and to be part of the meaningful endeavor of distributing the Buddhist teachings of wisdom and compassion is gratifying and quite relevant to the practitioner's pursuit.

I respectfully implore you to permit the continuation of the printing of these ancient religious materials, which can be considered a part of the world heritage.

Sincerely,

Annuschka Deb

## Cynthia Demidovich

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**From:** jeremy kochan [jkochan80@hotmail.com]  
**Sent:** Thursday, March 20, 2014 11:32 AM  
**To:** genegretchen@yahoo.com; Susan Gorin; Shirlee Zane; David Rabbitt; Efren Carrillo; Cynthia Demidovich  
**Subject:** Ratna Ling

To Whom it may concern,

My name is Jeremiah Kochan and I have been a volunteer at Ratna Ling for 20 months. I have enjoyed my stay in the Ratna Ling community. I joined this community to learn and be a part of something greater than myself. I feel I have found that here. In addition, I have found that the peaceful environment that encompasses this community has brought a relaxation and stillness to my life. I am moving on in April but hope to this beautiful community flourish well into the future.

Jeremiah Kochan  
Head Chef  
Ratna Ling



## Cynthia Demidovich

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**From:** Leigh [mercurymary108@gmail.com]  
**Sent:** Thursday, March 20, 2014 11:43 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** In support of Ratna Ling

To the County of Sonoma Board of Supervisors

I was a volunteer at Ratna Ling Retreat Center in 2009. I helped to make the Tibetan Buddhist sacred texts which are shipped to Asia each year and given away for free to ordained Buddhist practitioners and lay people from all over Asia, and to schools, monasteries, nunneries and libraries in Asia. I found it rewarding to be able to work on a project which benefits so many people in the areas of literacy, cultural preservation and spiritual development. Additionally in our day-to-day volunteer work, our daily practice was to use the work as a way to benefit ourselves by engaging in practices of mindfulness, relaxation yoga, and inner reflection. I wish to express my support for the continuation of this unique and internationally recognized volunteer project.

Thank you.

Leigh Deering

## Cynthia Demidovich

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**From:** storm reni [renistorm@yahoo.com]  
**Sent:** Thursday, March 20, 2014 11:50 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** genegretchen@yahoo.com; Cynthia Demidovich  
**Subject:** Sonoma County's Board of Zoning Adjustments approval; hearing 4/8/14

Respectfully to each county supervisor:

In talking with a local resident and others here in Sonoma County, I just recently heard about the Tuesday April 8th hearing regarding an appeal for a Master Use Permit Application for Ratna Ling Buddhist Retreat Center.

I was stunned to discover that the Board of Zoning Review's 2012 *unanimous* approval; a result of rigorous study and review by the county, is now under appeal.

How is it that this august body of professionals in the span of many years; deeming on and for the record the Ratna Ling application(s) and 2012 permit complies with due diligence in all county requirements, is up for question?

I invite you to consider in a fluctuating economy, people are often compelled to move into homes then out, grow old, pass on, or sell rather than bequeath, which changes the flavor of any given neighborhood, vicinity, or road. That is the *variable*.

How can this permit issue be finally put to rest in favor of the county's data, studies, reviews, 2011/12 determinations already on record, while being fiscally/ financially responsible by not dragging the issue out for another ten years?

I personally have visited the Buddhist retreat center in 2012 to discover it's well maintained grounds, serene atmosphere, environmentally sensitive, respectful milieu- to be an asset to the area.

I was grateful for the opportunity to witness Ratna Ling Center's attitude of mindfulness, cheerfulness, reverence, and generosity expressed as community minded cooperation the RL staff cultivated. As a guest, I was never aware of any local issues.

To the contrary, I stepped back in awe of the global respect they incurred; realizing that the humble but efficient printing process in their building was the one and only spot that a rare preservation of the Buddhist prayer texts happens in all the world!

I felt hope for an unfortunate race of displaced Tibetans, who like Hindus are born to both a race and religion cultivated in/by their sacred practices, texts, and traditions. While over in that region I experienced them to be sweet, stoic, and enjoyable people.

The work Ratna Ling Center does ultimately translates as preservation of a highly respected religious culture that actively benefits humanity and the world at large. This happens in Sonoma County!

In their practices, living as true masters of 'walking their talk', I witnessed for myself the staff leave no footprints. I saw what they do is unpretentious, quiet, diligent, respectful, and productive within the context of the work needed to be done.

I am a world traveler. As such, I appreciate that your county professionals have voted **5-0** to make this all possible. In step with that I give Ratna Ling Retreat Center 5 stars myself.

Sincerely,  
J Reni Storm, RN, MA, legal nurse consultant (retired)  
c/o P.O. Box 2153  
Sonoma CA 95476

without prejudice.

## Cynthia Demidovich

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**From:** Daniel Wright [danielwright24@yahoo.com]  
**Sent:** Thursday, March 20, 2014 12:03 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** In Support of Ratna Ling

Hello,

I volunteered at Ratna Ling off and on for a few years and found it to be a great place to be. I was able to tap into my spirituality and work alongside those with similar interests. And it felt good to be supporting the advancement of Buddhist text preservation across the world. I hope it can continue. Thank you!

Daniel Wright

Dr. med. Ellen Simon  
Po Box 1135  
Gualala, Ca 95445

March 20, 2014

Dear Mr. Carrillo –

I'm writing this letter in support of the Ratna Ling Retreat Center.

I know the Nyingma Community, of which Ratna Ling is a part, in a pretty intimate way as I have been a residential member for over 20 years.

I am familiar with the ongoing printing project and its invaluable benefit the exiled Tibetan community, Buddhists worldwide, and for all humanity. The work that is going on at Ratna Ling cannot be measured and judged by everyday standards. It is beyond the regular understanding.

The local community is benefitting as well on a very practical level. I know about many big and generous gifts and invitations they have been receiving. These donations have been greatly contributing to making it a safer and more pleasurable place. As for the burden on the environment, this is consciously kept at a tolerable low level. There are no disturbing noises and no poisons into the air from the printing operation ever. The founder of Ratna Ling is a very high level consciousness being, who is keen aware on not putting additional stress on Mother Earth.

From my perspective Ratna Ling is not only a tolerable neighbor but even a very desirable one .

I hope this letter can contribute to a friendly and accepting relationship between Ratna Ling and its close and extended neighborhood.

Sincerely,

Ellen Simon

## Cynthia Demidovich

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**From:** James Gallagher [SAINTPATRICKS89@hotmail.com]  
**Sent:** Thursday, March 20, 2014 12:39 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** A letter of support for the Ratna Ling press

Dear County of Sonoma Board of Supervisors,

My name is James Gallagher. I am writing in order to express my support for the Ratna Ling Retreat Center. My involvement at Ratna Ling began in 2007 when I volunteered there for six weeks to help print and bind a collection of Buddhist texts. This experience was extraordinarily positive. At that time, I was studying Buddhist philosophy in Berkeley, and in a way, my interest in the production of these texts paralleled my interest in Buddhism in general. I now live at another Buddhist retreat center in Sonoma called Odiyan.

I have volunteered at the Ratna Ling press numerous times since then, and I want to make one important point of support regarding the purpose of this press. The Ratna Ling press has printed collections of Buddhist texts that do not exist in their entirety anywhere else in the world. These collections were previously separated and scattered throughout Asia, as well as in museums, private collections, and universities around the world. Now, they have been compiled more completely and canonically than ever before in history, and printed all in one location. Most of what has been printed has been distributed for free throughout the entire community of Buddhists in Asia, which is the largest donation of books in history. By single handedly preserving the written tradition of Buddhism in the face of its almost complete destruction in Tibet, these activities have altered the course of this religion in the modern world. In terms of Buddhist history, I am certain that this press will be remembered, if not in name. To have such a monumental, history-making project in Sonoma county is of inestimable cultural and religious value.

My second point of support for the Ratna Ling press, and for the Ratna Ling Retreat Center in general, involves my overall positive impression of its role in the larger Sonoma community. Ratna Ling provides a supportive environment for people who are seriously interested in studying the insights of Buddhism. At the same time, it provides a way to help preserve these insights in textual form through the work of printing and binding books. This balance of physical press work with serious intellectual study creates a positive, healthy lifestyle for anybody living at or visiting Ratna Ling. Indeed, many of the retreats offered at Ratna Ling bring into Sonoma County people from all over the world. In a time when there is so much global suffering and uncertainty regarding questions that traditionally have been answered by religion, I think that such centers of balanced, serious study and preservation work are vital. Sonoma County benefits both from the popularity of this center as well as from the admirably peaceful and healthy lifestyle practiced there.

Please consider well these words

Sincerely,

James Gallagher

## Cynthia Demidovich

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**From:** Rachel [rrow149@gmail.com]  
**Sent:** Thursday, March 20, 2014 3:22 PM  
**To:** genegretchen@yahoo.com; Susan Gorin; Shirlee Zane; David Rabbitt; Efren Carrillo; Cynthia Demidovich  
**Subject:** Ratna Ling

To Whom it may concern,

My name is Rachel Rowland. I have been an on and off volunteer at Ratna Ling since January 2013. I initially joined this community to expand my understanding and appreciation of Buddhism and communal living. During my peaceful stay at Ratna Ling I have learned a great deal and have been provided ample opportunity to grow mentally and spiritually. I believe Ratna Ling provides a nurturing environment for individual development as well as an opportunity to soak in the beauty of Sonoma County. I hope to see continued growth for Ratna Ling in the future- so others may benefit from the special nature of this place as I have.

Rachel Rowland

## Cynthia Demidovich

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**From:** David French [french@mcn.org]  
**Sent:** Thursday, March 20, 2014 3:50 PM  
**To:** Susan Gorin; David.Rabbit@sonoma-county.org; Sherlee.Zane@sonoma-county.org; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** Ratna Ling Buddhist Retreat Center

Dear Supervisors,

I have lived and worked in the Fort Ross / Timber Cove area since 1975. All four of my children attended Fort Ross School. Over the years we have seen many changes to the area. Sheep have given way to cattle, vineyards have replaced ranches, logging has subsided. But the natural beauty and the sparse human population has remained unchanged.

I fully support the activities and goals of the Ratna Ling Retreat Center. It is a welcome addition to the community and its activities are completely in sync with the environment and local community values. I believe that once the planning issues are resolved, the small group in our area who are opposed to Ratna Ling will grow to appreciate its presence. Please reconfirm your approval Ratna Ling's Master Use Permit.

Regards,

David A. French  
22100 Koftinow Dr.  
Jenner Ca. 95450



## Cynthia Demidovich

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**From:** ellen stierstorfer [ellensti@yahoo.com]  
**Sent:** Thursday, March 20, 2014 4:12 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Book Production Support

March 20, 2014

To whom it may concern,

I'm from Germany, and since many years I'm volunteering for the Tibetan Sacred Book project at Ratna Ling and at Odiyan Retreat Center. I've been travelling in Asia and deeply impressed from the Buddhist culture, I decided to support it in its struggle to survive. Deeply convinced that to keep this wisdom tradition alive will be of immense benefit, not just for the Tibetans but for all of humanity, I feel very fortunate to be able to participate in this book project, which guarantees that the books are available for free to educate the next generation. Living and working in each of these places has been a rewarding experience in itself. The guidance given for how to work mindfully, how to relax and how to evaluate my own experience skillfully has increased the understanding of myself and the understanding of the human condition. I like to express my support for this project and my wish that it can continue far into the future.

Kind regards,  
Ellen Stierstorfer  
[ellensti@yahoo.com](mailto:ellensti@yahoo.com)



**LIU-JOHNSTON BUILDERS**

Ms Cynthia Demidovich, Project Planner  
Permit and Resource Management Department  
County of Sonoma  
2550 Ventura Avenue  
Santa Rosa, CA 95403

March 20<sup>th</sup>, 2014

Dear Ms Demidovich,

My wife and I have been on retreats and several day trips to Ratna Ling. We have participated in the work at the religious press. We are in full support of the activities of Ratna Ling. The work of Dharm Press is so significant and benefits millions of practitioners around the world. The published works generated at Ratna Ling have had a huge impact on preserving the Tibetan Buddhist sacred texts and thereby the Tibetan cultural. The sacred texts produced at the press at Ratna Ling, have been distributed Bodh Gaya, India. These same sacred texts were given out, at no cost, to thousands of Tibetan monks, nuns and lay people at the annual World Peace Ceremony. This work is of international humanitarian significance, crucial to preserving the culture of the entire Tibetan people.

Ratna Ling is a jewel in the Sonoma County area. The folks that live and work there strive to create peaceful environmental harmony. We always see wild turkeys, deer, quail and all forms of the native wildlife living undisturbed among the Redwoods. There is a sense of tranquility we experience when we are at Ratna Ling.

We sincerely hope that Ratna Ling and Dharma Press continue their operations uninterrupted. Their contribution is global and is dedicated to benefit all.

Sincerely,

Colin Johnston

## Cynthia Demidovich

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**From:** Blaire Hysjulien [blaire.hysjulien@gmail.com]  
**Sent:** Thursday, March 20, 2014 5:08 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Buddhist Retreat Center

Dear Supervisors,

I am writing in support of the Ratna Ling Buddhist Retreat Center and its activities. I came to Ratna Ling in the fall of 2007 to live, work, study, and practice Buddhism. My experience at the center was life changing and unbelievably precious. The residents there exemplified a completely different lifestyle than what I was accustomed to, one that was dedicated to the happiness of all beings and to restoring the precious treasure of the Dharma on our earth. Ratna Ling is a sacred space and it is there that I found true peace and joy in my heart. I also witnessed how many other volunteers and retreatants were transformed by the beauty and tranquility of the center. I worked in the bindery at Ratna Ling for about a year and although I have moved on to other adventures, it remains the most special period of my life. It is where I connected in a profound way to the Buddhist teachings and I am so grateful for that opportunity.

Thank you for your time and careful consideration.

Warmly,  
Blaire Hysjulien

## Cynthia Demidovich

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**From:** Nancy Hernandez [nancy@wix.com]  
**Sent:** Thursday, March 20, 2014 5:30 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** In support of Ratna Ling

Hello,

My first experience with Ratna Ling was this past winter with my team. I do not get to experience the outdoors or Sonoma for that matter. I was amazed at the work they were doing at Ratna and what they are doing for the community. Please allow the expansion of the printing press and Ratna Ling. This would benefit the community. During my weekend stay there we did not encounter any noise pollution. I would love to be able to visit this place again in the future.

Thank you

--



**Nancy H.**

Product Specialist Team Lead



## Cynthia Demidovich

---

**From:** Ruth Ann Liu-Johnston [liu-john@pacbell.net]  
**Sent:** Thursday, March 20, 2014 6:16 PM  
**To:** David.Rabitt@sonoma-county.org  
**Cc:** Cynthia Demidovich  
**Subject:** Fw: Please support Use permit at Ratna Ling

I am writing to urge you to support and approve the use permit for Dharma Press at Ratna Ling on a permanent basis.

The activities at Ratna Ling are so beneficial on many levels: First Ratna Ling offers a beautiful and peaceful sanctuary retreat. The publications from the press offers repose and wisdom as antitodes to our crazy hectic lives. Dharma Press produce sacred texts that benefits monks and nuns throughout Asia and the world. Dharma Press' activities are sacred and compassionately serving humanity.

Being a printing professional, I have toured Dharma Press at Ratna Ling. I am most impress with this printing facility, it's cleanliness, organization and consideration to the environment surpasses any printing facility I have ever encounter. It is amazing to encounter wildlife and birds on the premises in this tranquil environment. Dharma Press is environmentally and ecologically superb. If no one told me about the press, I would not even know it's there.

The work at Dharma Press is so important and impacts so many, not only in our community, but globally and for generations to come. I strongly urge you to not hinder, but with every effort you can muster, support this vitally important humanitarian venture.

Thank you,

Ruth Ann Liu-Johnston

LIU-JOHNSTON DESIGN  
One Diaz Place  
Oakland, CA 94611

T: 510.339.2914  
F: 510.339.0915  
C: 510.326.9031  
E: [liu-john@pacbell.net](mailto:liu-john@pacbell.net)

## Cynthia Demidovich

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**From:** Alice Lemon [alice.n.lemon@gmail.com]  
**Sent:** Thursday, March 20, 2014 6:40 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** Master Use Permit application for Ratna Ling Buddhist Retreat Center

Dear Sirs and Mesdames;

I am writing today in support of the Ratna Ling Buddhist Retreat Center. Over many years I have been associated with the Tibetan Aid Project, the organization responsible for the distribution, to Tibetan refugees, of the texts produced by the press at Ratna Ling. As a volunteer with this organization I have traveled to Bodh Gaya, India to aid in the distribution of the texts.

After the invasion of Tibet in 1959, the majority of monasteries and places of study in that country were destroyed. With them went many of the precious ancient Buddhist texts. Some copies did make it out of Tibet, however, carried over the Himalayas by escaping refugees. We will never know the wisdom that was contained in the lost texts, but we can play a part in preserving those remaining.

The Head Lama of the Tibetan Nyingma Meditation Center has devoted much of his life to ensuring that the destruction of the knowledge that occurred with the invasion of Tibet can never happen again. He has, with the aid of many volunteers, collected as many remaining texts as possible, reprinted them in large quantities, and distributed them widely, free of charge, to Tibetan speaking individuals. I have been told by lamas in Nepal that this project has impacted virtually every monastery and school in the entire Himalayan region. These books will guarantee the survival of this subtle wisdom, and are also playing a part in the preserving the Tibetan language. It is quite hopeful that such a project is succeeding, that texts that were in danger of being lost in one area of the world can be reprinted in another country and reintroduced to the source.

The volunteers who have worked on the printing of the books also receive much benefit. Their well-meaning labor aids in the development of an other-centered mind, and this is one of the goals of Buddhist practice. Their stewardship of the natural elements of the property at Ratna Ling is also of benefit to all.

It is my hope that you will approve the Master Use Permit Application for Ratna Ling.

Many thanks,  
Alice Lemon

## Cynthia Demidovich

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**From:** Cristina Bustamante [cristinabusta@gmail.com]  
**Sent:** Thursday, March 20, 2014 7:17 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support of Ratnaling

Dear sirs,

I am from Brazil, and a Buddhist practitioner.

I am writing this email is to let you know that I come regularly to the Ratna Ling Retreat Center, and I have always greatly appreciated my time there. It is a peaceful and beautiful environment.

The Retreat at Ratna Ling is a wonderful, spiritual experience.

Working on text project is an important part of retreat experience. I feel fortunate to be to be a part of it

Each day we go to the Tibetan Text Project and help with the binding of Tibetan Books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thankas.

I cannot express in words how important for me this work practice time has been. It is like meditation, and I am engaged with ancient texts.

After the retreat, I used to visit Sonoma County which I always enjoy very much.

Please hear me when I say that this work with the Tibetan texts is very precious to me, and it is a necessary part of my path as a Buddhist practitioner.

I am asking you to please support Ratna Ling's application, so I can continue coming to Ratna Ling for retreat and enjoy the beauty of Sonoma County.

I thank all the supervisors for your consideration.

Sincerely yours,

Cristina Bustamante

Rua das Laranjeiras 356, apto 702

Rio de Janeiro - RJ - Brazil





The message  
and the music

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March 19, 2014

707.575.5791

MelissaPhillippe.com

Dear Sonoma County Board of Supervisors,

I am writing on behalf of Ratna Ling. I simply love the place, and am writing in support of their presence in Sonoma County, and the work they do in the world.

In the past five years, I have been in school, acquiring my MA in Consciousness Studies, and being trained as a minister. In the process, I have attended many retreat facilities, but none that I appreciate as much as Ratna Ling.

The environment, both physical and energetic, is one of peace and restfulness. The food they serve is delicious. The buildings are gorgeous. And the staff are kind and beautiful people.

I appreciate the work that Ratna Ling is doing, transcribing and maintaining sacred text that would otherwise be lost to English-speaking peoples. I am grateful for their presence in Sonoma County as a beautiful retreat location. I personally take advantage of their presence here, visiting as often as I am able. And I know that they are a draw to others visiting Sonoma County for such a beautiful, peaceful place for respite.

I am writing on behalf of myself, and others who seek a peaceful resting place, as well as those of us who honor the availability of sacred writings in this modern world. Please support Ratna Ling's application.

Thank you so much for all that you do, and for considering this request.

All the best to you in all that you do. Very sincerely yours,

A handwritten signature in black ink, appearing to read 'Melissa Phillippe', with a long horizontal line underneath it.

Melissa Phillippe

## Cynthia Demidovich

---

**From:** gocu102@hotmail.com on behalf of Erik Castro [kastro1@ufl.edu]  
**Sent:** Thursday, March 20, 2014 8:43 PM  
**To:** Susan Gorin; David Rabbitt; Mike McGuire; Efren Carrillo; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Regarding Ratna Ling Affairs

To the County of Sonoma Board of Supervisors and to whom it may concern,

As a one-time book binding volunteer at Ratna Ling Retreat Center, I would like to thank you for having supported such a meaningful organization thus far. The work being conducted at Ratna Ling is most certainly benefiting countless people. The teachings of Buddhist meditation master Tarthang Tulku are openly available and flourishing in the rural areas of Sonoma County for retreatants and volunteer staff to participate in. Likewise, the spiritual books constructed at the on-site bindery are generously shipped and donated to many Buddhist practitioners in Asia every year. I rejoice that such inspiring work is being conducted at Ratna Ling Retreat Center. I wish the spiritual teachings of the Buddha may continue without obstruction.

Thank you for your time,  
Erik Marcelo Castro

## Cynthia Demidovich

---

**From:** tiger [alex\_kritz@comcast.net]  
**Sent:** Thursday, March 20, 2014 9:40 PM  
**To:** Susan Gorin; David.Rabbit@sonoma-county.org; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** Ratna Ling

Dear Supervisors

I am writing to you in support of Ratna Ling retreat center and Press. Though I do not live in the immediate community I do live in the nearby area and have had the good fortune to visit the center and participate in several residential retreats there over the past several years. I have found the place and the people to be wonderful. The retreats were sponsored by several local physicians and were treasured by me. The center itself has a number of beautiful structures and the land is tended with great care and concern for the local environment. It is a gem in the countryside.

While there I also had the opportunity to tour the press that publishes Tibetan holy books. A modest structure that was staffed by devoted and hard working volunteers doing important and much needed work. As you may know Tibet and Tibetan culture are under siege by the Chinese and the printing and distribution of the books by the Ratna Ling Center is very crucial to preserving the sacred heritage. I find it a great comfort and honor to know that such internationally important work is being done in my area.

My feeling is that it is a great privilege that Sonoma County hosts such a facility and I believe that it brings to us a wide range of not only local but national and international visitors and repute. So, I very much hope that the Board of Supervisors votes to approve the ongoing work of this wonderful center and community and permits the Press on the premises to continue to do their important and necessary work.

Respectfully,

Alex Kritz

17835 Old Monte Rio Rd  
Guerneville, CA 95446

## Cynthia Demidovich

---

**From:** Estudiomarek [estudiomarek@gmail.com]  
**Sent:** Thursday, March 20, 2014 9:52 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Apreciacion acerca de Retiros en Ratna Ling

Estimada Señora / Estimado Señor ,

Este email es para hacerle saber que viajo regularmente al Centro de Retiros Ratna Ling. A veces lo hago más de una vez al año, y siempre aprecio mucho mi tiempo allí.

Yo soy de Argentina, y además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, valoro sobre todo nuestro tiempo de práctica de trabajo .

Cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros tibetanos. A veces ordenamos los libros o coloreamos sus bordes o ayudamos a llenar los bolsillos de la encuadernadora o los empacamos en cajas.

No puedo expresar con palabras lo importante para mí ha sido esta práctica de trabajo. Es como meditación, y estoy comprometido con los textos antiguos. También es muy valiosa porque en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso. Es como que estoy corporizando los libros que estoy ayudando a encuadernar.

Por supuesto, también sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos.

Por favor, ten en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muypreciado para mí, y para mí es una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

Atentamente,

Manuel Marek

Argentina

**Cynthia Demidovich**

---

**From:** tarthang odso [tarthangodso21@gmail.com]  
**Sent:** Friday, March 21, 2014 12:40 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Re: tttt

Dear Sonoma County Supervisors,

My name is Odso. I am a monk and a Tibetan refugee. I live in Sarnath International Nyingma Institute. My job is proof reading Tibetan text books.

For over 20 years we receive the Dharma Publishing books. Dharma Publishing makes the books at Ratna Ling. These books protect the Tibetan Religion. We study from the great Dharma Publishing books, the books are very important for us because we learn from the books. We really continue to need Dharma publishing. Dharma publishing gives books to Tibetan refugees and other Asian Buddhist countries for free distribution.

Please support Dharma publishing.

Thanks Sonoma County,  
From Odso

## Cynthia Demidovich

---

**From:** Catelijne van Oss [catelijnevanoss@kpnmail.nl]  
**Sent:** Friday, March 21, 2014 3:33 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support for Ratna Ling

Dear supervisors,

In 2008 I visited the Ratna Ling Retreat Center in Sonoma County for the first time. It was a wonderful experience. I was struck by the beauty and peace of this place. At Ratna Ling, I met many people from all over the world who came to this treasured place. The people came from very different countries such as New Zealand, Germany, Argentina, Brazil, Italy and many other places.

I work as a professional fundraiser for a Christian organization for people with disabilities. In my work I experience every day the results of the retreat. I continue to do the mindfulness practice I was taught at Ratna Ling. This helps tremendously in my work and daily life. I can handle stress with much more ease. And at the same time I work in a much more effective manner. I can feel that my work has meaning for the handicapped people I work for.

Retreats at Ratna Ling are not only about meditation. It is the work practice that is the pivotal element. It helps to be mindful in daily life. Not only on the mediation cushion, but also while working. In my point of view, the essential part of the retreats at Ratna Ling is the work practice on the text project. Working on the spiritual texts is a very strong support for deepening my meditation practice. If the text project would not be carried out at Ratna Ling, this would be a great loss for all the people who come to the retreats.

As a mother of a daughter of 4 years old, I hope to visit Ratna Ling many times more in the future, with my husband and child. This is the reason why I am requesting you to support Ratna Ling's application. So that I and many people can continue to come to Sonoma County in the future.

Thank you very much for your consideration,

Yours sincerely,

Cateljine van Oss  
Utrecht, the Netherlands  
+31622106177

## Cynthia Demidovich

---

**From:** Marianne [m.moerbeek2@chello.nl]  
**Sent:** Friday, March 21, 2014 5:52 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna-Ling

Dear Super-visors,

It was already some years ago that I was in Ratna Ling to do Voluntary work in the Press. That was a remarkable experience for me, the balanced way of organisation, but also the natural gardenarchitecture, the buildings. The work was about making, printing the books for the threatened Budhistic Culture in Asia. That work helped me a lot to feel a kind of responsibility for giving a little part of my life for the world, that gives a good reason to continue the development of my own being.  
And for that we/I also have and need the retreats in Ratna Ling.

I have still my teaching job in Holland, but this experience in Ratna Ling gave me a nice intention that I will be back to do a year of voluntary work and retreats of course. The place is special because of having it all, the practice and the teachings, the wide natural landscape, the silence and the meeting with like-minded people from all over the world.

For me and all the other people I know that have been at least one time in Ratna Ling, we hope and wish that this possibility to grow our knowledge by teachings and the practice, will continue for ever, for all the people who will be there.

Thanks for reading my request, sincerely Marianne Moerbeek  
Teacher in school for special secondary education  
Amsterdam  
The Netherlands



## Cynthia Demidovich

---

**From:** Beatriz Berneman [bernemanb@yahoo.com.ar]  
**Sent:** Friday, March 21, 2014 5:52 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane; Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** A los señores vecinos de Rat Naling

Yo soy de Argentina, y además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, valoro sobre todo nuestro tiempo de práctica de trabajo .

Cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros tibetanos. A veces ordenamos los libros o coloreamos sus bordes o ayudamos a llenar los bolsillos de la encuadernadora.

No puedo expresar con palabras lo importante para mí ha sido esta práctica de trabajo. Es como meditación, y estoy comprometido con los textos antiguos. También es muy valiosa porque en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso. Es como que estoy corporizando los libros que estoy ayudando a encuadernar.

Por supuesto, también sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos.

Por favor, ten en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muy preciado para mí, y para mí es una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

Atentamente,

Betty Berneman

## Cynthia Demidovich

---

**From:** Alejandra Pistorio [alepistorio@gmail.com]  
**Sent:** Friday, March 21, 2014 7:21 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Centro de Retiros Ratna Ling

Estimados,

Este email es para hacerle saber que vengo regularmente al Centro de Retiros Ratna Ling. A veces vengo más de una vez al año, y siempre aprecio mucho mi tiempo allí.

Yo soy de Argentina, y además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, valoro sobre todo nuestro tiempo de práctica de trabajo .

Cada día durante los retiros, vamos al proyecto de textos tibetanos y ayudamos con la encuadernación de libros tibetanos. A veces ordenamos los libros o coloreamos sus bordes o ayudamos a llenar los bolsillos de la encuadernadora.

No puedo expresar con palabras lo importante para mí ha sido esta práctica de trabajo. Es como meditación, y estoy comprometido con los textos antiguos. También es muy valiosa porque en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso. Es como que estoy corporizando los libros que estoy ayudando a encuadernar.

Por supuesto, también sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos.

Por favor, ten en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muy preciado para mí, y para mí es una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

Atentamente,

Alejandra Pistorio

## Cynthia Demidovich

---

**From:** Karen Monesi [karen\_monesi@hotmail.com]  
**Sent:** Friday, March 21, 2014 7:55 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; efen.carrillo@sonoma-county.org; Cynthia Demidovich  
**Subject:** Letter in support of Ratna Ling

To: County of Sonoma Board of Supervisors  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

Attn.:

Supervisor Susan Gorin - [Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org)  
Supervisor David Rabbitt - [David.Rabbitt@sonoma-county.org](mailto:David.Rabbitt@sonoma-county.org)  
Supervisor Shirlee Zane - [Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org)  
Supervisor Mike McGuire - [MikeMcguire@sonoma-county.org](mailto:MikeMcguire@sonoma-county.org)  
Supervisor Efren Carrillo - [Efren.Carrillo@sonoma-county.org](mailto:Efren.Carrillo@sonoma-county.org)

And to:

County of Sonoma Permit & Resource Management Department  
2550 Ventura Avenue  
Santa Rosa, Ca 95403

Attn.:

Ms. Cynthia Demidovich, Planner - [Cynthia.Demidovich@sonoma-county.org](mailto:Cynthia.Demidovich@sonoma-county.org)

From: Karen Monesi  
[Karen\\_Monesi@hotmail.com](mailto:Karen_Monesi@hotmail.com)  
Phone nr: 55-11-95244-9544  
São Paulo, Brazil

São Paulo, March 21st, 2014

Dear Sirs,

I write this letter in support of Ratna Ling and all the important work that is accomplished in this beautiful property.

I have been to Ratna Ling for the first time back in 2007 – I stayed there for 5 weeks that have a very special place in my memory. It is a peaceful and lovely place, very well taken care of. The nature is preserved and respected, to the point that some wild animals walk around fearless. Literally, a breath of (very) fresh air...

The work on the Sacred Texts crossed my life at random; I went to Ratna Ling for a retreat, ended up helping out with the books, fell in love with this work and it opened new and distant horizons – a couple of months later I moved to Asia where I spent 3 years working in India and Nepal managing related projects. When in Asia one can start getting the dimension of the importance of these Sacred Texts – something that can be better understood when witnessed than when described with words.

Needless to say Ratna Ling means a lot to me. After my stay in Asia, I have been there twice and will go again to take part on a 2 weeks retreat this forthcoming July. In the meantime, I recommended the place to some friends and those who had the opportunity to go there – one of them even worked as a volunteer for 3 months.

As a foreigner who has a vast experience abroad, having lived for at 6 months in places such as France, The Netherlands, India, Nepal and even in the United States, I can say that Sonoma county is one of the most beautiful places I have ever visited in my life. The outskirts of Ratna Ling are beautiful, clean, organized with their small beaches, national parks, little charming villages. A cute and

silent *locus* that I will always recommend and go back to – a place with qualities we treasure and are becoming more and more rare nowadays.

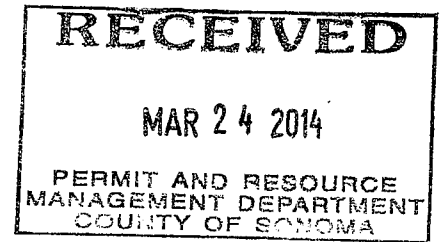
Thank you very much for your consideration on this matter. Should you have any questions, please feel free to contact me any time.

Sincerely yours,

Karen Monesi

March 18, 2014

Dear Supervisors,



I support Ratna Ling. I am a Sea View ridge resident and a supporter of Ratna Ling. They are a good neighbor and do not bother me or my neighbors. I am writing this anonymously because a vocal leader of the opposition to Ratna Ling is our Fire Chief.

Please don't listen to the few voices opposing this project.

Please support Ratna Ling.

March 16, 2014

Dear Supervisor,

For the past six years my husband and I have been spending 2 weeks every month from March to December on personal retreat at Ratna Ling Retreat Center. Volunteering in the religious press is the focus of our retreats. Both of us feel it's the most beneficial thing we could do for ourselves and humanity.

It's amazing how supportive the volunteers and the retreatants are of one another. It is like a gathering of like minds coming together at this special spiritual community, Ratna Ling. Many are deeply touched and share their knowledge and experiences with family and friends.

This community began with the founder Tarthang Tulku's vision to preserve the Tibetan culture for the coming generations. After the Chinese invaded Tibet, they burned Tibetans' books which were Buddhist because the culture is so deeply Buddhist. It was not uncommon for those fleeing to take sacred texts instead of food for the long journey to India or Nepal.

These Tibetan books are now published at Ratna Ling. They are distributed once a year at a gathering in northern India. They are given to monasteries and lay people for free, so the younger generations know and understand their rich heritage.

These books are now also being published in English, German and other languages. Tarthang Tulku's vision is that we should all get along in peace, love and harmony.

Please support Ratna Ling's application for its modest expansion, which will help it continue its wonderful work.

Thank you for your consideration,



Sharon Muneno

2723 Ashby Pl  
Berkeley, Ca

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1563 Solano Avenue, Box 215  
Berkeley, California 94707

March 19, 2014

Members of the Board of Supervisors  
County of Sonoma  
575 Administration Drive, Room 100A  
Santa Rosa, CA 94503

Re: Letter of Support for Ratna Ling Retreat Center

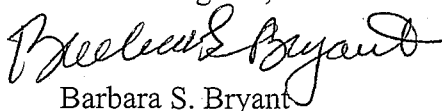
Dear Honorable Members of the Board:

I am writing to support the Ratna Ling Retreat Center and the important work it does reproducing sacred texts for free distribution to Tibetan refugees. This work is very important, not only to the Tibetan refugees, but also to the hundreds of Ratna Ling retreatants who volunteer time at the Ratna Ling printing facility as part of their retreat experience. Sonoma County is fortunate to host this wonderful retreat center and all its good works, and should support it at every opportunity.

I have personally attended a number of retreats at Ratna Ling over the last four years, which included working in the printing facility. This work was very meaningful to me as a way to deepen my mindfulness practice, help preserve the important sacred texts, and put compassion into action for the Tibetan refugees. (Also, I have been continually impressed with how Ratna Ling built the printing facility in a way that so well, and quietly, blends in with the grasses and trees that surround it.) Not only has this work greatly enhanced my overall retreat experience, but, to my mind, the printing work done by Ratna Ling makes it one of the most important spiritual retreat centers in the country.

I have lived in Berkeley all my life, and have visited Sonoma County regularly for over 40 years, to enjoy its beautiful countryside, hiking, and ocean access, as well as its creative and forward thinking communities. When I first came to Ratna Ling, I was struck by what a perfect pairing it was for Ratna Ling to be in the Sonoma County mountains, and I still feel that way. I strongly urge you to continue your support of Ratna Ling and the important printing work it is doing.

Warm Regards,

  
Barbara S. Bryant

cc: Ms. Cynthia Demidovich, Project Planner ✓

## Cynthia Demidovich

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**From:** cindy@mellowmommy.com  
**Sent:** Tuesday, March 25, 2014 10:16 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Hello,

I was a Cazadero resident from 2006 - 2012 and have a strong love for Ratna Ling . It has been a positive influence for my family. In addition to allowing me to offer my massage services to their guests , they've supported my journey to help others . I created a class teaching simple relaxation skills for couples/ friends/ family ... helping with daily stress reduction and inspiring strong relationship connections with family. They believed in my program and gave me a chance to share it with others , for that I am forever grateful. It's a special place , so beautiful and peaceful allowing people to truly let go and disconnect from all the distractions of the busy world we live in. Every guest I meet has a "transformational" experience , feeling utterly RELAXED , enlightened and HAPPY! They are so grateful that a place like Ratna Ling exists right here in Sonoma County , hidden away , a precious JEWEL !!! The programs have "substance" , and offer guests true inspiration for living well and happy ... something EVERYONE needs!

Every time I'm on the grounds , I feel a strong spiritual connection and a sense of CALM , I'm so happy for Ratan Ling and hope they can continue to host spiritual retreats for many years to come.

Kind Regards,  
Cindy Fuchs



## Cynthia Demidovich

---

**From:** Julia Rujinsky [juliarujinsky@gmail.com]  
**Sent:** Tuesday, March 25, 2014 10:32 AM  
**Subject:** Fwd: Ratna Ling

----- Mensaje reenviado -----

**De:** **Julia Rujinsky** <juliarujinsky@gmail.com>  
**Fecha:** 25 de marzo de 2014, 14:30  
**Asunto:** Ratna Ling  
**Para:** [Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org)

Estimada Señora :

Shirlee Zane

De mi mayor Consideracion:

Mi nombre es Julia Rujinsky, naci y vivo en Argentina y les escribo este email es para hacerles saber que concurro regularmente al Centro de Retiros Ratna Ling. A veces más de una vez al año, y siempre aprecio mucho mi tiempo allí.

Además de las Meditaciones de Yoga Kum Nye y de las Enseñanzas tradicionales de Dharma, valoro sobre todo nuestro tiempo de práctica de trabajo .

Cada día durante los retiros, participamos del proyecto de textos tibetanos y ayudamos con la encuadernación de libros tibetanos. A veces ordenamos los libros o coloreamos sus bordes o ayudamos a llenar los bolsillos de la encuadernadora.

No puedo expresar con palabras lo importante para mí ha sido esta práctica de trabajo. Es como meditación, y estoy comprometido con los textos antiguos. También es muy valiosa porque en el aula hacemos trabajo con el cuerpo y la mente, pero no con las manos por lo que durante la práctica de trabajo puedo de hecho tocar los materiales de los textos sagrados y los ayudo en su siguiente fase del proceso. Es como que estoy corporizando los libros que estoy ayudando a encuadernar.

Por supuesto, también sé lo que ocurre con los libros, que están siendo enviados a la India y distribuidos gratuitamente a los monjes y monjas tibetanos en exilio. Conozco personas que han ido a la distribución anual y me han transmitido lo agradecidos que están las monjas, monjes y laicos al recibir estos textos antiguos.

Por favor, les pido tengan en cuenta mis palabras cuando digo que este trabajo con los textos tibetanos es muy preciado para mí, y para mí es una parte integral para el aprendizaje del Dharma y para hacer mi vida más espiritual.

Atentamente,

Julia Rujinsky

dni:10564492

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## Cynthia Demidovich

---

**From:** Ian Howard [makinoking@gmail.com]  
**Sent:** Tuesday, March 25, 2014 11:04 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Retreat Center

To the Sonoma County Board of Supervisors,

Let me start off by saying thank you for reading this far, as I am sure you are getting a lot of letters and e-mails on this topic. It has come to my attention that the neighbors of the Ratna Ling Retreat are attempting to paint the center in a negative light, calling it an industrial printing operation, disruptive of the environment among other things. From my experiences it has been nothing but a tranquil, serene, and beautiful retreat filled with wonderful volunteers and supportive staff.

The printing press in question is all but unnoticeable, had I not been shown around I would never have even known it was there. I would say that it was impossible to hear it from further than a hundred yards away, and even then it only sounded like a big fan, turning into a small hum and fading away as you got up the hill. The press itself is a truly wonderful thing which would be a huge blow to the Tibetan Buddhist faith as well as Tibetan history were it to be shut down. Some of the texts being produced there have only a handful of copies left in the entire world before they are printed anew and redistributed across the globe.

In closing, it is my firm belief that the people trying to shut down the printing press are working from a place of complete ignorance and distrust. It is often the case that the person yelling the loudest gets heard and I hope that I can even out the field in some small way.

Thank you for listening,

Ian Howard

## Cynthia Demidovich

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**From:** "Iris Kühn" [ir.kuehn@web.de]  
**Sent:** Monday, March 24, 2014 2:14 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com; kayg\_mt@yahoo.com  
**Subject:** Why I would like to support Ratna Ling.

Dear Sirs,

it is already two or three years ago that I have been in Ratna Ling, and still the experience of it is very vivid. The forest and the whole environment are very calming for body and soul. I liked very much to spend time in the Yeshe de text project helping to collect and wrap Tibetan books.

All the buildings of Ratna Ling blend perfectly into the natural environment emanating a sense of comfort and reassurance. Even the wild animals that live peacefully on the terrain seem to sense this. This was so special to me.

Ratna Ling is for me a place of inspiration because of its nature, its buildings, even the one housing the printing business. I was very grateful for the opportunity to meet there people from many different countries and walks of life; to meditate and work together, and to share experience with each other. I very much hope that I will soon be able to come again to Sonoma and to visit Ratna Ling for another peaceful retreat.

So I really entreat you to do you very best to enable Ratna Ling and their staff to continue their good and beneficial work.

Thank you very much in advance!

Iris Kühn,  
Bonn, Germany

## Cynthia Demidovich

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**From:** mollievhughes@comcast.net  
**Sent:** Monday, March 24, 2014 3:13 PM  
**To:** Cynthia Demidovich  
**Subject:** Ratna Ling application

Dear Cynthia Demidovich, I am writing in support of Ratna Ling being able to continue the production of sacred texts of Tibet. Many of these texts were lost during the invasion of the 1950s and many libraries are in desperate need of replacements in Tibet. Over the years teachers and students have expressed great appreciation when they have been able to get a Ratna Ling copy of a lost text for their facility. During a retreat at Ratna Ling I have had the privilege of being able to work on the preparation of texts to be delivered to the Tibetans who have experienced so much loss in the last 50 years. This is such a compassionate activity, and it is all done for free. No one at Ratna Ling or any other Nyingma Institute facility derives any monetary gain from this work. I hope that this good work can continue in the peaceful and quiet atmosphere of Ratna Ling during the coming years. Thank you for the opportunity to express my concerns. Sincerely, Mollie Hughes, student, Nyingma Institute

## Cynthia Demidovich

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**From:** Andrezza [andrezza@paranoidbr.com]  
**Sent:** Monday, March 24, 2014 3:53 PM  
**To:** Efen Carrillo  
**Cc:** Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane; Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Dear Sir,

This email is to let you know that I come regularly to the Ratna Ling Retreat Center and I have always greatly appreciated my time there.

I am from Brazil and in addition to the Kum Nye, Yoga Meditations and Traditional Dharma Teachings I have valued mostly our time of work practice.

Each day we go to the Tibetan Text Project and help with the binding of Tibetan Books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thanks.

I cannot express in words how important for me this work practice time has been. It is like meditation, and I am engaged with ancient texts. It is also very valuable because in the classroom we do work with the body and mind, but not with the hands so during work practice I actually touch the sacred text materials and help them into their next phase of process. It is just like I am embodying the books that I help to bind.

Of course I also know what happens to the books, that they are being shipped to India and freely distributed to the Tibetan monks and nuns in exile. I know people who have gone to the annual distribution and they have tried to convey to me how appreciative the nuns, monks, and lay people are to receive these ancient texts.

Please hear me when I say that this work with the Tibetan texts is most precious to me, and for me it is an integral part of learning the Dharma and making my life more spiritual.

Sincerely yours,

Andrezza de Faria

## Cynthia Demidovich

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**From:** Marilia Araujo [lilaup@yahoo.com.br]  
**Sent:** Monday, March 24, 2014 4:47 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Supporting Ratna Ling

Dear Sir or Madam,

I was volunteer at the bindery, where sacred Buddhist books are made as a nonprofit activity, in order to donate books in India, during the World Peace Ceremony, that happens annually. The books are donated to nuns, monks and lay people, who have now the chance, sometimes for the first time, to have contact to some of the text that were devastated during the Chinese Cultural Revolution. The dimension of project is unique in the history and it is incredibly important for preserving a culture that is at risk of extinction. So many text were already lost and the effort that has been made to reverse this situation is very precious and indispensable. There is no time to lose.

This project helps not only those who receive the books, but also those who work on them, impelling all of us for self-reflection and development, to put us in contact to what is the most important to human beings, far beyond anything we all have ever imagined.

I also participated in of one of the retreats that happens at Ratna Ling, where the retreatants worked in the bindery everyday for 2 hours. I could clearly see how this kind of giving, focused work can make a big transformation on all of us retreatants.

With all my heart give all my support to this project.

Marilia Araujo.

## Cynthia Demidovich

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**From:** Kristine [cabin17@aol.com]  
**Sent:** Monday, March 24, 2014 5:10 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Fwd: Ratna Ling

To all respective members of The Sonoma County Board of Supervisors,

To accurately gauge Ratna Ling and the activities, work, and functions that go into it's righteous benefits, one must listen to the appeals of all those whose lives have been effected positively by Ratna Ling in the years before, now, and for what we hope, in the future as well.

I'm a 17 year old from Des Moines Iowa. I have done volunteer work there on occasion, stayed there for days at a time, and have participated in their Buddhist traditions and activities. The skills I gained have helped my high school endeavors and even my vice presidency on the Des Moines City Council Youth Advisory Board.

From where we sit in the luxury of freedom in the United States and the beautiful county of Sonoma California, it is incumbent upon us to maintain the wisdom tradition and culture that the people at the Ratna Ling Press have been working tirelessly to preserve.

-Henry Winber

Vice President, Des moines City Council Youth Advisory Board,  
National Circuit Debater in the National Forensics League,  
Theodore Roosevelt High School



## Cynthia Demidovich

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**From:** Barbara Ferris [dumeroom@gmail.com]  
**Sent:** Monday, March 24, 2014 5:36 PM  
**To:** Susan Gorin; Mike McGuire; David Rabbitt; Efren Carrillo; Shirlee Zane  
**Cc:** Cynthia Demidovich; Tennis Wick  
**Subject:** Hearing 4/8/14 re: Ratna Ling Buddhist Retreat Center

Dear Supervisors of Sonoma County:

It has come to our attention that the Sonoma County Board of Supervisors is conducting a hearing in response to an appeal challenging the new Master Plan for Ratna Ling that was approved by the County's Board of Zoning Adjustments in 2012. We are residents of southern California who have visited Ratna Ling and volunteered at the religious press there. Based on our experiences, we feel compelled to write this email urging you to deny this appeal and allow the facility to continue serving the public good.

The retreat center serves an important purpose for residents and visitors alike. It provides a much-needed facility for spiritual rejuvenation and education in harmony with the natural beauty of its rural setting. It offers the unique opportunity to participate in a community service project that preserves the sacred texts of an endangered culture at risk of extinction. Ratna Ling is internationally recognized for these efforts; nowhere else in the world is preservation like this taking place. Printing and distribution is critical to its mission and an integral part of the spiritual practice of the volunteers.

We have experienced peaceful spiritual retreats at Ratna Ling, which included volunteering at the religious press. Our experience was deepened by the knowledge that the books we helped create would be distributed to Tibetan refugee communities throughout the world.

Because we are unable to attend the hearing in person, please consider this email as a sign of our unqualified support of the important work and services that Ratna Ling provides. We urge you to accept the Master Plan for Ratna Ling.

Thank you for your consideration and your public service.

Barbara O'Neill Ferris  
Steven P. O'Neill

## Cynthia Demidovich

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**From:** Sandy McMahon [sandymcmah@yahoo.com]  
**Sent:** Monday, March 24, 2014 8:15 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Letter in Support of the Master Use Permit Application filed by Ratna Ling Retreat Center

March 24, 2014

County of Sonoma Board of Supervisors  
575 Administration Drive, Room 100 A  
Santa Rosa, CA 95403

Dear Members of the Sonoma County Board of Supervisors:

I write in support of Ratna Ling Retreat Center, located at 35755 Hauser Bridge Rd. in Cazadero, and their Master Use Permit application filed in March 2011.

Ratna Ling is a branch of the Nyingma Centers, with which I have been associated as a student and occasional volunteer for many years. I currently participate via voice link in weekly classes based in Berkeley, with a video conference link to Ratna Ling. During my years of study, I have been associated with many of the individuals who helped to build Ratna Ling, and to develop its focus on education, healing, and spirituality in everyday life. These individuals have been teachers and fellow students through whom I have been exposed to a wisdom which envisions the world as it could be.

This wisdom has been instrumental to supporting my work activities, as well as my own spiritual development. As Past-President and Owner of Executive Forums of Silicon Valley, I worked daily with CEOs who have built successful businesses employing hundreds of employees. The focus of my work was to help these CEOs create more humane and productive workplaces for their employees – workplaces which enable employees to reach their true potential. The teachings and wisdom that I have received from individuals associated with Ratna Ling was integral to this work.

Currently I am an instructor at a national tribal college in New Mexico. Here I work with Native American students who are interested in fostering economic development and improvement in both economic and social conditions within their tribes. Once again, the teachings and wisdom mentioned above continue to be essential to my work.

Ratna Ling's culture is altruistic in the best sense of the word. They are non-profit and non-commercial. They achieve wonders on limited budgets through the enthusiastic participation of volunteers. They exhibit the model of a self-actualized organization – a model which I encouraged in my for-profit clients and continue to encourage with my Indian students. In this, Ratna Ling and its associates are an inspiration to me, and I transfer the lessons that I learn from them to help others become more holistic, productive and profitable.

Ratna Ling operates the press on the property as a religious practice, linked to the spiritual purposes of retreat activity. Over the years my family and I have been involved in wrapping and boxing these texts for shipment to India for distribution at the annual Monlam Chenmo ceremony in Bodh Gaya. During this beautiful ceremony, these texts are distributed as gifts to the Tibetan monks and nuns who travel long distances to attend this important event. This text distribution is culturally important as it preserves and spreads the Dharma following destruction by the Chinese of thousands and monasteries and libraries in Tibet. This work is internationally recognized and brings positive recognition to Sonoma County.

I encourage you to approve Ratna Ling's Master Use Permit. I also encourage you to support Ratna Ling's ongoing activities which benefit so many, as well as their continued presence and growth in Cazadero.

Sincerely,

Alexander T. McMahon  
Adjunct Instructor  
Business Administration Department  
Southwestern Indian Polytechnic Institute  
Albuquerque, NM

[sandymcmah@yahoo.com](mailto:sandymcmah@yahoo.com)

## Cynthia Demidovich

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**From:** Eron Flory [eron@earthlink.net]  
**Sent:** Monday, March 24, 2014 8:29 PM  
**To:** Efren Carrillo  
**Cc:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Buddhist Retreat Center Tibetan Printing

Dear Mr. Carrillo,

I am writing this letter in support of the continued operation of the Ratna Ling Center and their printing operations. I live in The Sea Ranch, approximately 15 miles north of their operation and have driven and bicycled past the facility many times and can say that it is quite peaceful and tastefully done. The printing facility is far out of sight and I have never been able to hear the printing operation, even when stopping on my bicycle to use the drinking fountain that they have provided outside the facility for public use. In the 14 year that I have either lived at or regularly traveled to The Sea Ranch, I have seen one of their trucks on the road twice, much less than the logging trucks, dump trucks or restaurant supply trucks which also travel on Highway 1, so this does not seem an issue to me.

An additional reason I support them is that they are contributing to the local economy, using local contractors for building, plumbing and electrical among other things. I personally did some work at the printing facility in 2010 and did not see any indication of any type of commercial activities (as some people have claimed). What I saw during my work there was a volunteer run printing operation which was engaged in printing Buddhist Texts. I have also seen some of the people I met at Ratna Ling shopping at the local grocery stores and supporting other local businesses.

They are a different type of operation to what this coastal community is accustomed to, but to me they seem to be a good neighbor who is contributing to the local economy while having an otherwise minimal impact on the lives of people along the Sonoma Counting Coast. What most of us don't see is the potentially large positive impact that this operation has on many people in other communities around the world.

Eron Flory  
PO Box 335  
(327 Westerly Close)  
The Sea Ranch, CA  
95497  
[eron@earthlink.net](mailto:eron@earthlink.net)

**Cynthia Demidovich**

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**From:** andrew johnson [kalingpon@gmail.com]  
**Sent:** Monday, March 24, 2014 9:38 PM  
**To:** David Rabbitt; Susan Gorin; Mike McGuire; Shirlee Zane; Efren Carrillo; Cynthia Demidovich  
**Subject:** Dear County Supervisors and Planner, thank you for your time...

**March 24, 2014**

**Andrew Johnson  
1049 West Holly Drive  
Walnut Creek, CA 94598  
323-314-9485**

**County of Sonoma Board of Supervisors  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403**

**Dear County Supervisors and Planner:**

**I am writing this letter to you regarding the Ratna Ling Center. Having had the opportunity to attend a number of retreats there**

**I was surprised to hear of complaints  
against the Center**

**The guest  
housing**

**cabins are very close in proximity to the printing press and never once have I been aware of any noise during my week long overnight stays there.**

**As you can imagine, it is a very tranquil and peaceful environment. Therefore any noise would be detrimental to its fundamental purpose, of being a meditation and spiritual retreat center.**

**While I am not a Buddhist by faith, I feel that the Center's abiding principle, is to Respect Others. This is clearly displayed by every staff member I've encountered there. And, despite not being a Buddhist, I value the work that the Center does, including the printing of work related to their teachings. In your wisdom and your findings, I hope that you will see the legitimacy of Ratna Ling and all the work they do there.**

**The Retreat Center provides richness to the area in many ways**

they practice being green in how they manage all recycling and waste matter, their use of solar energy where possible,

**they bring  
cultural diversity**

t

**hat**

**Sonoma County**

**encourages**

**as well as the**

**creation of**

**small cottage industries that your area is supportive of**

**, and last but not least, in the training of community skills and guidance for young adults. We should all wish for such an organization in our community!**

**Thank you for taking the time to read my letter. Should you need any further information, please do not hesitate to contact me.**

**Yours sincerely,**

**Andrew Johnson**

## Cynthia Demidovich

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**From:** Anson Biller [anson.biller@gmail.com]  
**Sent:** Monday, March 24, 2014 11:43 PM  
**To:** Efren Carrillo; Susan Gorin; David Rabbitt; Shirley.Zane@sonoma-county.org;  
MikeMcQuire@sonoma-county.org  
**Cc:** Gene Gretchen; Cynthia Demidovich  
**Subject:** Upcoming Hearing for Ratna Ling, Letter in Support

To The County Board of Supervisors,

I am writing a brief letter this evening to express my support of Ratna Ling Retreat Center as the organization seeks final approval of their Master Use Permit. I would particularly like to urge you to allow the retreat to continue producing sacred texts for distribution at the annual World Peace Ceremony in Bodhgaya.

I moved to California three years ago expressly for the opportunity to volunteer at Ratna Ling as their gardener - growing and harvesting food for the community meals. I was well-settled in New York City at the time of my application, which gave me pause, but I have never regretted my choice for a moment. The time I spent studying at Ratna Ling continues to be instrumental in my life. It has focused me in my work, improved how I approach challenging situations, and deepened my commitment to helping others as a young farmer in Sonoma County.

I would like to tell you about my first morning volunteering at Ratna Ling. I met Doug Nurnberg, who was to be my supervisor, in the lodge's meditation hall to help install a bookshelf up on the wall. The shelf would follow the entire perimeter of the room, and had to be able to bear considerable weight.

They now hold the extant Tibetan Buddhist canon, printed by press volunteers under the direction of Rinpoche Tarthang Tulku. There are 627 atlas-sized books, 128 volumes total, bound using a particular archival technique developed in Italy to ensure the religious texts hold for centuries. Whether one is a practicing buddhist or not, I can tell you it's powerful to see a whole country's spiritual knowledge contained within a single room.

Only, it isn't actually all of it. It's 30% of the Tibetan Buddhist Canon. The remaining 70% was systematically destroyed during the occupation of Tibet in the 1950's. While I do not consider myself a practicing Tibetan Buddhist, I can appreciate just what that loss means - to have that spiritual wisdom stemming from the Buddha and deepening over time suddenly be gone. After that happens, if efforts are not made to recover it, it becomes unthinkable.

I see what's been made possible by the preservation efforts of Rinpoche Tarthang Tulku, by the printing press at Ratna Ling, and I can't imagine what it would mean to have that taken away. The opportunities I had to get out of the garden and work in the bindery were always a rich lens to examine my own mind, and knowing, too, that each text would find its way into the hands of a Tibetan nun or monk in exile, who would in turn carry it back to their own communities, charged those moments with importance.

It's been a year-and-half since I left Ratna Ling, but those experiences still resonate within me as I work at the Permaculture Skills Center in Sebastopol. It's my deep hope that you will uphold the previous rulings in favor of Ratna Ling in this upcoming hearing. The printing press' connection to Ratna Ling's spiritual practice, its great benefit to our county and the world, ought to be preserved.



Anson Biller  
*Farm Manager*

TapRoot Farm @ the PSC



## Cynthia Demidovich

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**From:** Stuart Klein [stuartklein77@gmail.com]  
**Sent:** Tuesday, March 25, 2014 12:10 AM  
**To:** David Rabbitt; Susan Gorin; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Use Permit Application for Ratna Ling

To the Board of Supervisors of Sonoma County:

I am writing to urge you to **APPROVE** the Use Permit application for Ratna Ling Living Buddhist Retreat Center ("Ratna Ling") at your upcoming meeting on April 8th.

### **1. Ratna Ling is Engaged in Important Charitable Work**

As detailed in the Use Permit application, Ratna Ling is a religious retreat center, and part of the religious practice there is to operate a press that reprints Tibetan Buddhist sacred texts which have been destroyed in recent years in many monasteries and libraries across China. The destruction of these sacred texts has been condemned by leaders of many countries. Ratna Ling is perhaps the single organization most responsible for reprinting these sacred religious texts and distributing them. Its charitable work has been recognized by media organizations around the world, and has been the subject of one or more documentary films.

### **2. Ratna Ling Has Been a Good Neighbor**

Ratna Ling has worked with the neighbors and with County staff for more than a decade to fully mitigate all impacts caused by the operation of the retreat center. Mitigations have included, among other things, a voluntary construction moratorium in 2009; the gift of a fire engine; providing a Red Cross emergency trailer; and providing free yoga classes to neighbors. Ratna Ling received its first Use Permit in 2004 and a second Use Permit in June 2012 pursuant to a 5-0 vote by the County Board of Zoning Adjustments.

Finally, Ratna Ling's high-profile charitable work brings worldwide positive recognition to Sonoma County, to California, and to the USA. The volunteers operating the press at Ratna Ling embody the American ideals of religious tolerance and generosity of spirit.

Thank you for the opportunity to share my views.

Sincerely,  
Stuart L Klein

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Stuart L. Klein  
PO Box 1420  
Los Altos, CA 94023

## Cynthia Demidovich

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**From:** Julie Anderson [julieanderson6018@gmail.com]  
**Sent:** Tuesday, March 25, 2014 8:58 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Subject:** Ratna Ling

Dear County of Sonoma Board of Supervisors,

I wanted to touch base with you in regards to your upcoming meeting about Ratna Ling. Having been there and experienced what this special place has to offer, I wanted to chime in my support of the community and the group of people that run it. My sons and I were welcomed there during the summer of 2009 and will always treasure our experience: beautiful, serene and quiet. Our memories will last each of our lifetimes. What a thoughtful way to serve others in the world and a beautiful place in which to do so.

Very sincerely,

Julie Taylor  
4127 Plumwood Drive  
West Des Moines, IA 50265

## Cynthia Demidovich

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**From:** Elinor Stark [elinorstark@earthlink.net]  
**Sent:** Monday, March 24, 2014 2:06 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire  
**Cc:** Efren Carrillo; Cynthia Demidovich; Sylvia; Elinor Stark  
**Subject:** Ratna Ling Hearing

To Supervisor Susan Gorin, Supervisor David Rabbitt, Supervisor Shirlee Zane, Supervisor Mike McGuire, Supervisor Efren Carrillo, and Planner Cynthia Demidovich,

I have spent time at many beautiful retreats at Ratna Ling from 2006 to 2009 primarily there for relaxation yoga and meditation. These classes were very beneficial

and wholesome for seniors like myself; I was in my mid-seventies in those days. It was such a relief and joy to get out of the city and into real natural country. I know

Ratna Ling is a friendly neighbor in general and all the staff, many of whom I have known for years, greatly appreciate living there. I totally support The Press and the

important work going on there. Thank you for your attention and consideration.

Sincerely, Elinor Stark  
933 Terra California Dr. #4  
Walnut Creek, Ca 94595

## Cynthia Demidovich

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**From:** Mary Gomes [mary.gomes@sonoma.edu]  
**Sent:** Monday, March 24, 2014 11:23 AM  
**To:** Susan Gorin; Shirlee Zane; David Rabbitt; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support for Ratna Ling

Dear Supervisors:

I am a professor at Sonoma State University and would like to express my support for the Ratna Ling Retreat Center. My area of expertise is ecopsychology. The Ratna Ling Center is able to blend activities that preserve the natural heritage of the land and the human heritage of wisdom. I have studied at the Nyingma Institute, with which Ratna Ling is affiliated, for over 20 years, and I can attest to the organization's depth of integrity.

Sincerely,

Mary E. Gomes

Professor of Psychology

## Cynthia Demidovich

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**From:** Magda Costa [magdac@dharmapublishing.com]  
**Sent:** Monday, March 24, 2014 11:24 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Letter in support of Ratna Ling

To whom it may concern,

I had been volunteering at Dharma Publishing in Ratna Ling for 6 years.

During this period of time I had opportunity to work in the book preservation project and my experience was the richest ever.

It had so important impact on me knowing that I was helping to preserve and disseminate the Dharma teachings all over the world and also developing my personal growth in the level of dharma understanding, skillful means, and mind operation understanding.

In Ratna Ling I could relax the usual tension, express my deepest feelings and receiving guidance to work properly with them. I felt respected and protected.

I totally support their activities and volunteer program.

Magda Strobl Costa

## Cynthia Demidovich

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**From:** Lorna Catford [lorna.catford@sonoma.edu]  
**Sent:** Monday, March 24, 2014 12:40 PM  
**To:** Cynthia.Demi@sonoma-county.org; Cynthia Demidovich  
**Subject:** Ratna Ling Support -- PLEASE READ

Dear Cynthia,

I'm writing to urge you to support Ratna Ling's revised permit for expansion that was already approved unanimously by the County's Board of Zoning Adjustments in 2012.

NIMBY Seaview Ridge neighbors may not agree with their religious beliefs, but they fail to see that a permit delineating the extent of building/commercial activities for the next 20 years will mean that they will be safe from developers coming in to build housing tracts, malls and/or all the businesses that spring up to serve such establishments.

About their religious leanings, the Tibetan Nyingma Meditation Centers profess being and acting in harmony with the environment, including people (thus their voluntary cessation of construction in 2009). Their work to support peaceful, yet exiled, Buddhist practitioners is noble.

The more people who come to, and appreciate, their Center, the more likely it is that there will be more people actively wanting to keep the area around Seaview Ridge "green."

This organization acts to make the world a more peaceful place; to support those who also wish to do so (many of whom are being restricted); and live/work in harmony with their neighbors.

I have supervised several Sonoma State University Psychology Interns at Nyingma Institute, and used some of their writings in my classes. They have been excellent Community Partners.

I urge you to NOT allow some rich people (who obviously don't share their values, and perhaps don't understand their mission, nor what might happen to THEM if the permit is denied) to get in the way of a peaceful, conscious organization willing to work in good faith with their neighbors as well as people around the globe.

Thank you for your open-minded consideration of these points.

Sincerely,  
Lorna

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Dr. Lorna Catford  
Sonoma State University Psychology Department, Stev 3087  
1801 East Cotati Avenue, Rohnert Park, CA 94928  
Ph: 707-664-2402 Fax: 707-664-3113 [lorna.catford@sonoma.edu](mailto:lorna.catford@sonoma.edu)

## Cynthia Demidovich

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**From:** Regina Maria Freitas [reginamariadefreitas@gmail.com]  
**Sent:** Monday, March 24, 2014 1:18 PM  
**To:** Susan Gorin; Shirlee Zane; Efren Carrillo; David Rabbitt; Mike McGuire  
**Cc:** Cynthia Demidovich  
**Subject:** Ratna Ling support

Dear Sirs

I am writing in support of Ratna Ling.

I have been on Retreat at Ratna Ling for years and I loved the peacefulness and quiet. It was a wonderful, spiritual experience. My life changed after this time for a positive direction.

I also love working on the sacred texts that is an important part of Retreat experience. I feel fortunate to be a part of it.

I want to say how much I have enjoyed visiting Sonoma County after the Retreat was over.

Please supervisors, support Ratna Ling's application, so I can continue going to Ratna Ling for Retreat and enjoy the beauty of Sonoma County.

I thank the supervisors for their consideration.

Regina Maria de Freitas

Adress: Praia João Caetano 137 apto 1202 Bloco B, Ingá ,Niterói, RJ,  
BRASIL CEP 24210 405

## Cynthia Demidovich

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**From:** Janet Smith [janls\_2@hotmail.com]  
**Sent:** Monday, March 24, 2014 1:25 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling RetreaT Center

March 24, 2014

To Whom It May Concern,

I was a volunteer at Ratna Ling on and off for several years between 2007 and 2013. I had the great privilege of working in the book bindery, the volunteer office, and as the operations manager for the retreat center. My experience at Ratna Ling has enriched my life immeasurably. Through my work in all these capacities I was able to incorporate my spiritual practice into my daily life, moment by moment, whether I was in the classroom, at the office, in the bindery, or on the meditation cushion.

At Ratna Ling, I gained the perspective and skills to approach my life and the lives of others with compassion and awareness. Not only has this deepened my experience of life, but it has lead me to greater accomplishments than I could ever have imagined. I can genuinely say I am a better person – more open, honest, and loving – from having been a part of the Ratna Ling community. My sincerest wish is that people who are looking to develop themselves in this way will continue to have the opportunity. Ratna Ling can offer this – I know because that is exactly what it gave me. If for this reason alone, I would like to extend my whole hearted support for the continuation of this most unique and valuable volunteer project.

Sincerely,

Tara Ristau



## Cynthia Demidovich

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**From:** Toni and Doug and Hali Nurnberg [tdnurnberg@yahoo.com]  
**Sent:** Monday, March 24, 2014 1:58 PM  
**To:** Cynthia Demidovich  
**Subject:** Fw: Commissioner's Hearing re: Ratna Ling Retreat Center

Dear Ms. Demidovich

I write to you in whole-hearted support of Ratna Ling Retreat Center and the Mangalam Press. I was a volunteer at Ratna Ling for three years from 2007 - 2010. During that time I was involved in coordinating volunteer services and promoting the retreats held at Ratna Ling. I was in contact with literally a few hundred people who were able to volunteer their time or come on retreat there. For the very large majority of people their experience was extremely worthwhile and gratifying. We had people from across the nation and around the world come and enjoy the beauty and special place that defines Ratna Ling. What is true for most of us, is that even though we may no longer be there, the lessons we learned and the experiences we had, had a profound and positive effect on our lives and we will never forget them.

One of the most important experiences for both volunteers and retreatants alike was the ability to work at the press, helping to produce sacred Tibetan texts that are in jeopardy of being lost to this world. After the invasion of Tibet by the Chinese there were millions of texts and thousands of monasteries burned and destroyed. The Buddhist monks that fled their homeland for India and other parts of Asia and the world were able to carry only a few personal items with them. They now live in exile in a foreign country and are attempting to continue their studies and practices. Through the efforts of the volunteers of Ratna Ling this very unique press is producing the texts and distributing them free of charge to these monks, nuns and laypeople. It is truly a singular production that is not duplicated any where else in this world.

I have also been fortunate to be in India at the time of the distribution of thousands of these texts during the World Peace Ceremony in Bodh Gaya, India. For ten days 10,000 monks and nuns sit at the very site where the Buddha became enlightened. They sit and pray for peace and good will for all sentient beings, without exception. The faces of joy and gratitude when they received their books will be with me always. I only know that this world would be a much sadder, poorer, and more hostile place without these beautiful people and their peaceful examples of love and compassion.

Please look to the ultimate good and the lack of harm done by this quiet center in Northern Sonoma County.

Thank You  
Toni Nurnberg

## Cynthia Demidovich

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**From:** carmen dora cirne lima [carmendoraci@gmail.com]  
**Sent:** Monday, March 24, 2014 9:02 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich; Roselene Pereira da Costa  
**Subject:** Ratna Ling

I am writing in support of Ratna Ling. I have been on retreat at Ratna Ling and I love the peacefulness and quiet. I also love working on the sacred texts, this was very deep for me. I will be back.

Kind regards, Carmen Dora Obino Cirne Lima.

## Cynthia Demidovich

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**From:** carmen dora cirne lima [carmendoracl@gmail.com]  
**Sent:** Monday, March 24, 2014 9:06 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich; Roselene Pereira da Costa  
**Subject:** Re: Ratna Ling

I am writing in support of Ratna Ling. I have been on retreat at Ratna Ling and I love the peacefulness and quiet. I also love working on the sacred texts, this was very deep for me. I will be back.  
Kind regards, Carmen Dora Obino Cirne Lima.

03/24/2014.

Rua Sá Ferreira, 172/1102, Copacabana, Brazil.

2014-03-24 13:01 GMT-03:00 carmen dora cirne lima <carmendoracl@gmail.com>:

I am writing in support of Ratna Ling. I have been on retreat at Ratna Ling and I love the peacefulness and quiet. I also love working on the sacred texts, this was very deep for me. I will be back.  
Kind regards, Carmen Dora Obino Cirne Lima.

## Cynthia Demidovich

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**From:** Cláudia Martinelli [clmartinelli@uol.com.br]  
**Sent:** Monday, March 24, 2014 8:59 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** work with the books was the best part about my stay in Ratna Ling

Dear Madam/Dear Sir,

This email is to let you know that I come regularly to the Ratna Ling Retreat Center. Sometimes I come more than once a year, and I have always greatly appreciated my time there.

I am from Brazil and in addition to the Kum Nye, Yoga Meditations and Traditional Dharma Teachings I have valued mostly our time of work practice.

Each day we go to the Tibetan Text Project and help with the binding of Tibetan Books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thanks.

I cannot express in words how important for me this work practice time has been. It is like meditation, and I am engaged with ancient texts. It is also very valuable because in the classroom we do work with the body and mind, but not with the hands so during work practice I actually touch the sacred text materials and help them into their next phase of process. It is just like I am embodying the books that I help to bind.

Of course I also know what happens to the books, that they are being shipped to India and freely distributed to the Tibetan monks and nuns in exile. Last month I went to the annual distribution and I could see how appreciative the nuns, monks, and lay people are to receive these ancient texts.

Please hear me when I say that this work with the Tibetan texts is most precious to me, and for me it is an integral part maybe the best part of learning the Dharma and making my life more spiritual.

Sincerely yours,

Claudia Martinelli

## Cynthia Demidovich

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**From:** Beverly Tift [batift@gmail.com]  
**Sent:** Saturday, March 22, 2014 4:56 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** In Support of Ratna Ling Master builder Permit 2014  
**Attachments:** RATNA LING.doc

This document is also attached: See below.

TO WHOM IT MAY CONCERN:

Memorandum in support of Ratna Ling Master Builder Permit 2014

Picture early morning in the redwood forest of California's Sonoma County, the fog rises, revealing tall trees and rolling hills. Nestled in that same majestic area is The Ratna Ling Retreat Center and the bindery that prints sacred texts for Yeshe De Text Preservation Project. Again, early morning, and all the binary volunteers and at times retreat guests gather for the morning chants that starts each work day; a surreal blend of ancient Tibetan chants being voiced by those who come around the world to donate their time and energy for this important project. In the background modern printing presses silently wait. Do note, from outside of the building the presses can be hardly heard.

I well remember the few times I assisted in the bindery: being instructed how to carefully and mindfully wrap completed texts in a fabric wrapping, then tied with cord and stacked. Each year thousands of sacred texts are sent (free of charge) to Bodhi Gaya India, and given out to thousands of Tibetan monks, nuns and lay people at the annual World Peace Ceremony. Also, certain amounts of text are stored in future hopes of being able to distribute them in Tibet.

Since the Chinese takeover of Tibet beginning in 1951, the very fabric of Tibetan civilization has been destroyed; over 6,000 monasteries have been demolished together with their vast libraries of sacred books and the lineage holders have been forced into exile. The Yeshe De Text Preservation Project is a non-profit operation dedicated to preserving Tibetan culture and Tibetan Buddhism through preserving and distributing Tibetan Buddhist texts, not only for Tibet and India, but for the entire world.

During my time at Ratna Ling as a volunteer, I worked as a housekeeper and gardener. As a housekeeper, I directly learned via interaction with guests and also by reading their comments in the journals that is kept in each cottage, how much the peace and serenity of Ratna Ling means to them. They come tired and distracted and leave intrinsically changed by their time at the retreat center. As a gardener, I saw how carefully the land of Ratna Ling has been preserved, maintaining the special sacredness of the surrounding redwood forest.

Picture early morning in the redwood forest of California's Sonoma County . . . the rising fog . . .

Beverly Tift

424 Savin Avenue

North Haven, CT 06516

## Cynthia Demidovich

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**From:** Karina Maria Lehmann [karina.lehmann@gmx.com]  
**Sent:** Sunday, March 23, 2014 2:15 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Dear Madam/Dear Sir,

This email is to let you know that last year, I had the pleasure and honor to come to the Ratna Ling Retreat Center for the first time. I definitely plan to return as soon as my schedule permits, despite the fact that the travel all the way from my home in Switzerland is far and lengthy.

I am originally from Germany, and in addition to the Kum Nye, Yoga Meditations and Traditional Dharma Teachings I have valued mostly our time of work practice. Each day we go to the Tibetan Text Project and help with the binding of Tibetan Books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thankas.

I cannot express in words how important for me this work practice time has been. It is like meditation, and I am engaged with ancient texts. It is also very valuable because in the classroom we do work with the body and mind, but not with the hands so during work practice I actually touch the sacred text materials and help them into their next phase of process. It is just like I am embodying the books that I help to bind.

Of course I also know what happens to the books, that they are being shipped to India and freely distributed to the Tibetan monks and nuns in exile. I myself had the distinct pleasure to work as a volunteer at the Monlam Ceremony in 2008, where books produced and shipped by Dharma Publishing were freely distributed. The appreciation and gratitude of the nuns, monks, and lay people who received these ancient texts is beyond description.

Please hear me when I say that this work with the Tibetan texts is most precious to me, and for me it is an integral part of learning the Dharma and making my life more spiritual.

Sincerely yours,  
Karina Lehmann

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Karina Lehmann  
93, rue de Lausanne  
1202 Genève, Suisse

## Cynthia Demidovich

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**From:** Sylvia Lyra [sylvialyra@terra.com.br]  
**Sent:** Sunday, March 23, 2014 8:20 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** About Ratna Ling Retreat Center

**To:**  
County of Sonoma Board of Supervisors  
County of Sonoma Permit & Resource Management Department

Dear Mr. and Ms. Supervisors,

I'm writing in support of Ratna Ling, where I've been several times for retreats.

I'm going this July again for two weeks. The Retreat Center is a wonderful and peaceful place in this very beautiful County of Sonoma.

They carry on this wonderful project of texts preservation and it's part of every retreat there to be in touch with those precious texts.

We visited several parks, lakes and different points in the sea shore while in Ratna Ling.

Please support Ratna Ling application.

Thank you very much for your consideration.

Sylvia Lyra

São Paulo, Brazil.



## Cynthia Demidovich

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**From:** DAN DUNAWAY [dan.dunaway@gmail.com]  
**Sent:** Sunday, March 23, 2014 11:24 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Dear members of the board:

I provided design, consultation and on site supervision for the recyclable paper scrap extraction system in the bindery, and an environmental sheet press cleaning system in the press room.

When Doug Nurmberg asked us to come up and help them with the new bindery I didn't know what to expect. The drive from Orinda, located in the east bay, was almost three hours but through some of California's best countryside. When we first arrived at Ratna Ling I was truly amazed and impressed that such a place even existed. A thoughtfully planned and tranquil place.

For the past 16 years I have consulted and contracted with many small and large printers, binderies, lithographers and paper converting facilities all through the western states. Dharma Publishing is by far the most unique book making shop I have ever been in. The one thing that struck me the most is that all of the work is done by hand, even though Dharma has state of the art book publishing equipment and methods. This individual hands on attention to detail is not seen in most modern industrial publishing facilities. I was particularly impressed with the care and thoughtfulness given to the sacred text from the time it comes off the presses to the hand painting of the books.

I made many trips to Ratna Ling and was inspired by all of them. I particularly remember the first time I saw the Monastery. I can't imagine the bindery and the books they print there could be located anywhere else.

Regards  
Dan Dunaway  
President, WasteStream Inc.

## Cynthia Demidovich

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**From:** Angela Bushaway [abushaway5@gmail.com]  
**Sent:** Sunday, March 23, 2014 1:05 PM  
**To:** Efren Carrillo; Susan Gorin; MikeMacguire@sonoma-county.org; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** re: Ratna Ling Retreat Center

Dear Sir/Madam

As a regular visitor to Ratna Ling Retreat Center, from the UK, I appreciate the opportunity to participate not only in the yoga and meditation sessions but also with working on the Tibetan Text project. I feel that this is a very valuable work which forms an important part of the whole experience of being at Ratna Ling. It is an opportunity to be involved in the different processes of producing these important texts and preserving them for future generations. I have heard from people who have been to the annual distribution of the texts how important these are to the Tibetan monks, nuns and lay people who receive them.

Yours sincerely

Angela Bushaway

## Cynthia Demidovich

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**From:** Angela Bushaway [abushaway5@gmail.com]  
**Sent:** Sunday, March 23, 2014 1:09 PM  
**To:** Efren Carrillo; Susan Gorin; Mike.Macguire@sonoma-county.org; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling Retreat Center

Dear Sir/Madam

As a regular visitor to Ratna Ling Retreat Center, from the UK, I appreciate the opportunity to participate not only in the yoga and meditation sessions but also with working on the Tibetan Text project. I feel that this is a very valuable work which forms an important part of the whole experience of being at Ratna Ling. It is an opportunity to be involved in the different processes of producing these important texts and preserving them for future generations. I have heard from people who have been to the annual distribution of the texts how important these are to the Tibetan monks, nuns and lay people who receive them.

Yours sincerely

Angela Bushaway

## Cynthia Demidovich

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**From:** Roger Minifie [rogerminifie@yahoo.co.uk]  
**Sent:** Sunday, March 23, 2014 1:32 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** ratna ling retreat centre

Dear Sir/Madam

I have been to this excellent centre of spiritual care and participated in the very worthy practices that are emphasised by the founder of this institute. I have been there on several occasions and participated myself in the production of these sacred, ancient Tibetan texts. The content is very meaningful and motivational in looking at yourself as to who you really are. The texts are sent once a year to India to the Tibetan exiles who now live in different groups in different parts of India. The texts are sent to these people as a reminder of their real home and of the tradition that was carried out before they were exiled. It is real honour to be able to produce these texts for this deserving cause. I trust that this centre can continue to produce what it does for the future for these exiled Tibetans, it is a truly wonderful giving opportunity to participate in.

Yours sincerely  
Roger Minifie

## Cynthia Demidovich

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**From:** Renie Byrne [renie@malibucompost.com]  
**Sent:** Sunday, March 23, 2014 1:33 PM  
**To:** Susan Gorin; David Rabbitt; Mike McGuire; Shirlee Zane; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling, Cazadero CA

Dear Supervisors of Sonoma County,

I wish to share my experience visiting Ratna Ling in Cazadero CA. Arriving at Ratna Ling you are welcomed by beauty, grace and a boundless wonder. I saw the care and dedication of so many individuals working to build a retreat center where I could slow down, meditate, do yoga and work on sacred activities. While walking around the grounds of Ratna Ling I noticed a peace and sparkle that invited me to rest and engage.

I have worked many hours on the sacred text project. It is hard to put in words the amount of joy and gratitude it has brought to my life. Knowing that I was helping on the largest text restoration, distribution and preservation project brought an even greater significance to this work, as did the knowledge that the texts would be given for free.

I did have the good fortune to go to Bodh Gaya in India to help with the distribution of these sacred texts at the annual World Peace Ceremony. You could feel the heartfelt gratitude from the Tibetan people as they received their sacred books knowing that somewhere in Sonoma County, a world they have never visited, was a group of dedicated individuals helping to preserve the Tibetan culture.

Sincerely,

***Renie Byrne***

***CFO, Malibu Compost***

[renie@malibucompost.com](mailto:renie@malibucompost.com)

800-282-6676

## Cynthia Demidovich

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**From:** Jutta Fethke [j.fethke@web.de]  
**Sent:** Sunday, March 23, 2014 2:29 PM  
**To:** Efren.carillo@sonoma-county.org; Susan Gorin; Mike McGuire; David.Rabitt@sonoma-county.org; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

Dear Madam,  
Dear Sir,

this email is to let you know that I come regularly to the Ratna Ling Retreat Center. I have always appreciated my time there immensely.

I am from Germany. Since a couple of years I come two or three times a year to take classes in Kum Nye Yoga, Meditation and Traditional Dharma Teachings and I also have valued mostly the time of work practice.

As an integral part of the retreat we work every day for the Tibetan Text Project and help with binding Tibetan Books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thankas.

It is not easy to express in words how important this time of work practice has been. One aspect is the combination of work with body and mind in the classroom and working with hands during work practice. However for me the most valuable aspect is to be engaged in sacred text production. I actually touch the sacred text materials and help them into their next phase of process. It gives a feeling of deep fulfillment and gratefulness to be part of this project. Most significant for me is that this work helps to preserve the ancient Buddhist Texts, that they are distributed to nuns, monks and lay people in India and that this work helps to keep the precious Buddhist Teachings alive.

This work is very valuable and meaningful to me. It makes my life more spiritual and is a way of learning the Dharma and starting to embody it.

Sincerely yours,  
Jutta Fethke

## Cynthia Demidovich

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**From:** abillings@comcast.net  
**Sent:** Sunday, March 23, 2014 3:06 PM  
**To:** Susan Gorin; Shirlee Zane; Mike McGuire; Efren Carrillo; David Rabbitt  
**Cc:** genegretchen@yahoo.com; Cynthia Demidovich  
**Subject:** Ratna Ling Printing

County of Sonoma Board of Supervisors:  
575 Administration Drive, Room 100A  
Santa Rosa, CA 95403

March 23, 2014

Dear Board of Supervisors:

I am writing on behalf of the Ratna Ling Buddhist Retreat Center. The RL Center is in the process of printing Buddhist texts to send to Tibetan exiles. Without that effort, the Tibetan culture and religion might be lost. Their press had already been approved by a 5-0 vote in June 2012. This was appealed and will be decided on April 8. I hope that the Board will recall that the press cannot be seen or heard from the road or from adjacent properties. In addition, expert consultants have reported that the press does not have any significant environmental effects, including on traffic. So I urge the Board to allow the printing of Tibetan sacred literature to continue. This effort is praised internationally and is a famous gift from Sonoma County. Please keep in mind that Communist China has destroyed many temples and texts of the Tibetan people over the last 50 years and the Ratna Ling press is vital for the survival of Tibetan culture for the future.

Ratna Ling has been a kind and cooperative neighbor and has made generous donations to the community. The Center has always been willing to cooperate with the surrounding community. Ratna Ling is also a major Buddhist retreat center, providing a place for Buddhists to practice extended periods of peaceful contemplation in a rural setting.

Thank you,

Anthony Billings  
[abillings@comcast.net](mailto:abillings@comcast.net)  
510 409 2169

## Cynthia Demidovich

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**From:** Lindsey S. [lskaare@hotmail.com]  
**Sent:** Sunday, March 23, 2014 5:10 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire  
**Cc:** genegretchen@yahoo.com; Cynthia Demidovich  
**Subject:** Dear Board of Supervisors

To whom it may concern,

I, Lindsey Skaare, was a volunteer at Ratna Ling Retreat Center from 2010-2011. I had initially agreed to stay for 6 months but ended up staying at RL for over a year because of how rewarding the work-study program is. I worked in the book bindery and learned so much about myself and the Tibetan culture. It really feels like you're making a difference in the world and working hard for a good cause, which in turn benefited my well-being and spirituality. I can attribute my present motivation to finish Graduate school in Mental Health Counseling to Ratna Ling. I support this kind and well-intentioned organization and hope that they may continue to succeed and help people of all kinds.

Lindsey Skaare



## **Cynthia Demidovich**

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**From:** Annette Anderson [annettea@ratnaling.org]  
**Sent:** Sunday, March 23, 2014 5:10 PM  
**To:** Susan Gorin; Mike McGuire; David.Rabbit@sonoma-county.org; Shirley.Zane@sonoma-county.org; Efren.Carillo@sonoma-county.org  
**Cc:** Cynthia Demidovich; Gene Gretchen; Annette Anderson  
**Subject:** Letter of support for Ratna Ling Retreat Center

Dear Supervisors:

I am writing in support of Ratna Ling Retreat Center. I have had the honor and privilege of working and living at Ratna Ling for the past 4 years as CFO & Co-Director of the Retreat Center. I am also a long-term student of Tibetan Nyingma Buddhism, member of the Nyingma community, and volunteer.

I came on board just before the Retreat Center opened its doors to the public. Since then, I have met and talked to many, if not most, of the people who have come to Ratna Ling for personal or group retreats. We have attracted people from all walks of life and diverse backgrounds who are looking for a quiet, supportive and tranquil place to broaden and deepen their spiritual lives. Everyone who passes through our doors is offered not only the quiet and beauty of Ratna Ling, but also instruction in Tibetan Yoga, meditation, and a variety of Buddhist topics. Overwhelmingly, at the end of their retreats, these folks express deep appreciation and gratitude for their experience at Ratna Ling. Many have returned multiple times, and recommended us to family, friends, and colleagues. The atmosphere at Ratna Ling, and the attitude of all who work there, is quiet, peaceful, respectful of others, cheerful and kind — deeply rooted in the principles of non-violence, compassion, and honorable stewardship of the land.

We are staffed entirely by volunteers who come here for six month or longer work-study commitments. We do not require volunteers to be practicing Buddhists. In fact almost all of them are not. All take evening classes in Tibetan Yoga, meditation, Buddhist history, study of important Buddhist texts, Skillful Means, and other related topics. I can only think of a small handful who have left early or been asked to leave. Many stay longer than six months, and some stay several years. I have had countless talks with many volunteers where they express gratitude and respect for what they have learned both in their work and in their studies. There is no doubt in my mind that they leave with a deeper devotion to their spiritual lives, understanding of the Buddhist teachings, and appreciation for the natural environment. I often hear from them after they leave — they never fail to reiterate the importance and depth of their experience at Ratna Ling, the positive influence it has had on their lives.

I have also had the privilege over the years of working in the Sacred Text Preservation Project, the reproducing of Tibetan Buddhist sacred texts and distribution of them to Tibetan refugees, monasteries, libraries, and schools internationally. I cannot express how important and central this work has been to my religious practice, nor how important and central it is to the religious practice of everyone in the Nyingma community. The cultural importance of saving these Tibetan Buddhist texts, considering the destruction by the Chinese of thousands of monasteries and libraries, is immeasurable. This work preserves the Dharma not only for the Tibetan people, but for all of humanity. It is recognized all over the world and brings positive recognition and honor to Sonoma County.

Finally, I would like to thank you for your service to Sonoma County.

Sincerely,

Annette Anderson



## Cynthia Demidovich

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**From:** Annette Anderson [annettea@ratnaling.org]  
**Sent:** Sunday, March 23, 2014 5:20 PM  
**To:** Shirlee Zane; Efren Carrillo  
**Cc:** Gene Gretchen; Cynthia Demidovich; Annette Anderson  
**Subject:** Fwd: Letter of support for Ratna Ling Retreat Center

Dear Supervisors Zane and Carrillo,

I just sent a letter of support for Ratna Ling to all members of the Sonoma County Board of Supervisors. Unfortunately the message I sent to you was returned to due to an error I made when typing your email address. I am now resending it to your correct address.

Annette Anderson

Begin forwarded message:

**From:** Annette Anderson <annettea@ratnaling.org>  
**Subject:** Letter of support for Ratna Ling Retreat Center  
**Date:** March 23, 2014 at 5:10:23 PM PDT  
**To:** [Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org), [MikeMcGuire@sonoma-county.org](mailto:MikeMcGuire@sonoma-county.org), [David.Rabbit@sonoma-county.org](mailto:David.Rabbit@sonoma-county.org), [Shirley.Zane@sonoma-county.org](mailto:Shirley.Zane@sonoma-county.org), [Efren.Carillo@sonoma-county.org](mailto:Efren.Carillo@sonoma-county.org)  
**Cc:** [Cynthia.Demidovich@sonoma-county.org](mailto:Cynthia.Demidovich@sonoma-county.org), Gene Gretchen <[genegretchen@yahoo.com](mailto:genegretchen@yahoo.com)>, Annette Anderson <annettea@ratnaling.org>

Dear Supervisors:

I am writing in support of Ratna Ling Retreat Center. I have had the honor and privilege of working and living at Ratna Ling for the past 4 years as CFO & Co-Director of the Retreat Center. I am also a long-term student of Tibetan Nyingma Buddhism, member of the Nyingma community, and volunteer.

I came on board just before the Retreat Center opened its doors to the public. Since then, I have met and talked to many, if not most, of the people who have come to Ratna Ling for personal or group retreats. We have attracted people from all walks of life and diverse backgrounds who are looking for a quiet, supportive and tranquil place to broaden and deepen their spiritual lives. Everyone who passes through our doors is offered not only the quiet and beauty of Ratna Ling, but also instruction in Tibetan Yoga, meditation, and a variety of Buddhist topics. Overwhelmingly, at the end of their retreats, these folks express deep appreciation and gratitude for their experience at Ratna Ling. Many have returned multiple times, and recommended us to family, friends, and colleagues. The atmosphere at Ratna Ling, and the attitude of all who work there, is quiet, peaceful, respectful of others, cheerful and kind — deeply rooted in the principles of non-violence, compassion, and honorable stewardship of the land.

We are staffed entirely by volunteers who come here for six month or longer work-study commitments. We do not require volunteers to be practicing Buddhists. In fact almost all of them are not. All take evening classes in Tibetan Yoga, meditation, Buddhist history, study of important Buddhist texts, Skillful Means, and other related topics. I can only think of a small handful who have left early or been asked to leave. Many stay longer than six months, and some stay several years. I have had countless talks with many volunteers where they express gratitude and respect for what they have learned both in their work and in their studies. There is no doubt in my

mind that they leave with a deeper devotion to their spiritual lives, understanding of the Buddhist teachings, and appreciation for the natural environment. I often hear from them after they leave — they never fail to reiterate the importance and depth of their experience at Ratna Ling, the positive influence it has had on their lives.

I have also had the privilege over the years of working in the Sacred Text Preservation Project, the reproducing of Tibetan Buddhist sacred texts and distribution of them to Tibetan refugees, monasteries, libraries, and schools internationally. I cannot express how important and central this work has been to my religious practice, nor how important and central it is to the religious practice of everyone in the Nyingma community. The cultural importance of saving these Tibetan Buddhist texts, considering the destruction by the Chinese of thousands of monasteries and libraries, is immeasurable. This work preserves the Dharma not only for the Tibetan people, but for all of humanity. It is recognized all over the world and brings positive recognition and honor to Sonoma County.

Finally, I would like to thank you for your service to Sonoma County.

Sincerely,

Annette Anderson

## Cynthia Demidovich

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**From:** Kay G [kayg\_mt@yahoo.com]  
**Sent:** Sunday, March 23, 2014 7:13 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** support for Ratna Ling

Dear Supervisors Gorin,, Rabbitt, Zane, McGuire, and Carrillo,

Ratna Ling Retreat Center is a unique treasure, perfectly placed. It benefits not only the volunteers, those who come on retreat, the environment, and the resident wild animals, but also the local community and Sonoma County at large. I have been enriched and nourished in so many ways as a result of my retreats here, first as an occasional visitor, then as a part of the community on frequent periods of personal retreat. I now also own property nearby, and look forward to being a neighbor, whatever my position in the Ratna Ling community may be.

All the senses, inner and outer, are nourished by the beauty of Ratna Ling. The flowers, trees, prayer flags, stupa, the melody of the wind chimes, the chatter and song of the birds, the delightful, wholesome vegetarian meals, the fragrance of the plants, the easy acceptance by the wild animals, the sense of tranquility, the warm welcome, and the classes in meditation, yoga, Buddhist studies, working with care, and other related topics, calm and energize both body and mind. This benefits all who come here, for classes, for retreats, to volunteer.

Care for the whole environment-flora, fauna, air, water- imbues all that happens at Ratna Ling. Kitchen waste is composted; reduce, reuse and recycle are standard habits; herbicides, synthetic fertilizers or toxic chemicals are not used on the land; water resources are closely managed; the primary means of transportation on the property are walking and golf carts; No poison is used to manage troublesome ants, mice or raccoons, only humane methods, due to Buddhism's core tenet of compassion for all sentient beings; these are just a few examples of Ratna Ling's stewardship of the environment.

Ratna Ling buys all of its food from Sonoma County businesses and, as much as possible from the local community, most of its supplies and services. It has also installed a drinking fountain and shaded rest stop for bicyclists. Ratna Ling is an active member of the community: some of its volunteers are EMTs and /or firefighters with the Timber Cove Volunteer Fire Department; is a Red Cross designated Emergency Center; many of the volunteers frequently attend community events and the Community Market on Sundays; and it brings visitors from all over the world, and with them, goodwill to Sonoma County and to the local community, as well as business for local restaurants, shops and other tourist facilities.

What distinguishes Ratna Ling from all the other beautiful, tranquil, inspiring retreat centers in pristine settings is the religious press, which grounds Ratna Ling's retreat activity in compassionate action. Many retreatants spend part of their day in meditative work (working with care is in itself a Tibetan Buddhist religious practice) in the press, in some part of the process: wrapping or assembling traditional texts, and inserting parchment paper are common activities. Engaging in humanitarian action, especially when it contributes to preserving sacred texts, is an integral part of the retreat experience, aiding spiritual development while benefitting the Tibetan refugees. Working in such a pristine, tranquil setting not only enhances the meditative quality of the retreatant's experience, but it is also more respectful to reproduce sacred texts in such an environment. Although the printing facility is ancillary by any measurement, it is an essential part of the whole.

I know from personal experience how beneficial the combination of retreat and volunteering in the religious press can be. I feel very fortunate to help in this very important work, and to have this connection to such wisdom. In addition, it is an excellent test of my level of mental clutter, with an immediate, continuous "score" from the results of my work. All my other activities benefit from this "on-the-job" mind training, whether at Ratna Ling on personal retreat, or while I am away. Currently, the main focus of my personal retreats is to help the management of Ratna Ling with special projects, or to pitch in wherever needed on an ad hoc basis. Ratna Ling will always be a well-spring of inspiration and joy for me, and I look forward to many years of return visits, sharing its treasures with a wider circle of visitors.

I urge you to uphold the BZA's unanimous approval of Ratna Ling's Master Use Permit application, so that Ratna Ling can continue to flourish in tandem with the local and wider community.

Thank you for your consideration.

Respectfully,

Kay Gretchen

## Cynthia Demidovich

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**From:** Kaspar Dekker [kasparsiddhium@gmail.com]  
**Sent:** Sunday, March 23, 2014 8:27 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Re: writing a short email in support of the bindery at Ratna Ling

To the Sonoma County board of supervisors,

As a member of the Nyingma community I have heard numerous stories about the difficulties Ratna Ling retreat center has been undergoing the past few years. I understand there will be a hearing on April 8th that will have a crucial impact on Ratna Ling's future. This e-mail to you is to give my personal point of view about Ratna Ling, in favor of Ratna Ling. I wish Ratna Ling will not be shut down or restricted from printing more religious texts. Such an outcome would be very sad.

I have been a member of the community for more than 8 years and have worked at Ratna Ling in the Bindery. Ratna Ling plays an important role in the survival of Tibetan Buddhist culture. The nature of the work being done at Ratna Ling is in my opinion of immeasurable value. Just like other projects or organizations our Head Lama has started, Ratna Ling benefits both Western people interested in or studying Buddhism, as well as Buddhists in Asia. I can testify for myself that the Bindery is a pleasant place to be and to work. It is wonderful people from all over the world can join together at this place to do such meaningful work. Over the years that I have lived within this community I have learned to appreciate the opportunity and good fortune I have to be working for Nyingma.

regards,  
Kaspar Dekker from Odiyan.

2014-03-20 9:57 GMT-08:00 Leigh Deering <[volunteer@odiyan.org](mailto:volunteer@odiyan.org)>:  
GUIDELINES FOR WRITING EMAIL LETTERS IN SUPPORT OF RATNA LING

Hi Kris, Kevin and Kaspar,

I hope you can write a short email to the addresses below. We are trying to get an many people to write as possible.  
It does not have to be long.

Information

On the afternoon of Tuesday, April 8, two weeks away, the Sonoma County Board of Supervisors will conduct a hearing on the Master Use Permit application of the Ratna Ling Buddhist Retreat Center (RL).

It is essential for those who admire the good work being done at RL, particularly the printing and annual shipment of Tibetan Buddhist sacred texts to the exiled community of practitioners in Asia, to express support by writing to the Supervisors in advance of the hearing. The following information is provided to help you do that.

**Brief Background** In 2004, the County issued a use permit allowing Head Lama of Tibetan Nyingma Meditation Centers to operate a retreat center and religious printing press facility on the newly acquired parcel of 100+ acres that became Ratna Ling. During the subsequent build-out of new retreat facilities, a group of Seaview Ridge neighbors raised concerns about noise and dust caused by the construction. RL adopted numerous measures in response, met several times with a Steering Committee of the neighbors, and in 2009 voluntarily declared a moratorium on further construction as a gesture of good faith. Eight months later, rather than resume discussions as they had promised, the opposition neighbors filed complaints of alleged code violations with the County's Permit and Resource Management Department (PRMD). RL was never cited for any violations, but because of ambiguities in the 2004 permit, the PRMD encouraged RL to apply for a new Master Use Permit covering all construction and operations contemplated over the next 20 years. Such an application was filed in March of 2011. After a year of study and review, the PRMD issued a Staff Report approving every item sought by RL, including modest additional residential construction and a clarified standard for regulating the printing and distribution activity of the religious press. The County's Board of Zoning Adjustments, by a 5-0 vote, unanimously approved RL's application in June 2012 after two hearings. The opposing neighbors filed an appeal of that ruling to the Board of Supervisors who are scheduled to hear it on April 8.

**Focus of Opposition** It's all about the press. RL's opponents wrongly call the press an illegal industrial operation in a rural zone, despite the 2004 approval and the County's repeated endorsement of its legality in the pending proceedings. The press facility cannot be seen or heard from the road or from neighboring properties. Expert consultants have filed reports documenting that traffic and other potential environmental impacts are insignificant.

**Your Email Letter** We have been warned against having numerous supporters send a standard form, so please make it your individual communication in your own words. The suggestions below of possible items to cover should not be copied verbatim.

If you have participated in a retreat at Ratna Ling which included work at the religious press, this is a particularly significant experience to stress. The basis of the County's permission to operate the press there is that it is a religious practice, linked to the spiritual purposes of the retreat activity. You could also mention the sense of tranquility you experienced while at Ratna Ling, and the peaceful, harmonious environment.



As a volunteer at Ratna Ling, whether you participated in a retreat while there or not, you can mention such things as the cultural importance of saving the Tibetan Buddhist sacred texts, given the Chinese destruction of thousands of monasteries and libraries; the printing and distribution work which preserves and spreads the Dharma; the internationally recognized benefit of this activity for the past 25 years and the positive recognition for Sonoma County. You could also mention your own feelings about being able to do work that benefits others in learning, literacy and cultural preservation or whatever other positive benefits you see to the work for yourself and others. If you have been able to attend World Peace Ceremony in India where the books are distributed, you can write about your experience there.

**Tone and Timing** Please do not criticize the opposing neighbors or question their motives.

**Communications should reach the Supervisors this week!** The opposition has already been sending emails to them, so it is very important that our position be heard.

Use the contact information below and send your email jointly addressed to all 5 Supervisors, with a cc to Cynthia Demidovich at the Permit and Resource Management Department (PRMD), and a cc to [genegretchen@yahoo.com](mailto:genegretchen@yahoo.com) Operations Director at Ratna Ling for his records.

**Email your letter of support to** the County of Sonoma Board of Supervisors below:

Supervisor Susan Gorin [Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org)

Supervisor David Rabbitt [David.Rabbitt@sonoma-county.org](mailto:David.Rabbitt@sonoma-county.org)

Supervisor Shirlee Zane [Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org)

Supervisor Mike McGuire [MikeMcguire@sonoma-county.org](mailto:MikeMcguire@sonoma-county.org) (no period in name)

Supervisor Efren Carrillo [Efren.Carrillo@sonoma-county.org](mailto:Efren.Carrillo@sonoma-county.org)

**CC your email to :** Ms. Cynthia Demidovich, Planner, [Cynthia.Demidovich@sonoma-county.org](mailto:Cynthia.Demidovich@sonoma-county.org)

and to Gene Gretchen, Operations Director at Ratna Ling [genegretchen@yahoo.com](mailto:genegretchen@yahoo.com)

Please write and send something. It does not need to be a lot of words.

Thank you for helping such an important cause!

--  
Leigh Deering  
Odiyan Volunteer Office  
<http://www.volunteer.odiyan.org>

March 23, 2014

Cynthia Demidovich, Planner  
County of Sonoma PRMD  
2550 Ventura Ave.  
Santa Rosa CA 95403  
[Cynthia.demidovich@sonoma-county.org](mailto:Cynthia.demidovich@sonoma-county.org)

Dear Ms. Dmidovich:

As a Sonoma county resident for the last 25 years, I am writing to show my support for the Ratna Ling Retreat Center and the work they do reproducing Tibetan texts for free distribution to Tibetan refugees. I imagine you are receiving many letters, so I will try to be brief.

I understand there is concern over the operation of the printing press at the conference center. The printing press can be neither seen nor heard from the conference center. I know that many retreat participants volunteer to work on the sacred texts while they are attending conferences at Ratna Ling. I know that the staff of Ratna Ling volunteers to provide water and fruit for cyclists on charity rides on Hauser Bridge Road (I have done this). I understand that they have and continue to provide contributions in action and materials to the community.

Also, I have had the opportunity to enjoy the peaceful setting at Ratna Ling on many occasions (I volunteer to lead workshops for health care professionals twice yearly, which include a tour of the press) and hope to continue to be able to do so. I believe Ratna Ling is an important resource for Sonoma County, and hope that the County continues to support their work.

Sincerely,

Richard B. Addison, PhD  
5386 Vista Grande Drive  
Santa Rosa, CA 95403

CC: Efren Carrillo  
Susan Gorin  
David Rabbitt  
Shirlee Zane  
Mike McGuire  
Gene Gretchen

## Cynthia Demidovich

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**From:** ChristophBangert [cbangert@web.de]  
**Sent:** Monday, March 24, 2014 7:46 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Application "Ratna Ling Retreat Center" Sonoma County

Dear Sirs or Mesdames,

I am writing you on behalf of Ratna Ling Retreat Center (RL) in Sonoma County.

I know RL since many years and I have been there several times. During all those visits I appreciated very much the peaceful and serene atmosphere there which allowed me to forget all my responsibilities and challenges of my professional life from one day to the next. I especially enjoyed relaxing and meditating in the beautiful meditation hall, eating the delicious and healthy food of the great vegetarian kitchen, or to sit silently among the sublime redwood trees listening the wind rustling through its leaves.

During the several retreats and conferences I visited in RL I spend always some time volunteering in the press where these beautiful Tibetan books are produced. This was for me a perfect way to exercise my body in some physical activity and at the same time to join in something really useful for supporting this ancient spiritual tradition. The atmosphere at the press of RL was always very special and dear to me. And I always enjoyed a visit in the gorgeous shop of Dharma Publishing.

This summer I plan to visit RL again for 2 weeks to relax, meditate, visit good friends from all over the world, and to spend some hours during the afternoon working on the Tibetan books at the press.

Therefore I would like to ask you to kindly support Ratna Ling's application so that I myself and my friends are able to continue to visit RL in years to come.

Thank you very much!

Yours sincerely,  
Christoph Bangert  
Cologne, Germany

## Cynthia Demidovich

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**From:** Gary Ashley [gwashley@comcast.net]  
**Sent:** Friday, March 21, 2014 8:44 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** genegretchen@yahoo.com; Cynthia Demidovich  
**Subject:** Ratna Ling

To the County of Sonoma Board of Supervisors,  
Dear Sirs and Madams:

I write in support of the Ratna Ling Buddhist Retreat Center and their printing operation that has been established there for the past ~10 years.

My attendance at a retreat at the Center demonstrated to me that the Center takes great care to blend into the natural surroundings and provide an atmosphere conducive to the meditation that is central to the Buddhist belief. It is a place of great tranquility, and I came away from the retreat much refreshed. I am also aware that Ratna Ling has been involved in significant charitable work within Sonoma County, and has strived to be a good neighbor to all.

Engaged activity is also central to the Buddhist belief, and the printing operation at Ratna Ling helps fulfill this obligation. It is incumbent on us to keep the Dharma alive, as generations before have done over the past 2500 years. The printing operation at Ratna Ling has been established in response to the Chinese destruction of countless centers of Buddhist teaching in Tibet, and over the past years has helped rebuild the Buddhist tradition in the Tibet and around the world. The printing and distribution of sacred texts is thus an integral part of Buddhist practice.

During my time at Ratna Ling, the printing activities were unnoticeable to the general public, it was only during my visit to the printing facility that I was even aware of its being located there (I had previously helped in the construction of prayer wheels when the press was at the Berkeley location, and had assumed it was still located there).

In summary, I hope you will continue your generous support of Ratna Ling.

Sincerely yours,

Gary W. Ashley, Ph.D.

Alameda, CA

## Cynthia Demidovich

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**From:** Eric Brandebury [ebrandebury@gmail.com]  
**Sent:** Friday, March 21, 2014 9:56 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; Gene Gretchen  
**Subject:** Master Use Permit application of the Ratna Ling Buddhist Retreat Center

To: Sonoma County Board of Supervisors

Re: Ratna Ling Buddhist Retreat Center Master Use Permit application

I am writing in support of the sacred text preservation and distribution activity which takes place at Ratna Ling. I have been involved with this effort for many years always working with other volunteers, both short term and long term, whose only reward is the opportunity to work along side other people who believe in the value of the knowledge available in these texts and the gratitude expressed by the people who receive them.

We started out building up our printing and book binding skills in the East Bay doing commercial printing in the 1970s, -80s, and 90s. In the mid 90s we felt it was imperative to devote the rest of our useful working lives printing and distributing as much of the vast collection of centuries of Buddhist teachings and commentaries as possible, before the window of opportunity closed. We found that living and working in the city drained a lot of precious resources better spent refining our own practice of Dharma and purchasing the paper and plates needed to publish. Renting adequate production space in the Bay Area is exorbitantly expensive, as demonstrated by the nearly complete loss of all major printing production plants there. It made complete sense to combine living in a rural retreat center that would support a quiet meditative lifestyle, free from city distractions, with doing work that benefits an ancient tradition that has much to offer the modern world.

Eric Brandebury  
lifetime member of TNMC and Dharma Press  
former resident of Ratna Ling, now residing at Odiyan

## Cynthia Demidovich

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**From:** Jen Breit [jbreit@comcast.net]  
**Sent:** Saturday, March 22, 2014 6:28 AM  
**To:** Cynthia Demidovich  
**Cc:** genegretchen@yahoo.com  
**Subject:** re: Ratna Ling and Dharma Publishing

Dear Ms. Demidovich,

I would like to take this opportunity to give you a point of view on the circumstances at Ratna Ling and Dharma Publishing. My son lives and works at both of the above places. My husband and I have visited these places for the last few years so I do feel qualified to give you an honest opinion.

At first when Matt told us where he was going and what he was going to be working at, I was very hesitant. It was beyond my comprehension to imagine my son at this retreat center. He was confused about what he wanted in life and where he would end up. He had been in New York City working with some pretty rough managers. He left there discouraged and with little confidence. The last few years I have been amazed at the change in his life. He has since become an adult with more responsibility than I ever thought he could handle. He is more of a Christian now than when he was going to church with us. He is calmer, has a wonderful work ethic and cares deeply for each and every person that comes to Ratna Ling and Dharma.

Are the days long? Yes, they are. Is the pay a stipend? Yes, it is. But, everyone is free to come and go as they want. If they need time off, they get it. If someone has a problem such as being an alcoholic, they make sure that person goes to the right place to get the help they need. The food there is almost gourmet quality and there is plenty of it. They have beautiful buildings to work in. The buildings they live in are better than the retreat centers I have ever visited.

The education that is offered to everyone is open, unbiased, and truly the best way to help people realize what they have in life, what they need in life, and especially, what they don't need in life. It's not about material things. It's about inner peace and knowing your own heart. Many people have gone to Ratna Ling and left with a sense of belonging someplace and a way to deal with the outside world without getting anxious, angry, etc.

I can't think of anything better than to be a volunteer of either places. It is a serene place with very comfortable work areas. If anyone suggests that people are abused or underpaid, they are sadly mistaken. More of our children today should be so lucky as to have a place like this to go and learn how to work, play, learn, and accept themselves. There is no bullying. They are treated as adults. If it isn't a place where they want to be, they leave with prayers and good wishes.

Are my son and his friends there abused. Absolutely not. I am at peace knowing the type of people my son associates with. Believe me, if Matt was not being treated properly, he would be the first to turn them in.

I hope my letter is not too long. I just needed to let you know that this is a wonderful place of opportunity for anyone of any age to go to. If my husband were retired, we would be on a plane out there to help out in the good works that they all do.

Thank you for your time. I hope this letter helps ease peoples' minds as to the way of life at Ratna Ling and Dharma Publishing.

Sincerely,

Jennifer L. Breit  
183 Old Luther St.

Windber, PA 15963  
814.487.5301  
[jbreit@comcast.net](mailto:jbreit@comcast.net)



## Cynthia Demidovich

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**From:** Tracy Deliman [tracy@tealhouse.net]  
**Sent:** Saturday, March 22, 2014 9:49 AM  
**To:** Mike McGuire  
**Cc:** Cynthia Demidovich  
**Subject:** Ratna Ling

Supervisor Mike McGuire,

I am writing in support of the Ratna Ling Buddhist Retreat Center, particularly regarding allowing RL to continue operating its religious printing press. I have been a practicing Buddhist since 1977, became involved with the Nyingma Buddhist community in 1984, and have attended many retreats at Ratna Ling ever since it came into existence. No doubt, I will attend retreats there many more times.

Every retreat at Ratna Ling is an extraordinary experience that brings increased inner peace and a strong sense of connection with all human beings. It is a profoundly important religious practice to actively contribute to preserving our Buddhist heritage and teachings. On an individual level, I am enriched by attending classes, doing Tibetan yoga practice, meditating, and sharing meals as a community. But the most significant part of the retreat experience goes beyond my individual needs; when I work at the press, I know that I am helping to continue Buddhist education and enrich the spiritual lives of people all over the world. I have been to the World Peace Ceremony in Bodhgaya, India and have personally participated in distributing texts to monks and laypeople. Most are so poor, they would be unable to obtain these books without Ratna Ling's press. The deep gratitude they express truly touches my heart.

In the whole retreat experience, we consider working meditation to be just as important as all other aspects of religious practice. Some of us work in the kitchen, some in grounds maintenance, and the majority work at the press. We work in silence, other than communicating and receiving instructions. At the Ratna Ling press, we work under the supervision of people who are well-informed of the County's Permit and Resource Management Department's requirements; this ensures total compliance by every worker in the whole operation. We are respectful of these requirements.

During the retreat, many of us take breaks and go to the nearby towns to enjoy local restaurants, shops, the farmer's market, and to get gas. So our presence actively supports businesses in Sonoma County.

Please approve Ratna Ling to continue operating the printing of sacred religious texts.

Thank you,  
Tracy Deliman, Ph.D.

## Cynthia Demidovich

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**From:** Chris Gast [chrisgast33@hotmail.com]  
**Sent:** Saturday, March 22, 2014 10:21 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Ratna Ling

To whom it may concern-

I am writing to give my complete support of the work that is being done at Ratna Ling Retreat Center- I lived, worked, and practiced at the center for close to three years, and found the center to be of invaluable importance. It is rare to find a place where you can do beneficial work, build community, and deepen your own spiritual practice; Ratna Ling offers this to anyone who is in search of such a lifestyle. I have an immense amount of respect and gratitude for the people I worked alongside at the press and for all of the work that has been done to support the Buddha Dharma.

Blessings, Chris Gast

## Cynthia Demidovich

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**From:** Ben Connor [bsconnor@gmail.com]  
**Sent:** Saturday, March 22, 2014 10:21 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** In Support of the Press and Bindery at Ratna Ling

To Whom it May Concern,

I have been a full time volunteer at the Yeshe De Sacred Text Bindery since Winter 2013, and have had the privilege to help at Yeshe De, part-time, since Spring 2007. For me, the preservation and creation of these books are an integral part of the benefit this organization brings to the outside world. The larger Tibetan Buddhist community directly benefits from the free distribution of thousands of these books every year in India; effectively helping to preserve and nourish a 2,500 year old body of knowledge. The volunteers that help in creation of these books directly benefit from the self-less offering of participation in making this free distribution possible. The Sonoma County economy directly benefits from the thousands of dollars that Yeshe De spends while it sees no monetary profit in return. To me, the essence of spiritual/religious practice is that which brings benefit to oneself and to others. I have no doubt that the Yeshe De Sacred Text Bindery at the Ratna Ling Buddhist Retreat Center makes a constant effort to meet this end. I hope that Sonoma County can continue to see the significance of the Press and continue to permit its operation.

Thank you,

Benjamin Connor

## **Cynthia Demidovich**

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**From:** Eleonora Furtado [eleonorafurtado@gmail.com]  
**Sent:** Saturday, March 22, 2014 12:25 PM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** An important matter of knowledge for our time

Dear Madam/Dear Sir

This email is to present myself as a student of the Ratna Ling Retreat Center.  
My name is Eleonora Furtado, I am 61 years old and I come from Brasil, Rio de Janeiro.

I go to Ratna Ling for retreats 3 or 4 time a year. Taking classes in Kum Nye, Meditation in daily life, Dharma teachings, etc.

Every year I wait with pleasure to come, receive and practice these teachings that changed my life.

The main issue of the teachings, is to relax in the tension and learn how we can take it into our daily life, our work, etc. Part of these practices is to learn this knowlege in Ratna Ling and practice them in the work class (at Dharma Publishing) wich is integral part of the teachings.

To study and practice while working is the complete learning.

To practice what we have learned, each day after the maditation teachings (at Ratna Ling) we, the students, go to the tibetan text project (at the other side of the road) to help with the binding of the tibetan books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thankas, etc.

I cannot express how much value and important the work press has in the context of our retreats. There (in the other side of the road) is where we can see and feel if the meditation in the work, is really successful.

Meditation in the work is for our Times; a time so confuse and full of tensions and problems. In the class room we work with body and mind and, at the other side of the road, we do the work practices.

Realizing that it is possible to live our everyday life, work and meditate together.

We also work with sacred texts, that are for the benefit of all religions and beliefs; to all Beings, even Sentient Beings.

The books are shipped to India and freely distributed to the tibetans that are in exile and more 9 countries, where these books and teaching were lost for centuries.

They are not only for monks, but for lay people like us to have this treasure available again.

Please, this is a letter from a studant and a being that is asking you, to look more carefully and with comprehension to this work.

With these Tibetan texts, I, my city and my country also receive this preciousness.

"How, through work, we can live in peace and equanimity".

I wish that my words can touch your understanding, in how important it is to work with the tibetan texts.

And I hope I can meet you personally next time I go to the USA,

talk about this issue and how the benefits can come for you and for all that are helping this precious event continues to happen.

Thank you very much, for spending your time reading this woman, that changed her life and the life of many.

With gratitude and appreciation,

sincerely yours,

Eleonora Furtado

## Cynthia Demidovich

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**From:** Linnea Christiani [linnea.christiani@comcast.net]  
**Sent:** Saturday, March 22, 2014 3:14 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** genegretchen@yahoo.com; Cynthia Demidovich  
**Subject:** Ratna Ling Master Use Permit

Dear Sonoma County Supervisors,

Four years ago, I wrote a letter in support of Ratna Ling to Supervisor Carrillo, whom I'd met at a Sonoma County retirement party for my sister Susie Brown. It saddens me that it's necessary to write again because the Board of Zoning Adjustment's unanimous decision on their use permit is being appealed. I'm doing so because my husband and I both believe the location of Dharma Publishing at Ratna Ling is essential to its important mission of preserving the wisdom of the Tibetan people and contributing to the Western understanding of mind, well-being and human potential.

Our relationship to Dharma Publishing is threefold:

1. We've attended retreats at Ratna Ling every year since they've been offered and helped with the production of the sacred texts as part of our programs.
2. Since 2005, we've been donors to the Tibetan Aid Project, the charitable organization which funds the production of the texts as well as their shipment and distribution at the World Peace Ceremony in India each year.
3. While trekking in the Himalayas, we've learned firsthand how much Dharma Publishing and the work that is being done in Sonoma County is valued and appreciated by Tibetan lamas and refugee communities there.

During our retreats, we've seen how Dharma Publishing's proximity to the Ratna Ling Retreat Center facilitates an important exchange between retreat attendees and its staff of volunteers. Although it can't be seen or heard from the road, the printing press is close enough to the center for retreat participants to walk there during breaks in sessions and work alongside the staff on the sacred texts as part of their programs. Likewise, Dharma Publishing's resident staff is able to attend sessions at the retreat center on Buddhism, meditation and Tibetan yoga. This expands their connection to their work and makes it easier to recruit volunteers.

The rural setting also allows both the staff and participants to practice mindful work in a quiet, meditative environment and focus on the benefits of working for the good of others through the dissemination of Buddhist teachings. The workday begins with a Buddhist teaching and chanting and workers perform their tasks in silence, treating the sacred texts with great care and respect. At the end of the workday, there's a closing chant and workers dedicate the merit of their work to all living beings. We've found it to be a unique and rewarding experience. The repetitious, production work provides an opportunity to focus directly on the task at hand and not let one's mind wander. It's also a beneficial practice that we've been able to take home and apply in our everyday lives.

Moreover, Dharma Publishing's location off Hauser Bridge Road is just twelve miles from the monastic retreat of the Tibetan Lama Tarthang Tulku where the core collection of sacred texts resides. One of the last remaining lamas to have received a complete Buddhist education before China's 1959 invasion of Tibet; Tarthang Tulku began to collect and publish the most important books that he and other lamas and monks brought with them after he was exiled to India. In 1969, he arrived in California intent on preserving the heritage of Tibet and introducing the teachings to the West. After founding Dharma Publishing, he embarked on an endeavor to locate Tibetan texts throughout the world, mass produce them in Tibetan using modern publishing technology and return them to the Tibetan people. They included works that spanned the entire range of human knowledge: philosophy, psychology, meditation, prayer, biography, history, poetry, pilgrimage guides, astrology, grammar, literature, iconography, art, medicine, ethics, teachings of the Buddha, mantra, ritual and religious practices, metaphysics, logic, social sciences and other disciplines.

His vision has led to the largest book give away in human history. Every year, for the last twenty years, Dharma Publishing has produced and shipped Buddhist texts and books to the World Peace Ceremony in Bodh Gaya, India, where they are distributed to grateful monks and nuns from India, Tibet, Nepal, Bhutan and Southeast Asia. From there, they're brought back to monasteries and institutions, often on the backs of monks as they were once transported out of Tibet. As a result, invaluable Buddhist teachings are now being passed down to a new generation of monks and nuns and ultimately, to the world. The texts can be given away without charge because they're produced with volunteer labor and funded by donations to the Tibetan Aid Project and profits from Dharma Publishing's English-language books. However, the economics of this important humanitarian effort could be jeopardized if the operation is forced to relocate.

As donors to the Tibetan Aid Project's "Fund a Library" program, we find it gratifying to see the books being produced when we attend Ratna Ling retreats and enjoy participating in the work. While wrapping sacred texts in silk and tying them with ribbons, we've often wondered who the recipients of these gifts of knowledge would be. In the spring of 2008, we had an opportunity to meet one.

After crossing an 18,000 foot pass on the Annapurna Circuit trek in Nepal, we descended into the Mustang district and eventually reached the village of Marpha, a Tibetan Buddhist town only accessible at the time by foot or horseback. That afternoon, we visited the town's monastery and were fortunate to be granted an audience with its Lama. While we were talking in his study, my husband noticed some books on the table in front of him. He picked one up and examined its spine.

"Look," he said, handing it to me, "Dharma Publishing!"

The Lama grew excited at the mention of Dharma Publishing. He was thrilled to learn we were associated with it, however indirectly. The books on the table were Western style and he soon brought down some of the silk-wrapped traditional texts from a shelf. He showed us his annotations in the margins and told us he studied from them every afternoon and used them to prepare the lessons he gave to the other monks each morning.

"I am so glad to have met you," he kept saying, "These teachings are the most important things in my life. When you go home, please let the people in California know how grateful we are for them."

On later treks in 2011, we encountered Dharma Publishing's texts in other remote monasteries as well and realized how much the work being done in Sonoma County is revered throughout the Himalayas. I'm certain if the Tibetans could voice their support for Dharma Publishing, they would tell you how much they treasure the texts as a link to their ancient culture and way of life and how close they came to losing this precious knowledge. They might even tell you why its current home at Ratna Ling is so auspicious and about the 8<sup>th</sup> Century A.D prophecy of the guru who brought Buddhism to Tibet. He foretold that *when the iron bird flew and horses ran on wheels, the Tibetan people would be scattered like ants across the face of the earth. And the Dharma would pass to the land of the red man.*

In the mid-twentieth century, not long after the invention of the airplane and the automobile; the Chinese Communists invaded Tibet and thousands of Tibetans were scattered like ants as they fled to India, Nepal and other countries. Buddhist teachings, known as the Dharma, were systematically destroyed as Chinese troops ransacked and burned Tibet's great monasteries, universities and libraries; torturing, imprisoning and murdering thousands of Buddhist monks. But then, at the end of the twentieth century, a large collection of sacred texts re-emerged in West Sonoma County on a coastal ridge once sacred to native Americans.

*The Dharma had passed to the land of the red man.*

How tragic it would be if it were now driven out of its home in Sonoma County as it was from Tibet -- out of fear, ignorance and intolerance. We implore you to not let that happen again.

Sincerely yours,

Richard and Linnea Christiani



## Cynthia Demidovich

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**From:** Augusta Thomson [athomson23@gmail.com]  
**Sent:** Friday, March 21, 2014 10:55 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** In Support of Ratna Ling Retreat Center

To Whom it May Concern,

I hope this finds you well. Back in 2008 I was a volunteer at Ratna Ling Retreat Center, where I helped to produce the Tibetan Buddhist texts which are shipped annually to Bodh Gaya, India, to be distributed for free to monks, nuns, and lay practitioners from all over Asia. This cultural preservation project is also an educational project, providing people with access to reading literature they might not otherwise receive. It is a unique and compassionate project, with far-reaching implications for cultural preservation in the Indo-Tibetan region. Not only did I feel deeply connected to the mission of the work, but, as a volunteer, the ethos of that project filtered into our daily lives, where we were encouraged to practice mindfulness, yoga, and other forms of inner reflection. The project was deeply enriching both personally and communally, and I wish to write in support of its continuation into the future.

Thank you so much for your taking the time to read and consider this.

Kind regards,  
Augusta Thomson

## Cynthia Demidovich

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**From:** brian [bberneman@hotmail.com]  
**Sent:** Friday, March 21, 2014 11:29 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Letter from retreatant - Ratna Ling Retreat Center

Dear Sir/Madame,

I write this email because I am a long term retreatant at Ratna Ling Retreat Center. I am from Argentina, where I practice the teachings of Tarthang Tulku.

As a part of my retreat I have had the opportunity to practice in depth Kum Nye Yoga, Dharma teachings and ceremonies. I have also had the privilege to work with sacred texts on the Yeshe De Tibetan Project, one of the main reasons I decided to have my retreat at Ratna Ling.

This has been one of the most important experiences of my life. One reason is because of the importance of what is being done; giving back to practitioners that lost almost everything when they had to leave Tibet due to the Chinese invasion. It is one of the most meaningful things I have done in my life.

Another reason is my own personal experience: working with the sacred texts and their energy is a very powerful practice in which I am able to use my body and mind to further develop my understanding of the teachings.

I have worked on different stages of the preparation of the sacred texts, like helping collating, dyeing the edges of the texts, wrap or slip-cased them and boxing for shipping to the World Peace Ceremony, where they are being donated to the Sangha of monks, nuns and lay practitioners.

In my experience, being able to work with the sacred texts has been a key component of my time during the retreat and my deepening in the buddhist teachings and the lineage of Tarthang Tulku.

Sincerely,  
Brian Berneman

## Cynthia Demidovich

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**From:** Lori Madoshi [lmadoshi@icloud.com]  
**Sent:** Friday, March 21, 2014 2:36 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich  
**Cc:** genegretchen@yahoo.com; writecaz@gmail.com; lmadoshi@aol.com  
**Subject:** Re: Approval of Master Use Permit for Ratna Ling Buddhist Retreat Center

Lori Madoshi  
1333 W. Steele Lane #439  
Santa Rosa, CA. 95403

Supervisor Susan Gorin  
Supervisor David Rabbitt  
Supervisor Shirlee Zane  
Supervisor Mike McGuire  
Supervisor Efren Carrillo

Re: Approval of Master Use Permit for Ratna Ling Buddhist Retreat Center  
on 4/8/14.

Dear Supervisors,

As a resident of Sonoma County, and a member of the local Buddhist community, I am requesting that you give your full support to Ratna Ling Buddhist Retreat Center on 4/8/14; and that you grant them the Master Use Permit they have applied for.

Ratna Ling is a religious facility that is operating as a retreat center, as well as, a printing facility that produces Buddhist texts. There is a great need for this facility, because of the production of the texts it produces. This facility is providing many Tibetans and Buddhist living in exile throughout the world, with a type of cultural and spiritual storehouse. It is meeting the educational and spiritual needs of many Buddhist teachers, monks, nuns and practitioners living abroad, and within the United States.

The text themselves are not only educational but they act as a type of living memory of Tibet's rich culture and history. I am hopeful that you will understand and lend your assistance, in helping the printing facility complete its task of educating, as well as, preserving Tibetan culture and history, through the printing of their sacred books and art.

Meditative retreats are also an integral part of practicing Buddhism. The need for experiencing a variety of different types retreats are referred to in many of the ancient and modern Buddhist texts. Ratna Ling Buddhist Retreat Center provides practitioners with the unique opportunity to practice in an authentic way. In an environment that is not only calm and beautiful, but also in one that is reminiscent of some of the locations mentioned in the ancient Buddhist texts.

For a Buddhist, service to the practitioners, as well as, the community at large, are viewed as being one and the same. Producing and distributing Buddhist texts in the manner that the press at Ratna Ling does, not only provides a service to its practitioners, it also provides a social service, that benefits the welfare of society as a whole. This is done by producing

religious texts that promote self-awareness, generosity, and loving kindness. These texts not only provide religious education, they also repeatedly stress the social value and importance of tolerance and compassion. This can only bode well for any community.

During the time I've spent at the retreat at Ratna Ling Buddhist Retreat Center, I found the environment tranquil and serene. At no time did I hear machinery of any kind, trucks or off road traffic. The air was fresh and clear of pollution. I am baffled by the complaints that have been filed.

So please on April 4, 2014 vote for social tolerance and compassion. Please grant Ratna Ling Buddhist Retreat Center the Master Use Permit they have applied for.

Sincerely,

Lori Madoshi  
3/21/2014

## Cynthia Demidovich

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**From:** Janet Tobin [jtobin@sonic.net]  
**Sent:** Friday, March 21, 2014 3:20 PM  
**To:** Efren Carrillo; Mike McGuire; Shirlee Zane; David Rabbitt; Susan Gorin  
**Cc:** Cynthia Demidovich  
**Subject:** In support of Ratna Ling

Dear Board of Supervisors,

Please excuse the incomplete email sent previously!

I have lived in western Sonoma County for close to 35 years, and am a retired Sonoma County employee. I have just returned from three days at the Ratna Ling retreat center. It was a time of rest and rejuvenation for me, and I am very grateful to have this facility in our county. I am writing to you in support of Ratna Ling and the beautiful spiritual community that it is. I urge you to approve the permit applications for Ratna Ling, so that it can continue to function and provide much needed support to Tibetan Buddhists in exile.

Thank you.  
Janet Tobin  
440 Bohemian Highway  
Freestone, CA 95472

## Cynthia Demidovich

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**From:** David Noonan [Dbnoonan@aol.com]  
**Sent:** Friday, March 21, 2014 5:01 PM  
**To:** David Rabbitt; Susan Gorin; Mike McGuire; Shirlee Zane; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** In Support of Ratna Ling

Dear County Supervisors,

As a Licensed Marriage and Family Therapist for the past thirty years in Marin County, I am writing you on behalf of the Ratna Ling Retreat Center. Having grown up as a dedicated American, espousing the values of our founding fathers, and having been trained as a therapist in the practice of emulating essentially these same foundational values, as to what it takes to secure and/or restore sound interpersonal relationships between both individuals and family members where bottom-line personal ethics are concerned, I am quite concerned to hear about Ratna Lings recent problems with their neighbors.

Having attended retreats at Ratna Ling for my own personal and spiritual well-being as to further grounding such essential values in my own life and community, I can tell you unequivocally that the staff which is administrating and running Ratna Ling, and on a day to day basis, provides just the kind of ethical concern and respectful consideration for not only it's retreat attendees, but for it's surrounding community and neighboring properties as well.

As the poet Robert Frost once put it, "good fences make good neighbors", and it is exactly in this spirit of respect for the rights of their neighbors and their communities overall well-being by which they conduct themselves. In fact, such "deep respect for the other person" is a core part of their underlying spiritual practice, and for their neighbors to indicate otherwise is not only completely erroneous, but in fact borders on slander.

In my years of association with Ratna Ling and with other attendees, there simply are no grounds whatsoever for impugning any kind of violation on Ratna Ling's part regarding their dedication to restoring ancient Buddhist texts as to the issue of environmental pollution. Nor does the issue of any kind of loud or disturbing noise warrant any credible concern, especially when one considers the fact that a majority of their retreats practice in the silence of meditation, as well as in the observance of maintaining as much quiet as possible whenever going about daily activities. Such a premium on silence is a core value of any Buddhist community.

So whatever it really is that is at the crux of their neighbors complaints, it has nothing to do with these alleged issues. Perhaps Ratna Ling's neighbors need to consider Robert Frost's epic poem and remember how profoundly wise, just, honest and deeply ethical this American icon was.

If I can be of any further assistance in clearing this matter up, please don't hesitate to contact me.

Respectfully,

David B. Noonan  
415-388-2340

## Cynthia Demidovich

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**From:** goldproj@terra.com.br  
**Sent:** Friday, March 21, 2014 7:33 PM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** Ratna Ling's Application

To:

County of Sonoma Board of Supervisors

575 Administration Drive, Room 100A

Santa Rosa, CA 95403

Supervisor Susan Gorin

Supervisor David Rabbitt

Supervisor Shirlee Zane

Supervisor Mike McGuire

Supervisor Efren Carrillo

Ms. Cynthia Demidovich, Planner [Cynthia.Demidovich@sonoma-county.org](mailto:Cynthia.Demidovich@sonoma-county.org)

County of Sonoma Permit & Resource Management Department

2550 Ventura Avenue

Santa Rosa, Ca 95403

Dear Supervisors

I am writing this letter to ask for support for Ratna Ling's Application so that it may continue to be an important part of my life and of the lives of my family and of many friends and colleagues.

I am British, but have been living in São Paulo, Brazil since 1977.

During the last years I have been participating in retreats and other activities at Ratna Ling Retreat Centre every one or two years. My time spent at Ratna Ling, combined with various trips through wonderful Sonoma County is always a high point in my life, allowing me to "recharge my batteries" just by being in the amazingly beautiful, stimulating and, at the same time relaxing environments that Ratna Ling and Sonoma County provide, and to pursue my spiritual development, participating in the production of sacred Tibetan Buddhist texts for donation to the refugee Tibetan Monasteries and communities spread

throughout Asia and the world and to key libraries around the world. This work is so important for the preservation of such important cultural, spiritual and religious traditions and teachings, unfortunately constantly under threat.

My suggestions to Brazilian and other friends and colleagues, to choose Sonoma County and Ratna Ling as high priority for tourism and/or spiritual development have been, and are being, taken up by a growing number of people, who always thank me very much after their visits.

So, I am very grateful to both Sonoma County and Ratna Ling for these opportunities that contribute so significantly to the quality of life for myself, my family, friends and colleagues.

Lastly, I would like to thank the Supervisors for receiving this letter and for their time in reading and considering it.

Yours faithfully,

Philip Gold

21st March 2014

Rua Galeno de Almeida, 207, Apto 21

Jardim América,

São Paulo – SP

CEP 05410-030

Brazil

Tel: 55-11-9-9409-6222

Philip Gold Skype: philipgold1

Mobile: 55-11-9-9409-6222 Tel: 55-11-2337-8189



## Cynthia Demidovich

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**From:** Sergio Valentim [ashevalentim@gmail.com]  
**Sent:** Friday, March 21, 2014 9:55 AM  
**To:** Efren Carrillo; Susan Gorin; Mike McGuire; David Rabbitt; Shirlee Zane  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com

Dear Sirs

My names é Sergio Valentim , I am from Brazil.

I would like to let you know that I come Ratna Ling Retreat Center for over 7 years studying and practicing meditation, reflecting on how to become a good human being and how to be useful to my Country and whole Society.

As you know Brazil, my country needs a lot of help and support in many sectors. My learning Ratna Ling has been very important, I have been able to help many people and contributes in different ways in my country.

Through the training I've been having all this time Kum Nye, Yoga Meditations and Traditional Dharma Teachings I have valued mostly my time of work practice.

Each day we go to the Tibetan Text Project and help with the binding of Tibetan Books. Sometimes we collate, edge dye books, help filling the pockets of the binder or tip in thankas.

I cannot express in words how important for me this work practice time has been. It is like meditation, and I am engaged with ancient texts. It is also very valuable because in the classroom we do work with the body and mind, but not with the hands so during work practice I actually touch the sacred text materials and help them into their next phase of process. It is just like I am embodying the books that I help to bind.

Of course I also know what happens to the books, that they are being shipped to India and freely distributed to the Tibetan monks and nuns in exile. I know people who have gone to the annual distribution and they have tried to convey to me how appreciative the nuns, monks, and lay people are to receive these ancient texts.

Please hear me when I say that this work with the Tibetan texts is most precious to me, and for me it is an integral part of learning the Dharma and making my life more spiritual.

Sincerely yours,  
Sergio Valentim  
5511 987244070

## Cynthia Demidovich

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**From:** Rckmdphd [rckmdphd@aol.com]  
**Sent:** Friday, March 21, 2014 10:06 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo; Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Hearing on Master Use Permit application for Ratna Ling

March 19, 2014

Dear Sir or Madame:

I am writing in support of the enormously beneficial work being done at Ratna Ling, which has had a profound effect on the preservation of the Tibetan language, religion, culture, and the arts. Many thousands of Tibetan sacred texts produced at Ratna Ling have been given away, entirely free of charge, to the tens of thousands of members of the Tibetan exile community who attend the World Peace Ceremony in Bodh Gaya, India each year.

These books then travel with their new owners by bus, train, horseback, or on foot to their home villages throughout the Himalayan area. I have had the opportunity to assist with this book distribution in India on more than a dozen occasions. I have seen the gratitude on the faces of these students and practitioners, male and female, young and old, from Ladakh, Bhutan, Sikkim, Nepal, and north and south India - wherever the Tibetan traditions are studied. They have told me, "Thank you for helping to save our culture."

This is valuable work, that reflects well on all of us, and those in Sonoma County especially, who contribute in any way to the preservation of this culture and its literature, and to the universal values of wisdom, generosity, and loving-kindness.

I have also visited Ratna Ling multiple times, and am always amazed at the sense of peace, quiet, and natural beauty of the place. It is a sanctuary of sorts, and wildlife of all kinds, including nearly tame deer and groups of wild turkeys, seem to feel as at home there among the redwoods as the human guests and residents do.

May the good works being done there continue.

Best wishes,

Richard Kingsland, MD, PhD

## Cynthia Demidovich

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**From:** Ken Lippman [klippman@vineyardequipmentconsulting.com]  
**Sent:** Friday, March 21, 2014 8:31 AM  
**To:** Susan Gorin; David.Rabbit@sonoma-county.org; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** The hearing on April 8, 2014 concerning the Master Use Permit for Ratna Ling

To all the Sonoma County Supervisors,

My name is Ken Lippman. I own a business in Sonoma County and am a long time resident. My family and I live in the Larkfield area of Santa Rosa.

I would like to show my support for Ratna Ling and all the many positive actions that this community has and is continuing to do for people both locally and far away.

The work being done at the press is strictly religious in nature and not a commercial enterprise. I have done volunteer work at the press and in other areas of Ratna Ling.

My family and I have stayed there overnight and considered it a peaceful experience. The running of the presses did not disturb us in any way.

For me, and I believe most of the other volunteers, working at the press is a very strong part of our religious practice.

The texts that are being reproduced are of great benefit for many that had no access to these religious texts.

Being able to do this work in a calm and concentrated manner is what the religious practice is all about.

I understand that Ratna Ling is located in a rural part of the county and no one wants to see that area become industrialized. Ratna Ling has gone to a lot of effort to minimize

their impact on the local community. There are a number of businesses in the area that produce noise and traffic, from tourist traffic on Highway 1 to the logging and vineyard operations

in the surrounding hills. A careful review of the Master Use Permit for Ratna Ling has been done. You all have approved this permit unanimously back in 2012.

As a business man and longtime coastal conservationist, I strongly support the activities at Ratna Ling.

Thank you,

Ken Lippman

258 Angela Dr.

Santa Rosa, Ca.

95403

## Cynthia Demidovich

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**From:** bsatkin@aol.com  
**Sent:** Friday, March 21, 2014 9:49 AM  
**To:** David Rabbitt; Susan Gorin; Mike McGuire; Shirlee Zane; Efren Carrillo  
**Cc:** Cynthia Demidovich  
**Subject:** re: Ratna Ling

Dear County Supervisors:

It has come to my attention that there has been some neighborhood concern about the printing press operation at Ratna Ling retreat center.

Over the course of the last several years, I have benefited enormously from the service Ratna Ling provides and have referred clients to the center for retreat and healing. Neither I, nor any of my clients, have ever experienced any disturbance whatsoever from noise or any other type of environmental pollution. On the contrary, Ratna Ling's environment and extraordinary staff have provided a valuable healing context for all of us.

Having a lifelong background in anthropology, psychology, healing and spiritually teaching, I applaud the work Ratna Ling is doing to preserve sacred text for the benefit of future generations, and call upon the community to support their important endeavor.

Please consider that the loss of such contributions to preserve the world's ancient wisdom tradition impacts all of us, especially if we understand the the larger escalating global crisis is the result of losing familiarity with the values these wisdom traditions uphold. Thank you for your consideration in support of Ratna Ling's service.

Sincerely,

Brad Satkin, MA  
333 Miller Ave #8  
Mill Valley, CA  
415-364-3016

## **Cynthia Demidovich**

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**From:** pkilroe@comcast.net  
**Sent:** Friday, March 21, 2014 8:21 AM  
**To:** Susan Gorin; David Rabbitt; Shirlee Zane; Mike McGuire; Efren Carrillo  
**Cc:** Cynthia Demidovich; genegretchen@yahoo.com  
**Subject:** Support for Ratna Ling

Supervisor Susan Gorin, Supervisor David Rabbitt, Supervisor Shirlee Zane, Supervisor Mike McGuire, Supervisor Efren Carrillo

County of Sonoma Board of Supervisors

575 Administration Drive, Room 100A

Santa Rosa, CA 95403

Dear Supervisors Gorin, Rabbitt, Zane, McGuire, and Carrillo,

I am writing to express my wholehearted support for the continuing operation of the Ratna Ling retreat center in Sonoma County. The center offers vital opportunities for spiritual practice in northern California, enjoyed by many people from many different regions. The sense of tranquil well-being enjoyed by retreatants at the center as well as the generosity to the Sonoma County community that Ratna Ling regularly engages in make this center a positive contributor to Sonoma County life.

The press that operates at the center is an integral component of the spiritual and cultural work being done to preserve and disseminate the sacred texts of Tibetan Buddhism. This work is known, supported, and respected internationally, and its continuation in Sonoma County is highly significant as a practice of religious freedom and a stand against the human rights abuses and cultural genocide currently being carried on by the Chinese government in Tibet.

Therefore I urge you to support the continued presence of Ratna Ling in Sonoma County and the important work being done there.

Sincerely,  
Patricia Kilroe  
4385 Cottonwood Road  
Silver City, NM 88061

CC: Ms. Cynthia Demidovich, Planner

County of Sonoma Permit & Resource Management Department

2550 Ventura Avenue

Santa Rosa, Ca 95403

## Cynthia Demidovich

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**From:** Susan Upchurch  
**Sent:** Wednesday, March 05, 2014 7:19 AM  
**To:** Cynthia Demidovich  
**Subject:** Fwd: Meeting regarding Ratna Ling  
**Attachments:** new PROTECT SONOMA COUNTY.docx; ATT00001.htm

for the hearing record

Sent from my iPad

Begin forwarded message:

**From:** Bruce Johnson <[sculptorbruce@gmail.com](mailto:sculptorbruce@gmail.com)>  
**Date:** March 4, 2014 at 11:12:44 PM PST  
**To:** <[Efren.Carrillo@sonoma-county.org](mailto:Efren.Carrillo@sonoma-county.org)>, <[Susan.Upchurch@sonoma-county.org](mailto:Susan.Upchurch@sonoma-county.org)>, <[Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org)>, <[Michelle.Whitman@sonoma-county.org](mailto:Michelle.Whitman@sonoma-county.org)>, <[Andrea.Krout@sonoma-county.org](mailto:Andrea.Krout@sonoma-county.org)>, <[David.Rabbitt@sonoma-county.org](mailto:David.Rabbitt@sonoma-county.org)>, <[Pat.Gilardi@sonoma-county.org](mailto:Pat.Gilardi@sonoma-county.org)>, <[Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org)>, <[kellyburns@sonoma-county.org](mailto:kellyburns@sonoma-county.org)>, <[mikemcguire@sonoma-county.org](mailto:mikemcguire@sonoma-county.org)>  
**Subject: Meeting regarding Ratna Ling**

Dear Sonoma County Supervisors,

I am a steering committee member of Coastal Hills Rural Preservation. I am one of several citizen, including Rose Zoia, scheduled to meet with you at the end of March regarding Ratna Ling and Dharma Publishing.

Attached is an open letter that articulates my objections to a new use permit for Ratna Ling. I presented this letter to the Sierra Club last night and will continue to present this information as best I can to the general public.

I would like you to have time to review this letter before we meet and consider that this matter coming before you on April 8, 2014 is of vital importance to the County.

The basis for approving an "ancillary printing facially" in 2004 is based on this one sentence.

"This use is consistent with the intent and purpose of the RRD zoning district because it is similar to a non-commercial club or lodge."

Dharma Publishing is no Grange Hall activity. The Ladies Auxillary does not work six days per week making tens of thousands of quilts for new born babies. Ratna Ling is nothing like a club or lodge. Ratna Ling is a factory.

Please visit the "ancillary" printing facility at Ratna Ling and decide for yourself if it is a club activity or a factory.

I hope you can find time to read the attached letter before we meet and I look forward to discussing the issues with you.

Sincerely, Bruce Johnson

## **OPEN LETTER:**

### **PROTECT SONOMA COUNTY - REGULATE RATNA LING**

**There is an Industrial scale printing plant, a publishing house, large warehouses and an Internet bookstore with shipping and handling facilities located at Ratna Ling Retreat Center on Seaview Ridge in Rural Sonoma County. Such uses do not conform to Ratna Ling's Use Permit UPE 04-0032, nor to rural zoning RRD240 nor to Sonoma County's General Plan. Sonoma County has failed to regulate the industrial activity of Ratna Ling Retreat Center. Sonoma County has failed to inspect code violations filed against Ratna Ling by a concerned citizens group Coastal Hills Rural Preservation.**

**In 2004 the Tibetan Nyingma Meditation Center, TNMC, purchased a remodeled small (113 acre) guest ranch known as Timber Hill. TNMC is a \$60 million conglomerate of 12 organizations including Dharma Publishing. TNMC also owns Odiyan Retreat Center which is the large Tibetan temple complex a few miles north of RL.**

**Let me offer my inflammatory remarks to get your attention.**

**Odiyan is a unique model. The Rinpoche, spiritual leader, makes it clear. "Odiyan is NOT a traditional monastery dedicated to contemplation and prayer but a place of rigorous, demanding physical work." And he is not kidding.**

**Workers working 6 days per week and 12 hours per day are called "retreatants". They need not be Buddhists but they must volunteer. Work is called "skillful means" and is considered a religious practice rather than work. Workers receive room and board and a stipend of \$5 per day. Workers are not paid wages, accrue no Social Security, provide their own medical insurance, or not, and after years of work have no savings and nowhere to go.**

**The work force at Odiyan is said to be around 40. If Odiyan paid workers \$10 per hour it would represent \$1.4 million per year in**



unpaid wages. Wal-Mart should take notes. Some workers leave and many workers choose to stay but all the workers are exploited.

Construction at Odiyan has continued non-stop for more than 30 years. In ways Odiyan is a shimmering Shangri-La with copper and gold domed roofs – a city on the hill. But it is not a city because there are no citizens. At Odiyan there is a Rinpoche, a billionaire benefactor and a staff of workers. The Rinpoche lives in seclusion on a private estate with a staff that is instructed to divert their eyes in his presence.

Odiyan is someone's Winchester Mystery House, a billionaire's folly with temples and stupa and gardens and two private residences and a heliport. Odiyan is an extreme gated community protected by 8' prison like fencing topped with razor wire and backed up by eight strands of electric wire and security cameras. This is a STRANGE PLACE and someone needs to point out that the emperor has no clothes.

Ratna Ling is called an Annex to Odiyan and it is organized around the same practice of "rigorous, demanding physical work" and \$5 a day stipends. Today Ratna Ling is a 60,000sf industrial printing facility with a resident workforce and a daily contract workforce supplied by Odiyan. Ratna Ling is a company town.

Thus end my inflammatory remarks. I make note of this because what follows seems inflammatory as well.

TNMC first proposed "an Annex to Odiyan" and to purchase the remodeled Timber Hill property if they could convert the existing 13,000 lodge to a religious printing facility and use the guest cottages as housing for workers. PRMD, Permits and Resource Management Department, correctly rejected this proposal, because converting a lodge to and industrial use requires industrial zoning. TNMC purchased the property anyway and repackaged their proposal as Ratna Ling Retreat Center. By simply changing their language to "retreat center" that included

an “ancillary printing facility” PRMD was willing to approve a use permit.

Even though PRMD denied converting a 13,000sf lodge to a printing facility they were willing to approve the construction of a new 18,750sf “ancillary” printing facility. PRMD asserted: ***“This use is consistent with the intent and purpose of the RRD zoning district because it is similar to a non-commercial club or lodge”.***

**NON-COMMERCIAL CLUB OR LODGE?** Look at the pictures. **THIS IS A FACTORY!** This is not a Grange Hall activity. The Ladies Auxiliary does not work 6 days per week making tens of thousands of quilts for newborn babies. Ratna Ling is nothing like a club or lodge. RL is a **FACTORY**.

PRMD made a mistake. PRMD gave RL a windfall, sweetheart, good old boy 2004 use permit. Had RL conformed to this use permit there would be no recourse but to allow this use to continue. But RL never intended to conform to the conditions of the 2004 use permit. RL believes they are exceptional and are doing exceptional work and this sense of “exceptionalism” allowed them to proceed with their own agenda.

No one imagined that these Buddhists would be so zealous as to ignore use permits, lie about their intentions and move their entire publishing empire to Ratna Ling without an industrial use permit. Since 2004 RL has methodically proceeded with their original plan to convert Timber Hill Ranch to their own company town.

In 2004 all of Dharma Publishing was located in Berkeley as it had been for 30 years. The RL “ancillary” press facility was a satellite of DP. PRMD’s 2004 staff reports reads, ***“To approve this use permit a finding must be made indicating that the printing facility is an ancillary use to the retreat center.”*** By 2007 all of Dharma Publishing was moved from Berkeley to Ratna Ling and the satellite-printing facility had now become the mother ship and hub of the Dharma Publishing empire. All DP

printing now occurs at RL. According to their own website: DP is the largest Tibetan Buddhist press in the world. At this scale the press facility is clearly no longer ancillary to the retreat center and it is industrial land use. The retreat center's main purpose is to house Dharma Press, Dharma Publishing, Dharma Bookstore and Dharma Enterprise workers.

But this is just the beginning. Because of the move from Berkeley, DP quickly ran out of room at RL. In 2008, RL proposed a General Plan Amendment (GPA) to build an 8,000sf exhibition hall and 90,000sf of underground warehouses which they euphemistically called "Sacred Treasuries". This plan required moving 250,000 cubic yards of soil. (25,000 dump-truck loads) At an estimated \$300 per square foot this would have been a \$29 million addition to the so-called "ancillary" printing facility. If you look at the copper and gold temples at Odiyan it is clear that TNMC has the means and intention to build such a complex.

Local community members organized to stop this outrageous expansion. Coastal Hills Rural Preservation, (CHRP) was formed and 175 residents petitioned the County to deny this expansion. Because of public pressure and the outrageous and untenable proposal RL withdrew their General Plan Amendment but not their pernicious desire to expand.

Before the 2008 GPA was withdrawn RL requested and PRMD granted permits for 39,000sf of temporary storage tents that they called "accessory structures". These tents, the size of a Wal-Mart store, contain one million cubic feet of storage. Never the less PRMD permits them as "accessory structures" Accessory structures are most often gazebos, decks and carports and require no public hearings to permit. How convenient, no public hearings. Fortunately the temporary permit had a clearly defined 2-year time limit. Even with a one year extension the warehouse permits expired 2 years ago but the tents are still in use.

And now, on February 28, 2014 PRMD's Subsequent Mitigated Negative Declaration claims, "No physical expansion of the existing accessory not for profit Tibetan Buddhist printing

facility is proposed.” Guess whose lawyer wrote that line? Expired permits apparently mean nothing to PRMD. Because the tents are there, they reason, it is not a change to leave them even though it triples the size of the permitted press facility. And with equal stealth they have redefined a “non-commercial” press as a “not for profit” press.

In 2008 CHRP, our community group, met with RL staff and lawyers to negotiate the downsizing of the printing operation at Ratna Ling. We argued that having all of DP located at RL was industrial land use and primary land use. We offered to give RL two years move DP and the storage tents elsewhere in lieu of filing a complaint. RL insisted, “printing was not negotiable” CHRP’s only recourse was to file a code enforcement complaint with the County which it did in February of 2010.

CHRP submitted a 300-page indexed and collated binder that took 6 months to compile. Despite the code enforcement complaint there is no record that Code Enforcement ever inspected the press facility and PRMD simply reports that the field report is “lost”. LOST? WELL DO IT OVER PRMD!

Instead of enforcing the 2004 use permit PRMD allowed RL to file for a new use permit PLP08-0021 that will legalize past violations and make the temporary warehouses permanent. This use permit will allow RL to triple the permitted size of the printing facility from 18k to 60k and, it will triple the allowable number of factory workers from 27 to over 93, and it will almost double the resident population from 67 to 123. One hundred and twenty three residents is the equivalent to 30 families one a small 120 acre RRD240 parcel.

We can identify no other RRD parcel in Sonoma County with his intensity of use not to mention a 60,000sf factory. The new permit also allows for previously unpermitted industrial warehousing, unpermitted commercial printing, unpermitted commercial manufacturing and an unpermitted Internet sales and distribution center.

**In April of 2012 PMRD recommended and the Board of Zoning Adjustment approved a new use permit. CHRP immediately appealed this decision to the Sonoma County Board of Supervisors. It has been almost 2 years since we filed our appeal and now April 8, 2014 is our third hearing date.**

**Now is the time to regulate Ratna Ling not reward them. RL received an unprecedented use permit in 2004 based on the ridiculous comparison to being "like a non commercial lodge or club." PRMD's timidity to regulate a non-profit religious group and allow industrial land use in RRD Zoning can be remedied. RL's own egregious behavior has put their use permit in jeopardy. In such egregious cases the Board of Supervisors has the right and the obligation to enforce or rescind existing use permits.**

**Industrial printing and warehousing belong back in the industrial area of Berkeley where they were for 30 years. This RRD industrial use could be precedent setting for the next large scale commercial use proposed. Enforce the General Plan!**

**Without strong public opposition we fear that the Sonoma County Board of Supervisors will rubberstamp this new PLP08-0021 use permit. It is up to citizens to make their voices heard. We must demand that the Board of Supervisors protect the environment, enforce the General Plan and Regulate Ratna Ling.**

**Bruce Johnson  
31400 Seaview Road - Cazadero, CA 95421 - 707 847 3323**

## Cynthia Demidovich

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**From:** deline [objectsdeline@mindspring.com]  
**Sent:** Friday, March 07, 2014 12:48 AM  
**To:** Cynthia Demidovich  
**Subject:** 40 year resident requests..... to please.... DENY..... Ratna Ling Retreat Center and Dharma Press for Master Use Permit Application PLP 08-0021

**Importance:** High

### Greetings:

I purchased property on Seaview Road in 1972. I have lived, worked and volunteered in this community since 1974. For 40 years I have been involved in the community I have been a teacher at Ft. Ross School, a California State Park Ranger Peace Officer and a member of the Timber Cove Fire Department. I am part of the community and chose this region from the beginning because of its rural nature and distance from commercial enterprise. My land is not only for me but the generations of my family that it will be passed on to.

I am surprised that the Board of Supervisors have been misled and deceived by the Ranta Ling Project. This is not a retreat or holy educational facility. It is a fully functioning, operational manufacturing facility. It is hard for me to understand that you do not see this as such. Their failure to ignore the implements set down by the Board and their continuing expansion and production is enough proof that they feel they are above any laws or ordinances that the County of Sonoma may try and enforce. I find it hard to understand how the Board still would entertain any aspect of their permit process after they have not followed the Board's interim declarations over the last decade.

I could go on and on; I could just have sent the form letter that does state the facts of this ongoing disregard for County law. Instead I request that you send me a short written explanation of why this organization who

has transgressed Sonoma County government's requests and ordinances,  
yet still is even given an audience by you.

Regards,  
William Deline  
31250 Seaview Rd.  
Cazadero, Ca. 95421



Supervisor Efren Carrillo  
Sonoma County Administration Building  
575 Administration Drive, Room 100 A  
Santa Rosa, Ca 95403

March 5, 2014

Dear Supervisor Carrillo,

The Board of Directors of the Rural Alliance urges you to recommend denying the application by Ratna Ling Retreat Center and Dharma Press for Master Use Permit application PLP 08-0021. They seek to continue and expand an already oversized industrial book factory in the coastal hills.

The Sonoma County Plan permits a religious retreat in this zone (RRD) but not a large scale factory. The printing operation is already in violation of its 2004 Use Permit conditions. Since the operation pays no taxes due to a religious exemption, it brings no benefit to the county yet heavily uses public roads and other infrastructure. Furthermore, these books can be and have been printed in an urban industrial area much closer to an international distribution point. Now materials are trucked in from urban areas and the finished products transported out again to the port of Oakland at great environmental cost.

Sonoma County's zoning regulations are to protect, enhance and sustain its resources. This large scale industrial printing factory at Ratna Ling, currently 60,234 square feet and attempting to grow, is clearly not compatible, desirable, nor appropriate for a rural agricultural area.

Please protect coastal Sonoma County by upholding the zoning regulations and denying application PLP08-0021.

Sincerely,

*Catherine Sharp*

Catherine Sharp for the Board  
319 S. Brush St  
Graton CA 95444

cc: Tennis Wick, Sonoma County Planning Director  
cc: Cynthia Demidovich, Project Planner III

P.O. Box 983 \* Sebastopol, CA 95473 \* 707-823-1839



SUBJECT: File No. PLP08-0021, Ratna Ling Retreat Center, Hearing date 1 / 27/2014

December 21, 2013

Dear Sonoma County Supervisor:

Land use is the overriding issue at the upcoming January 27, 2014 BOS hearing regarding Ratna Ling and Dharma Press

Manufacturing and Warehousing is industrial land use whether it is for profit or not for profit and whether it is religious or non-religious landowner.

**Industrial Land Use:**

You can see from photos of the interior of Dharma Press's manufacturing facility at Ratna Ling that this is undeniably a factory. Dharma Press is a six-press facility not a one-press facility described in the 2004 use permit nor the one press facility described in the current PLP08-0021 staff report. By 2008 all of Dharma Press with new state of the art million dollar presses was moved from an industrial zone in Berkeley to Ratna Ling in violation of their 2004 RRD240 use permit.

Our coastal Resource and Rural Development area has been reserved by the county for open space, recreation, agriculture, animal husbandry, and those industries and commercial businesses that utilize, serve, and process the products of the land. Printing is an industrial activity and has no land based or agricultural based component. Ratna Ling has exceeded every major limit on its printing facility set by its 2004 use permit including the size of the printing facility, number of presses, number of books, number of workers, hours of operation, number of truck deliveries and the production of non text materials. A code violation complaint was filed but the field report was lost.

By what criteria can PRMD and the BOS assert that a 60,000 square foot manufacturing facility as it exists today at Ratna Ling is an appropriate land use for a property zoned RRD 240?

**Primary Use:**

In 2004 all of Dharma Publishing was located in Berkeley and Ratna Ling Retreat Center was granted one press to support religious retreat activities. The 2004 staff report reads, "To approve this Use Permit a finding must be made indicating that the printing facility is an ancillary use to the retreat facility." By 2007 all of Dharma Publishing was moved from Berkeley to Ratna Ling. According to their website at that time "The key focus of Ratna Ling is the Tibetan text preservation project." One must conclude that this press facility is no longer ancillary to the Retreat Center. In truth, the retreat center's main purpose is to house Dharma Press, Dharma Publishing and Dharma Book Store workers.

In 2008 Ratna Ling filed for a General Plan Amendment – Special Area Policy to build almost 100,000 square feet of underground warehouse caves moving 250,000 yards of soil. At \$300 per foot this would have been a \$30 million addition to a so-called ancillary use. Because of community pressure they abandoned this application but not their desire to expand.

Given their website claims about "key focus" and their obvious economic priorities such as a \$30 million dollar warehouse, by what criteria can PRMD or the BOS now make a finding that the printing facility is an ancillary use to the Retreat Center?

**Unprecedented Use:**

Ratna Ling's 2004 use permit allows for a Retreat Center with an ancillary 18,000 sq. ft. printing facility on a 100-acre parcel zoned RRD240. We can identify no other Sonoma County parcel of land zoned RRD 240 that allows for 67 residents and an 18,000 sq. ft. ancillary manufacturing facility. If you cannot identify such a parcel then you must conclude, as we do, that Ratna Ling's 2004 use permit is unique, exceedingly generous and unprecedented.

Ratna Ling's current use permit application will allow for a 60,000 sq. ft. industrial printing facility, 3 times the size permitted in 2004, and it will allow for almost twice as many residents, up to 120 or the equivalent of 30 families on one RRD 240 parcel. Ratna Ling's 2004 use permit was unprecedented.

By what criteria can PMRD or the BOS possibly allow such a radical expansion of unprecedented use in an RRD zone without a General Plan Amendment and an EIR?

Conclusion:

Ratna Ling received unprecedented windfall use permit in 2004. They have exceeded every limit placed on their ancillary printing facility. If a permit applicant grossly violates the terms of their use permit and a code violation complaint is filed, as it has been, the County has the right and the obligation to enforce or rescind that permit. It is time to regulate Ratna Ling not reward RL. A big box factory in rural Sonoma County defies the General Plan and RRD zoning. A big box factory in rural Sonoma County is without precedent and should remain so. Without a GPA and an EIR Ratna Ling should strictly comply with their existing 2004 use permit UPE 04-0032 or have that permit rescinded. For a one press printing facility to be considered ancillary Dharma Press, Dharma Publishing, Dharma Manufacturing, Dharma Warehousing, Dharma Book Store and Dharma Shipping and Distribution Centers must be located in appropriately zoned commercial and industrial areas other than Ratna Ling. Now is the time to regulate Ratna Ling and deny PLP08-0021. Protect rural Sonoma County. Enforce the General Plan. Deny this use permit.

Bruce Johnson  
31400 Seaview Road  
Cazadero, CA 95421  
707- 847-3323  
[www.formandenergy.com](http://www.formandenergy.com)

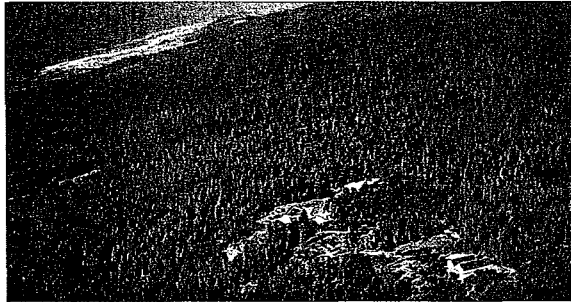
[Efren.Carrillo@sonoma-county.org](mailto:Efren.Carrillo@sonoma-county.org)  
[Susan.Upchurch@sonoma-county.org](mailto:Susan.Upchurch@sonoma-county.org)

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[kellyburns@sonoma-county.org](mailto:kellyburns@sonoma-county.org)



*There's a printing factory hidden in our coastal hills...*

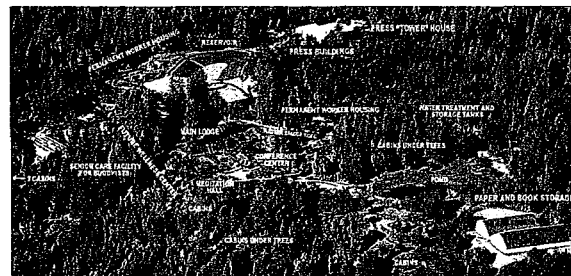
**U**nder the cover of Ratna Ling Retreat, Dharma Press moved its entire printing factory from an industrial section of Berkeley to the hills above Cazadero. Granted one press to support religious retreat activities in 2004, Dharma Press manufacturing continued to expand until it became the primary activity at the site: a **large-scale, multi-million dollar commercial industry that violates local zoning and the General Plan.** This is a land use issue that will set a precedent for all rural areas in the county. Dharma Press is now asking for a new use permit that will allow it to triple in size to **over 60,000 square feet, six presses running six days a week, permanent tent warehouses that do not conform to fire-code safety standards, housing for 94 workers, and unlimited book production.**

**A**ll materials and labor are transported from large urban areas to the printing factory, and the finished product again transported by 40' truck and trailer back to the same urban areas. The carbon footprint of each book produced is huge.



This coastal Resource and Rural Development area has been reserved by the county for open space, recreation, agriculture, animal husbandry, and those industries and commercial businesses that utilize, serve, and process the products of the land. Ratna Ling Retreat and Dharma Press **pay no taxes, nor do they provide jobs to local residents**, but they threaten our safety with highly combustible, dense-volume paper storage warehouses in a coastal forest, and burden our fragile, narrow roadways with 40-foot tractor trailers daily.

**C**oastal Hills Rural Preservation has appealed this use permit application. After 18 months, we have a hearing date:



**Board of Supervisors' Hearing**  
 DENY Use Permit PLP08-0021  
 Ratna Ling Retreat and Dharma Press  
**Tuesday, JANUARY 28, 2014, 2 p.m.**  
 575 Administration Dr., Rm. 102A,  
 Santa Rosa, CA 95403

*Also please come to our*  
**Community Information Meeting**  
**Monday, JANUARY 13, 2014, 7 p.m.**  
 Fort Ross School  
 3600 Seaview Rd., Cazadero, CA 95421

*Dharma Press Industrial Park at Ratna Ling Retreat*

## Cynthia Demidovich

---

**From:** Susan Upchurch  
**Sent:** Sunday, December 22, 2013 11:42 PM  
**To:** Cynthia Demidovich  
**Subject:** Fwd: SUBJECT: File No. PLP08-0021, Ratna Ling Retreat Center, Hearing date 1 / 27/2014  
**Attachments:** BOS Letter re Ratna Ling Land Use.docx; ATT00001.htm; CHRP Postcard Final 2.pdf; ATT00002.htm

fyi

Sent from my iPad

Begin forwarded message:

**From:** Efren Carrillo <[Efren.Carrillo@sonoma-county.org](mailto:Efren.Carrillo@sonoma-county.org)>  
**Date:** December 22, 2013 at 11:14:06 PM PST  
**To:** Susan Upchurch <[Susan.Upchurch@sonoma-county.org](mailto:Susan.Upchurch@sonoma-county.org)>  
**Subject:** Fwd: SUBJECT: File No. PLP08-0021, Ratna Ling Retreat Center, Hearing date 1 / 27/2014

Please share with appropriate staff. Thanks!

Sent from my iPhone

Begin forwarded message:

**From:** Bruce Johnson <[sculptorbruce@gmail.com](mailto:sculptorbruce@gmail.com)>  
**Date:** December 21, 2013 9:44:05 PM PST  
**To:** <[Efren.Carrillo@sonoma-county.org](mailto:Efren.Carrillo@sonoma-county.org)>, <[Susan.Upchurch@sonoma-county.org](mailto:Susan.Upchurch@sonoma-county.org)>, <[Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org)>, <[Michelle.Whitman@sonoma-county.org](mailto:Michelle.Whitman@sonoma-county.org)>, <[Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org)>, <[Pat.Gilardi@sonoma-county.org](mailto:Pat.Gilardi@sonoma-county.org)>, <[David.Rabbitt@sonoma-county.org](mailto:David.Rabbitt@sonoma-county.org)>, <[Andrea.Krout@sonoma-county.org](mailto:Andrea.Krout@sonoma-county.org)>, <[mikemcguire@sonoma-county.org](mailto:mikemcguire@sonoma-county.org)>, <[kellyburns@sonoma-county.org](mailto:kellyburns@sonoma-county.org)>  
**Subject:** SUBJECT: File No. PLP08-0021, Ratna Ling Retreat Center, Hearing date 1 / 27/2014

Dear Sonoma County Supervisors,

Please read the attached letter, considered the attached postcard and learn more at [www.sonomacoastalhillsruralpreservation.org](http://www.sonomacoastalhillsruralpreservation.org)

Merry Christmas and integrity in the new year.

Sincerely, Bruce Johnson

## Cynthia Demidovich

---

**From:** Susan Upchurch  
**Sent:** Tuesday, December 24, 2013 11:11 AM  
**To:** Cynthia Demidovich  
**Subject:** Fwd: SUBJECT: File No. PLP08-0021, Ratna Ling Retreat Center, Hearing date 1 / 27/2014

For the record

Sent from my iPhone

Begin forwarded message:

**From:** Bruce Johnson <[sculptorbruce@gmail.com](mailto:sculptorbruce@gmail.com)>  
**Date:** December 24, 2013 at 10:43:11 AM PST  
**To:** <[Efren.Carrillo@sonoma-county.org](mailto:Efren.Carrillo@sonoma-county.org)>, <[Susan.Upchurch@sonoma-county.org](mailto:Susan.Upchurch@sonoma-county.org)>, <[Shirlee.Zane@sonoma-county.org](mailto:Shirlee.Zane@sonoma-county.org)>, <[Michelle.Whitman@sonoma-county.org](mailto:Michelle.Whitman@sonoma-county.org)>, <[Susan.Gorin@sonoma-county.org](mailto:Susan.Gorin@sonoma-county.org)>, <[Pat.Gilardi@sonoma-county.org](mailto:Pat.Gilardi@sonoma-county.org)>, <[David.Rabbitt@sonoma-county.org](mailto:David.Rabbitt@sonoma-county.org)>, <[Andrea.Krout@sonoma-county.org](mailto:Andrea.Krout@sonoma-county.org)>, <[mikemcguire@sonoma-county.org](mailto:mikemcguire@sonoma-county.org)>, <[kellyburns@sonoma-county.org](mailto:kellyburns@sonoma-county.org)>, "Norberg, Bob" <[Bob.Norberg@pressdemocrat.com](mailto:Bob.Norberg@pressdemocrat.com)>  
**Subject: Re: SUBJECT: File No. PLP08-0021, Ratna Ling Retreat Center, Hearing date 1 / 27/2014**

Dear Sonoma County Supervisors.

Regarding Ratna Ling's industrial land use in rural Sonoma County:

PLP 08 0021 was appealed on the same day it was approved by the BZA in April of 2012. It has been 20 months that the appeal has been continued while industrial production continues as well. Yesterday we learned that the hearing was continued once again without a new hearing date or explanation. This seems highly irregular. Everything about this permit seems highly irregular. In the mean time Ratna Ling operates an industrial scale printing facility in violation of it's original 2004 use permit. Ratna Ling also continues to use 40,000 square feet of so called temporary warehouse tents with expired temporary permits that do not conform with current fire codes.

Industrial manufacturing and industrial warehousing need to be denied in rural Sonoma County. Industrial land use is industrial land use whether it is non profit or for profit use and whether it is a religious or non religious use.

Two years is too long to wait.

Sincerely, Bruce Johnson

On Sat, Dec 21, 2013 at 9:44 PM, Bruce Johnson <[sculptorbruce@gmail.com](mailto:sculptorbruce@gmail.com)> wrote:

Dear Sonoma County Supervisors,

Please read the attached letter, considered the attached postcard and learn more at [www.sonomacoastalhillsruralpreservation.org](http://www.sonomacoastalhillsruralpreservation.org)

Merry Christmas and integrity in the new year.

Sincerely, Bruce Johnson

## Cynthia Demidovich

---

**From:** Susan Upchurch  
**Sent:** Tuesday, March 25, 2014 9:01 AM  
**To:** Cynthia Demidovich  
**Cc:** Efren Carrillo  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Sarah Stiles

Best regards,

Susan Upchurch  
District Director for  
Supervisor Efren Carrillo  
Fifth District Representative  
County of Sonoma  
575 Administration Drive Room 100a  
Santa Rosa, CA 95403

phone: 707-565-2241  
fax: 707-565-3778  
e-mail: [Susan.Upchurch@Sonoma-County.org](mailto:Susan.Upchurch@Sonoma-County.org)

County of Sonoma on the web: <http://www.sonoma-county.org/>

Please consider the environment before printing this e-mail

-----Original Message-----

**From:** BOS  
**Sent:** Tuesday, March 25, 2014 7:43 AM  
**To:** BOS-District-Directors  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Sarah Stiles

Re: 4/8/14 PRMD Land Use Hearing PLP08-0021.

-----Original Message-----

**From:** [no-reply@sonoma-county.org](mailto:no-reply@sonoma-county.org) [<mailto:no-reply@sonoma-county.org>] On Behalf Of Sarah Stiles  
**Sent:** Tuesday, March 25, 2014 2:08 AM  
**To:** BOS  
**Subject:** Board of Supervisors Contact Us: Issue from Sarah Stiles

**Subject:** Issue

**Message:** I write you today with encouragement to open a critical eye toward what's going on with the Ratna Ling Retreat Center/Dharma Press. With their continued way of pushing boundaries with permits, and running an industry in an area that is not zoned for such use, it causes me to wonder what other boundaries they may be stepping across that we do not yet know about.

I'm especially concerned for what environmental offenses they may be wreaking havoc. The large scale of this operation could have a detrimental impact on the surrounding environment. For instance, as the press and retreat keep expanding, their greater need for

water and sewer is being taken from and disposed of to where ? Large-scale shipment of supplies to and from the site must have an impact on traffic, carbon foot-print, erosion of the land (not to mention illogically inefficient location for dispersing their literature). What sorts of chemicals are they using at the press, is there toxic waste or gas escaping from the printing process ?? If so, are they handling this with care for the environment ? Are there any other risks that can be posed by this large-scale industry existing in a forested area, such as forest fire ?

I pose a handful of questions and issues for you to consider, though I'm certain there are plenty more.

I'm looking forward to your thoughts on this matter.

Regards,  
Sarah Stiles

Name: Sarah Stiles  
Email: [fire@SarahStiles.com](mailto:fire@SarahStiles.com)  
Phone: 4154898835  
Address: 1933 Knolls Dr.  
Santa Rosa, CA 95405



## Cynthia Demidovich

---

**From:** Susan Upchurch  
**Sent:** Monday, March 24, 2014 10:30 AM  
**To:** Cynthia Demidovich  
**Cc:** Efren Carrillo  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Leslie L. Cresswell

Best regards,

Susan Upchurch  
District Director for  
Supervisor Efren Carrillo  
Fifth District Representative  
County of Sonoma  
575 Administration Drive Room 100a  
Santa Rosa, CA 95403

phone: 707-565-2241  
fax: 707-565-3778  
e-mail: [Susan.Upchurch@Sonoma-County.org](mailto:Susan.Upchurch@Sonoma-County.org)

County of Sonoma on the web: <http://www.sonoma-county.org/>

☐ Please consider the environment before printing this e-mail

-----Original Message-----

**From:** BOS  
**Sent:** Monday, March 24, 2014 8:17 AM  
**To:** BOS-District-Directors  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Leslie L. Cresswell

Re: 4/8/14 PRMD Land Use Hearing PLP08-0021.

-----Original Message-----

**From:** [no-reply@sonoma-county.org](mailto:no-reply@sonoma-county.org) [<mailto:no-reply@sonoma-county.org>] On Behalf Of Leslie L. Cresswell  
**Sent:** Friday, March 21, 2014 10:49 PM  
**To:** BOS  
**Subject:** Board of Supervisors Contact Us: Issue from Leslie L. Cresswell

**Subject:** Issue  
**Message:** Re: Hearing April 8 Ratna Ling Zoning

Please see that this will make its way to the Board Members.

I'm not much of a writer; know that my words are what I feel to be right.

I live on Seaview Road approximately 12 miles from the Ratna Ling Complex and Odeyon. I will be attending the hearing on April 8th. It surprises and angers me that the rural zoning for this area is not being upheld or honored by the "Bhuddists" at Ratna Ling/Odeyon (or the

County). I have a hard time considering them following a Bhuddist way, as they have done harm without thought to the land or the Ridge Community here in which they find themselves in - expanding beyond their permits, moving an industrial printing facility out of Berkeley up to this rural area, burdening our one lane roads with large truck traffic, and then informing this Ridge Community that we "should feel honored to have them here as neighbors" (a quote I wrote down from one of their presentations to the members of this Ridge Community several years ago when we took notice of increased activity going on). It seems to me there is something odd going on with Ratna Ling/Odeyon - the County needs to step up and take a look. At the very least, the County should uphold the rural land use zoning.

Is anybody listening???

Name: Leslie L. Cresswell  
Email: [kiddou2004@yahoo.com](mailto:kiddou2004@yahoo.com)  
Phone: 707-847-3443  
Address: 27780 Seaview Road  
Cazadero, CA 95421

## Cynthia Demidovich

---

**From:** Susan Upchurch  
**Sent:** Monday, March 24, 2014 10:31 AM  
**To:** Cynthia Demidovich  
**Cc:** Efren Carrillo  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Joel Chaban

Best regards,

Susan Upchurch  
District Director for  
Supervisor Efren Carrillo  
Fifth District Representative  
County of Sonoma  
575 Administration Drive Room 100a  
Santa Rosa, CA 95403

phone: 707-565-2241  
fax: 707-565-3778  
e-mail: [Susan.Upchurch@Sonoma-County.org](mailto:Susan.Upchurch@Sonoma-County.org)

County of Sonoma on the web: <http://www.sonoma-county.org/>

☐ Please consider the environment before printing this e-mail

-----Original Message-----

**From:** BOS  
**Sent:** Monday, March 24, 2014 8:17 AM  
**To:** BOS-District-Directors  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Joel Chaban

Re: 4/8/14 PRMD Land Use Hearing PLP08-0021.

-----Original Message-----

**From:** [no-reply@sonoma-county.org](mailto:no-reply@sonoma-county.org) [<mailto:no-reply@sonoma-county.org>] On Behalf Of Joel Chaban  
**Sent:** Friday, March 21, 2014 7:16 PM  
**To:** BOS  
**Subject:** Board of Supervisors Contact Us: Issue from Joel Chaban

**Subject:** Issue

Message: Ratna Ling Retreat Center on Seaview Ridge now has an Industrial-scale printing plant, a publishing house, large warehouse, and an internet bookstore with shipping and handling facilities. This is a rural part of Sonoma County and such industrial uses do not conform to Ratna Ling's Use Permit UPE 04-0032, its zoning (RRD240), or to Sonoma County's General Plan. Sonoma County has failed to regulate the industrial activity of Ratna Ling Retreat Center. Sonoma County has failed to inspect code violations filed against Ratna Ling by a concerned citizens group, Coastal Hills Rural Preservation.

The Board of Supervisors needs to protect the environment, enforce the General Plan and Regulate Ratna Ling.

Name: Joel Chaban  
Email: [jchaban@allthingsconnected.com](mailto:jchaban@allthingsconnected.com)  
Address: P.O. Box 800  
Gualala, CA 95445

## Cynthia Demidovich

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**From:** Susan Upchurch  
**Sent:** Monday, March 24, 2014 10:32 AM  
**To:** Cynthia Demidovich  
**Cc:** Efren Carrillo  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Kay Barnes

Best regards,

Susan Upchurch  
District Director for  
Supervisor Efren Carrillo  
Fifth District Representative  
County of Sonoma  
575 Administration Drive Room 100a  
Santa Rosa, CA 95403

phone: 707-565-2241  
fax: 707-565-3778  
e-mail: [Susan.Upchurch@Sonoma-County.org](mailto:Susan.Upchurch@Sonoma-County.org)

County of Sonoma on the web: <http://www.sonoma-county.org/>

☐ Please consider the environment before printing this e-mail

-----Original Message-----

**From:** BOS  
**Sent:** Monday, March 24, 2014 8:16 AM  
**To:** BOS-District-Directors  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Kay Barnes

Re: 4/8/14 PRMD Land Use Hearing PLP08-0021.

-----Original Message-----

**From:** [no-reply@sonoma-county.org](mailto:no-reply@sonoma-county.org) [<mailto:no-reply@sonoma-county.org>] On Behalf Of Kay Barnes  
**Sent:** Friday, March 21, 2014 6:59 PM  
**To:** BOS  
**Subject:** Board of Supervisors Contact Us: Issue from Kay Barnes

**Subject:** Issue  
**Message:** Ratna Ling/Dharma Press: Uphold the General Plan - Deny Use Permit

I feel the current Board of Zoning Adjustments and Board of Supervisors are undermining the General Plan and Zoning Regulations piecemeal and county-wide, by approving one inappropriate project at a time. This is the case with DharmaPress. Although not opposed to the Retreat Center, I don't consider the rural hills of Sonoma County a place for printing operations, regardless of affiliation with a religious organization.

Please do the right thing - uphold the County General Plan and deny the Use Permit.

Name: Kay Barnes  
Email: [bkaybarnes@gmail.com](mailto:bkaybarnes@gmail.com)  
Phone: 707-847-3356  
Address: 15971 Meyers Grade Road  
Jenner, CA 95450

## Cynthia Demidovich

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**From:** Susan Upchurch  
**Sent:** Monday, March 24, 2014 9:34 AM  
**To:** Cynthia Demidovich  
**Cc:** Efren Carrillo  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Donnie Schatzberg

Best regards,

Susan Upchurch  
District Director for  
Supervisor Efren Carrillo  
Fifth District Representative  
County of Sonoma  
575 Administration Drive Room 100a  
Santa Rosa, CA 95403

phone: 707-565-2241  
fax: 707-565-3778  
e-mail: [Susan.Upchurch@Sonoma-County.org](mailto:Susan.Upchurch@Sonoma-County.org)

County of Sonoma on the web: <http://www.sonoma-county.org/>

☑ Please consider the environment before printing this e-mail

-----Original Message-----

**From:** BOS  
**Sent:** Monday, March 24, 2014 8:17 AM  
**To:** BOS-District-Directors  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Donnie Schatzberg

**Re:** 4/8/14 PRMD Land Use Hearing PLP08-0021.

-----Original Message-----

**From:** [no-reply@sonoma-county.org](mailto:no-reply@sonoma-county.org) [<mailto:no-reply@sonoma-county.org>] On Behalf Of Donnie Schatzberg  
**Sent:** Saturday, March 22, 2014 7:25 AM  
**To:** BOS  
**Subject:** Board of Supervisors Contact Us: Issue from Donnie Schatzberg

**Subject:** Issue

**Message:** I have been living in this area since 1970. It is a residential/agricultural setting. The roads here do not support industry and heavy trucking. Please deny a use permit for Ratna Ling for bringing heavy industry to our residential area. Thank You, Donnie Schatzberg

**Name:** Donnie Schatzberg  
**Email:** [donnie@bftb.net](mailto:donnie@bftb.net)  
**Address:** 601 Mitoma way  
Cazadero, CA 95421

## Cynthia Demidovich

---

**From:** Susan Upchurch  
**Sent:** Monday, March 24, 2014 9:01 AM  
**To:** Cynthia Demidovich  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Barbara McNally

Best regards,

Susan Upchurch  
District Director for  
Supervisor Efren Carrillo  
Fifth District Representative  
County of Sonoma  
575 Administration Drive Room 100a  
Santa Rosa, CA 95403

phone: 707-565-2241  
fax: 707-565-3778  
e-mail: [Susan.Upchurch@Sonoma-County.org](mailto:Susan.Upchurch@Sonoma-County.org)

County of Sonoma on the web: <http://www.sonoma-county.org/>

☑ Please consider the environment before printing this e-mail

-----Original Message-----

**From:** BOS  
**Sent:** Monday, March 24, 2014 8:18 AM  
**To:** BOS-District-Directors  
**Subject:** FW: Board of Supervisors Contact Us: Issue from Barbara McNally

Re: 4/8/14 PRMD Land Use Hearing PLP08-0021.

-----Original Message-----

**From:** [no-reply@sonoma-county.org](mailto:no-reply@sonoma-county.org) [<mailto:no-reply@sonoma-county.org>] On Behalf Of Barbara McNally  
**Sent:** Sunday, March 23, 2014 2:38 PM  
**To:** BOS  
**Subject:** Board of Supervisors Contact Us: Issue from Barbara McNally

**Subject:** Issue

**Message:** Please do not allow the expansion of Ratna Ling's facility. The county roads are no place for industry that belongs in the city close to highways for receiving and shipping goods. It is absolutely crazy to allow an industrial operation in the beautiful coastal hills. The increased wear and tear on roads already worn, the increased danger from shipping trucks, it is simply not fair to the landowners already living there. Ratna Ling has expanded by ignoring the rules, please do not reward their disregard by bending the rules further on their behalf.

**Name:** Barbara McNally  
**Email:** [ohbarb@sonic.net](mailto:ohbarb@sonic.net)



## Cynthia Demidovich

---

**From:** Susan Upchurch  
**Sent:** Monday, March 24, 2014 8:58 AM  
**To:** Cynthia Demidovich  
**Subject:** FW: Board of Supervisors Contact Us: Issue from edy bishop

Best regards,

Susan Upchurch  
District Director for  
Supervisor Efren Carrillo  
Fifth District Representative  
County of Sonoma  
575 Administration Drive Room 100a  
Santa Rosa, CA 95403

phone: 707-565-2241  
fax: 707-565-3778  
e-mail: [Susan.Upchurch@Sonoma-County.org](mailto:Susan.Upchurch@Sonoma-County.org)

County of Sonoma on the web: <http://www.sonoma-county.org/>

Please consider the environment before printing this e-mail

-----Original Message-----

**From:** BOS  
**Sent:** Monday, March 24, 2014 8:18 AM  
**To:** BOS-District-Directors  
**Subject:** FW: Board of Supervisors Contact Us: Issue from edy bishop

Re: 4/8/14 PRMD Land Use Hearing PLP08-0021.

-----Original Message-----

**From:** [no-reply@sonoma-county.org](mailto:no-reply@sonoma-county.org) [<mailto:no-reply@sonoma-county.org>] On Behalf Of edy bishop  
**Sent:** Sunday, March 23, 2014 9:22 AM  
**To:** BOS  
**Subject:** Board of Supervisors Contact Us: Issue from edy bishop

**Subject:** Issue

Message: Re: rhatna ling dharma press appeal. As a cazadero resident I find their press operations to be an inappropriate industry amongst the rural hills of West county. There are plenty of options at existing industrial parks within sonoma county with high vacancies that I am sure would be willing to negotiate lease rates for their printing/publishing business.

**Name:** edy bishop  
**Email:** [edybishop@hotmail.com](mailto:edybishop@hotmail.com)  
**Phone:** 7074948486  
**Address:** 2952 mendocino ave  
santa rosa, CA 95403



## **Mitigated Negative Declaration**

Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

Publication Date: 02-10-11  
Adoption Date: 06-7-12  
State Clearinghouse: 2012022033

This statement and attachments constitute the **Mitigated Negative Declaration** as proposed for or adopted by the Sonoma County decision-making body for the project described below.

**File No.:** PLP08-0021

**Planner:** Cynthia Demidovich

**Project Name:** Ratna Ling Buddhist Monastery Master Plan

### **Project Description:**

1) Construct a new six bedroom residential facility with a maximum occupancy of 12 persons at 36000 Hauser Bridge Road, APN 109-230-018. 2) Construct four new residential storage buildings to be used to store residential supplies to service the cabins located on the east side of Hauser Bridge Road (total square footage for all four structures is not to exceed 4,080 square feet in size). 3) Construct a seasonal campground with eight tents with a maximum occupancy of 24 persons to be used from May through October located on the west side of Hauser Bridge Road south of the accessory printing press facility. The seasonal tents would be constructed on wooden platforms and have electrical hook-ups. Retreat guests and printing press volunteers would occupy the seasonal campground. 4) Allow permanent storage of the sacred text in the existing four structures (total square footage for all four structures is not to exceed 39,270 square feet in size). 5) Produce non-textual sacred objects to be used as part of the sacred Buddhist tradition for devotional and practice purposes. The non-textual sacred objects will be stored in the sacred text storage buildings. 6) Limit book production traffic to one truck (24 feet in length) round trip per day (two trips) average on an annual basis rather than the number of books printed. The two truck trips per day includes delivery of supplies and trips to transport the finished books abroad. 7) Increase the maximum occupancy of the existing accessory non-profit Tibetan Buddhist printing press facility from 27 persons to 94 persons. 8) Increase the maximum occupancy on the project site (35755 & 36000 Hauser Bridge Road) at any one given time from 67 persons to 122 persons. 9) Terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism.

**Project Location:** 35755 and 36000 Hauser Bridge Road, Cazadero

See Location Map - Attached

### **Environmental Finding:**

The proposed project could not have a significant effect on the environment, and the adoption of a Mitigated Negative Declaration is appropriate.

Based upon the information contained in the Initial Study included in the project file, it has been determined that there will be no significant environmental effect resulting from this project, provided that

mitigation measures are incorporated into the project. The Mitigated Negative Declaration has been completed in compliance with CEQA State and County guidelines and the information contained therein has been reviewed and considered.

There will not be a potential impact on biotic habitat of concern to Fish & Game.

**Initial Study:** Attached

**Other Attachments:**

1. Preliminary Delineation of Waters of the United States, Including Wetlands, of the Ratna Ling Project Area, Eastern Part, Valley Environmental Consulting, Joel Butterworth, March 2007.
2. Supplemental Letter (not dated), Valley Environmental Consulting, Joel Butterworth, U.S. Army Corps of Engineers' Jurisdiction at the Press Pond Site, and Topographic Map dated December 2006.
3. Jurisdictional Determination for Expanded Ratna Ling Project Area, Valley Environmental Consulting, Joel Butterworth, June 13, 2008.
4. Botanical Wildlife Review of the Ratna Ling Property, Environmental Consulting, Jane Valerius, Wildlife and Research Associates, Trish Tatarian, June 7, 2004, June 2007, and June 2008.
5. Cultural Resources Study, Archaeological Resource Service, Eric Strother, January 20, 2000. An additional supplemental letter was submitted by William Roop on January 3, 2008 (confidential on file at the Permit and Resource Management Department).
6. Supplemental Letter, Archaeological Resource Service, William Roop, May 25, 2004, and January 3, 2008 (confidential on file at the Permit and Resource Management Department).
7. Correspondence from E H Boudreau, Geological and Ground Water Potential, July 13, 1999, August 21, 1999, and November 8, 1999.
8. Ratna Ling Retreat Center Traffic Study, W-trans, Tony Henderson, July 29, 2011.
9. Correspondence from the State Water Resources Control Board, e-mail dated June 6, 2007.
10. Greenhouse Gas Analysis, URS Corporation, Tim Rimpo, January 18, 2012.
11. Supplemental Proposal Statement, J. Kapolchok & Associates, December 19, 2011.

**Decision-making Body:**

Sonoma County Board of Zoning Adjustments

**Lead Agency:**

Sonoma County Permit and Resource Management Department

# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

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### ENVIRONMENTAL CHECKLIST FORM

**FILE #:** PLP08-0021

**PLANNER:** Cynthia Demidovich

**PROJECT:** A Use Permit for the Ratna Ling Buddhist Monastery Master Plan

**DATE:** 2-10-11

**LEAD AGENCY:** Sonoma County Permit and Resource Management Department

**PROJECT LOCATION:** 35755 and 36000 Hauser Bridge Road, Cazadero

**APPLICANT NAME:** Ratna Ling Retreat Center c/o Jack Petranker

**APPLICANT ADDRESS:** 35755 Hauser Bridge Road, Cazadero

**GENERAL PLAN DESIGNATION:** Resources and Rural Development, 240 acre density

**ZONING:** (RRD) Resources and Rural Development, 240 acre density

#### **DESCRIPTION OF PROJECT:**

This is a request for a Use Permit for a Master Plan for the Ratna Ling Buddhist Monastery expanding an existing non-commercial retreat center and an existing accessory non-profit Tibetan Buddhist printing facility. The Use Permit request includes the following:

1. Construct a new six bedroom residential facility with a maximum occupancy of 12 persons at 36000 Hauser Bridge Road, APN 109-230-018.
3. Construct four new residential storage buildings to be used to store residential supplies to service the cabins located on the east side of Hauser Bridge Road (total square footage for all four structures is not to exceed 4,080 square feet in size).
2. Construct a seasonal campground with eight tents with a maximum occupancy of 24 persons to be used from May through October located on the west side of Hauser Bridge Road south of the accessory printing press facility. The seasonal tents would be constructed on wooden platforms and have electrical hook-ups. Retreat guests and printing press volunteers would occupy the seasonal campground.
4. Allow permanent storage of the sacred text in the existing four structures (total square footage for all four structures is not to exceed 39,270 square feet in size).
5. Produce non-textual sacred objects to be used as part of the sacred Buddhist tradition for devotional and practice purposes. The non-textual sacred objects will be stored in the sacred text storage buildings.
6. Limit book production traffic to one truck( 24 feet in length) round trip per day (two trips) average on an annual basis rather than the number of books printed. The two truck trips per day includes delivery of supplies and trips to transport the finished books abroad.
7. Increase the maximum occupancy of the existing accessory non-profit Tibetan Buddhist printing press facility from 27 persons to 94 persons;
8. Increase the maximum occupancy on the project site (35755 & 36000 Hauser Bridge Road) at any one given time from 67 persons to 122 persons.
9. Terminate the printing press facility if the Use Permit is conveyed to a property owner not affiliated with traditions and practices of Tibetan Buddhism.

**BACKGROUND:**

At its regularly scheduled meeting on, September 9, 2004, the Board of Zoning Adjustments (BZA), with a 5-0 vote, approved a Use Permit (UPE04-0032) for a Buddhist Monastery, retreat center, with an accessory non-profit printing facility. The Buddhist Monastery, and retreat center have been in operation since February, 2006, and the accessory non-profit printing facility has been in operation since August, 2005. The BZA made the finding that the printing press facility was considered ancillary to the primary use which is a non-commercial retreat center/monastery and a non-profit organization which is directly related to the doctrine of the organization.

On March 26, 2008, Permit and Resource Management Department (PRMD), approved a Zoning Permit (ZPE08-0074) to allow two temporary sacred text storage structures of 6,000 square feet and 2,260 square feet in size to be constructed on the project site.

On April 21, 2008, Permit and Resource Management Department, revised the Zoning Permit (ZPE08-0074) approval letter to include two additional sacred text storage structures of 14,000 square feet and 18,000 square feet in size to be constructed on the project site. On March 25, 2011, the Zoning Permit expired and a one-year extension of time for the Zoning Permit was approved by PRMD.

On August 22, 2008, the Permit and Resource Management Department, approved a Use Permit (UPE07-0089) for a 20 acre foot reservoir and a modification to a previously approved wellness center.

On February 26, 2008, the applicant applied for a General Plan Amendment, Special Area Policy, and a Use Permit to construct two underground caves and an exhibition/assembly hall. One cave was proposed to be 31,400 square feet in size with 7,000 square feet of tunnels. The second cave was proposed to be 44,000 square feet in size with 5,100 square feet of tunnels. The exhibition/assembly hall was proposed to be 12,800 square feet in size with an occupancy of 800 people. The use of the caves was for the storage of sacred Buddhist text printed at the existing on-site non-profit accessory printing facility. The soils excavated to construct the caves was to be deposited in two on-site ephemeral watercourses. Approximately nine acres of douglas fir trees would be removed for the construction of the two caves and the exhibition/assembly hall. The project would be phased over seven years.

On February 26, 2008, PRMD received a petition in opposition to the request for the General Plan Amendment, Special Area Policy, and a Use Permit to construct two underground caves and an exhibition/assembly hall from the neighbors in the surrounding community.

On February 20, 2009, the applicant requested to place the proposed project on hold in order to prepare a revised application submittal.

On May 11, 2011, the applicant submitted a revised Use Permit application and proposal statement.

On December 20, 2011, the applicant submitted another revised proposal statement and the project was deemed complete for processing.

**SURROUNDING LAND USES AND SETTING: Briefly describe the project's surroundings:**

The surrounding parcels are large lots that are forested and grassland. Specifically, located to the west is a several hundred acre parcel in Timber Preserve, to the south are parcels over 100 acres in Timber Preserve, to the north and east are parcels approximately 100 acres in size with grazing. The property is uphill from the South Fork of the Gualala River, and the seasonal and intermittent streams on the property flow directly into the river.

**Other Public Agencies whose approval is required (e.g. permits, financing approval, or participation agreement):** None

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation" as indicated by the checklist on the following pages.

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Aesthetics                         | <input type="checkbox"/> Agricultural & Forest Resources    | <input type="checkbox"/> Air Quality             |
| <input checked="" type="checkbox"/> Biological Resources    | <input type="checkbox"/> Cultural Resources                 | <input type="checkbox"/> Geology/Soils           |
| <input checked="" type="checkbox"/> Greenhouse Gas Emission | <input type="checkbox"/> Hazards & Hazardous Materials      | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use and Planning              | <input type="checkbox"/> Mineral Resources                  | <input type="checkbox"/> Noise                   |
| <input type="checkbox"/> Population/Housing                 | <input type="checkbox"/> Public Services                    | <input type="checkbox"/> Recreation              |
| <input checked="" type="checkbox"/> Transportation/Traffic  | <input type="checkbox"/> Utilities/Service Systems          |  |
| <input type="checkbox"/> Mandatory Findings of Significance | <input type="checkbox"/> Mandatory Findings of Significance |  |

**DETERMINATION**

On the basis of this initial evaluation:

- The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed by in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- Although the proposed project could have a significant effect on the environment, all potentially significant effects were previously analyzed in an earlier EIR or Negative Declaration pursuant to applicable standards and potential impacts have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project. There are no changes in the project, no new information related to potential impacts, and no changes in circumstances that would require further analysis pursuant to Section 15162 of CEQA Guidelines, therefore no further environmental review is required.

Incorporated Source Documents

In preparation of the Initial Study checklist, the following documents were referenced/developed, and are hereby incorporated as part of the Initial Study. All documents are available in the project file or for reference at the Permit and Resource Management Department.

- Project Application and Description
- Initial Data Sheet
- County Planning Department's Sources and Criteria Manual
- Sonoma County General Plan and Associated EIR
- Sonoma County Zoning Ordinance
- Sonoma County Rare Plant Site Identification Study
- Project Referrals from Responsible Agencies
- State and Local Environmental Quality Acts (CEQA)
- Full record of previous hearings on project in File

X Correspondence received on project.

X Other technical reports:

1. Preliminary Delineation of Waters of the United States, Including Wetlands, of the Ratna Ling Project Area, Eastern Part, Valley Environmental Consulting, Joel Butterworth, March 2007.
2. Supplemental Letter (not dated), Valley Environmental Consulting, Joel Butterworth, U.S. Army Corps of Engineers' Jurisdiction at the Press Pond Site, and Topographic Map dated December 2006.
3. Jurisdictional Determination for Expanded Ratna Ling Project Area, Valley Environmental Consulting, Joel Butterworth, June 13, 2008.
4. Botanical Wildlife Review of the Ratna Ling Property, Environmental Consulting, Jane Valerius, Wildlife and Research Associates, Trish Tatarian, June 7, 2004, June 2007, and June 2008.
5. Cultural Resources Study, Archaeological Resource Service, Eric Strother, January 20, 2000. An additional supplemental letter was submitted by William Roop on January 3, 2008 (confidential on file at the Permit and Resource Management Department).
6. Supplemental Letter, Archaeological Resource Service, William Roop, May 25, 2004, and January 3, 2008 (confidential on file at the Permit and Resource Management Department).
7. Correspondence from E H Boudreau, Geological and Ground Water Potential, July 13, 1999, August 21, 1999, and November 8, 1999.
8. Ratna Ling Retreat Center Traffic Study, W-trans, Tony Henderson, July 29, 2011.
9. Correspondence from the State Water Resources Control Board, e-mail dated June 6, 2007.
10. Greenhouse Gas Analysis, URS Corporation, Tim Rimpo, January 18, 2012.
11. Supplemental Proposal Statement, J. Kapolchok & Associates, December 19, 2011.

**EVALUATION OF ENVIRONMENTAL IMPACTS:**

- 1) A brief explanation is required for all answers except "No impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section 17 at the end of the checklist, "Earlier Analysis" may be cross-referenced).

- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c)(3)(D). In this case, a brief discussion should identify the following:
  - a) Earlier Analysis Used. Identify and state where they are available for review.
  - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated", describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
  - a) the significance criteria or threshold, if any, used to evaluate each question; and
  - b) the mitigation measure identified, if any, to reduce the impact to less than significance.

1. **AESTHETICS** Would the project:

Potentially Significant Impact	Less than Significant with Mitigation Incorporation.	Less than Significant Impact	No Impact
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a) Have a substantial adverse effect on a scenic vista?

_____	_____	_____ <u>X</u> _____	_____
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**Comment:**

1.a. Less than Significant Impact - The only new construction proposed is a single family dwelling, an eight tent seasonal campground and several small residential storage buildings. The project site is not located in a County designated SR (Scenic Resource Combining District). The two existing sacred text treasuries located on the east side of Hauser Bridge Road are not visible from Hauser Bridge Road but are visible at a distance from King Ridge Road. The previous exterior white color materials have been replaced with tan, green, and blue, in efforts to provide compatibility with surrounding vegetation as viewed from King Ridge Road. The proposed project will not have a substantial adverse affect on a scenic vista.

**Mitigation:**

No Mitigation Required

b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

_____	_____	_____ <u>X</u> _____	_____
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**Comment:**

1.b. Less than Significant Impact - The project will not damage any scenic resources including trees, rock outcroppings, historic buildings, and is not within a state scenic highway.

**Mitigation:**

No Mitigation Required

c) Substantially degrade the existing visual character or quality of the site and its surroundings?

\_\_\_\_\_   X   \_\_\_\_\_

**Comment:**

1.c. No Less than Significant Impact - The project will not degrade the existing visual character or quality of the site and its surroundings as the surrounding area has trees, and a mix of large and small residential parcels. The eight tents with the seasonal campground is not visible from Hauser Bridge Road.

**Mitigation:**

No Mitigation Required

d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

\_\_\_\_\_   X   \_\_\_\_\_

**Comment:**

1.d. No Impact - New lighting associated with the construction of one single family dwelling, storage buildings for residential use, and tent platforms will not create a new source of substantial light. A standard condition of approval requires lighting to be motion activated. The existing lighting does not create glare or affect day or nighttime views in the near vicinity.

**Mitigation:**

No Mitigation Required

**2. AGRICULTURE AND FOREST RESOURCES**

Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
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In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by

the California Air Resources Board. Would the project:

- a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? \_\_\_\_\_ X

**Comment:**

2.a. No Impact - The Sonoma County Important Farmlands Map (1996) designates the property as grazing land. The project would continue an existing non-agricultural use. There will be no conversion of existing farmland to non-agricultural use.

**Mitigation:**

No Mitigation Required.

- b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? \_\_\_\_\_ X

**Comment:**

2.b. No Impact - The RRD (Resources and Rural Development) zoning is not an agricultural zoning district. The property is not in a Williamson Act contract.

**Mitigation:**

No Mitigation Required.

- c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? \_\_\_\_\_ X

**Comment:**

2.c. No Impact - The proposed project will not conflict with existing zoning for forest land, or timberland zoned timberland production.

**Mitigation:**

No Mitigation Required.

- d) Result in the loss of forest land or conversion of forest land to non-forest use? \_\_\_\_\_ X

**Comment:**

2.d. No Impact - The proposed project will not result in the loss of forest land and will not convert forest land to a non-forest use.

**Mitigation:**

No Mitigation Required.

- e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? \_\_\_\_\_   X

**Comment:**

2.e. No Impact - The proposed project will not result in the conversion of farmland to a non-agricultural use or the conversion of forest land to a non-forest use.

**Mitigation:**

No Mitigation Required.

**3. AIR QUALITY** Would the project:

	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
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Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

- a) Conflict with or obstruct implementation of the applicable air quality plan? \_\_\_\_\_   X

**Comment:**

3.a. No Impact - The project is within the jurisdiction of the Northern Sonoma County Air Pollution Control District (NSCAPCD). The NSCAPCD does not have an adopted air quality plan. The project would not create any conflicts. The project would not generate any mobile source emissions beyond that which is generated from trucks/vehicles along the roadways.

**Mitigation:**

No Mitigation Required.

- b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? \_\_\_\_\_   X

**Comment:**

3.b. No Impact - The Sonoma County General Plan Open Space and Resource Conservation Element addresses pollutants from mobile sources (e.g. transportation sources). The following goal and policy would be relevant to the proposed project:

**Goal OSRC-16:**

Preserve and maintain good air quality and provide for an air quality standard that will protect human health and preclude crop, plant and property damage in accordance with the requirements of the Federal and State Clean Air Acts.

State and Federal standards have been established for the "criteria pollutants": ozone, carbon monoxide, nitrogen dioxide, sulphur dioxide, and particulate (PM10 and PM2.5). To determine whether standards for any of these pollutants would be violated, the emissions from both stationary and mobile sources must be

considered.

The proposed project will not emit significant amounts of criteria pollutants. The project will not add any new equipment or processes that would have significant emissions or require permits from the air district.

Mobile sources include vehicle traffic. This traffic will emit carbon monoxide, nitrogen oxides (NOX), particulates, and Volatile Organic Compounds (VOC). Vehicles do not emit ozone directly, but ozone will form in the atmosphere from NOX and hydrocarbons in the exhaust gasses.

The NSCAPCD has established significance thresholds for the following criteria pollutants:

Carbon monoxide	100 tons/year
VOC	40 tons/year
NOX	40 tons/year
Total Suspended Particulates	25 tons/year

The Bay Area Air Pollution Control District developed simple screening methods to determine whether project traffic would generate sufficient emissions to warrant more detailed computer modeling (BAAQMD CEQA Guidelines, 1996). These screening methods may also be used in the NSCAPCD. Based on these screening methods, the emission of criteria pollutants would be less than significant.

The first screening method developed by BAAQMD involves a comparison of the proposed project to a list of other projects that are considered to generate enough traffic to warrant further analysis. All of the examples in the list developed by BAAQMD generate at least 3000 trips per day. This is far more traffic than would result from the proposed project as the retreat center and accessory non-profit press will generate 83 trips per day.

The BAAQMD recommends computer modeling for carbon monoxide emissions when a project would generate 10,000 trips per day. Since the NSCAPCD has the same threshold of significance for carbon monoxide (100 tons/year), the same screening level is valid. Given the low traffic generation of this project relative to that screening level the emission of carbon monoxide would be less than significant.

**Mitigation:**

No Mitigation Required.

- c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?

\_\_\_\_\_ X

**Comment:**

3.c. No Impact - The NSCAPCD is a non-attainment area for Particulate Matter - 10 microns or less (PM10). Based on the relatively low traffic volumes expected with this project and lower air emissions factors for newer vehicles, the emissions of ozone precursors (hydrocarbons and NOX) and particulates would not be cumulatively considerable.

**Mitigation:**

No Mitigation Required.

- d) Expose sensitive receptors to substantial pollutant concentrations?

\_\_\_\_\_ X

**Comment:**

3.d. No Impact - Sensitive receptors are facilities where sensitive receptor groups ( i.e. children, the elderly, the acutely ill, and the chronically ill) are likely to be located. Such uses are typically schools, playgrounds, child care centers, retirement homes, convalescent homes, hospitals, and medical clinics. None of these types of uses are in the near vicinity of the project site. The proposed project will not expose the occupants of the future wellness center to air pollutant concentrations.

**Mitigation:**

No Mitigation Required.

- e) Create objectionable odors affecting a substantial number of people? \_\_\_\_\_ X

**Comment:**

3.e. No Impact - The proposed project is to expand an existing Buddhist monastery and retreat center with an accessory use of a non-profit publishing and printing facility. The accessory printing press uses a soy based ink with no perceptible odors. The proposed use will not create objectionable odors that will affect a substantial number of people.

**Mitigation:**

No Mitigation Required.

4. <b>BIOLOGICAL RESOURCES</b> Would the project:	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	_____	_____X_____	_____	_____

**Comment:**

4.a. Less than Significant Impact with Mitigation - The two existing sacred text treasuries located on the east side of Hauser Bridge Road were placed on top of existing tennis courts. The two sacred text treasuries located on the west side of Hauser Bridge Road were placed adjacent to the existing non-profit accessory press building.

For the area of the accessory non-profit press building related to UPE04-0032, a botanical and wildlife review was conducted by Jane Valerius, of Environmental consulting, on May 21, 2004, (correspondence, dated June 7, 2004) and was submitted to the Permit and Resource Management Department and the California Department of Fish and Game. Two additional botanical and wildlife studies were prepared by Jane Valerius, of Environmental Consulting, and Trish Tatarian, of Wildlife Research Associates, dated June 2007, and June 2008, were submitted to the Permit and Resource Management Department. The botanical and wildlife study dated June 2007, was conducted for the construction of the existing 20 acre foot reservoir (UPE07-0089). The botanical and wildlife study dated June 2008, was based on a much more intensive use that was submitted with the applicant's original application on February 26, 2008. The more intensive use included: a General Plan Amendment, Special Area Policy, and a Use Permit to construct two underground caves and an exhibition/assembly hall. The studies indicate that no special status plants were found during the survey and none are expected to occur within the area proposed for development. However, passerine (perching birds) are protected under the Migratory Bird Treaty Act (MBTA) and the California Fish and Game Code (CDFG) and could be present on the project site. Bats are Species of Concern, are protected by CDFG Code 5050, and could be present on the site. The

passerines are protected during the breeding season which occurs between February 15 and August 15. Existing buildings on the project site may provide suitable nesting habitat for barn swallows or black phoebes. The areas around the ponds provide suitable habitat for red-winged black birds and American coots. There is also the potential for nesting in the trees on the project site. Several trees may contain cavities that may provide suitable roosting habitat for individuals of several species of bats. The existing residential building northwest of the accessory religious printing facility (also known as "the Chef's House" or the "Tower House") may provide for suitable roosting habitat of the above mentioned species. No trees are proposed to be removed from the project site.

The proposed project could result in the disturbance of nesting passerines, and raptors and they are protected under the MBTA, and the Fish and Game Code during the breeding season. As indicated above, Bat are Species of Concern and are protected by CDFG. Disturbance during the nesting season may result in the potential nest abandonment and mortality of young. Disturbance includes noise and vibration near an occupied nest, and removal of potential passerine nesting sites in the non-native grasslands, although no focused surveys for nesting passerines have been conducted within the project area. Disturbance during the nesting season may result in the potential nest abandonment and mortality of young. The following mitigation measures would reduce the impact to less than significant:

**Mitigation Measure 4.a(1)** Grading and removal of nesting trees in the vicinity of the proposed new residential structure should be conducted outside the nesting season, which occurs between approximately February 15 and August 15.

If grading before February 15 is infeasible and groundbreaking must occur within the breeding season, a pre-construction nesting bird survey of the grasslands and adjacent trees shall be performed by a qualified biologist. If no nesting birds are observed, no further action is required and grading shall occur within one week of the survey to prevent "take" of individual birds that could begin nesting after the survey.

If birds are observed on site after February 15 it will be assumed that they are nesting on site or adjacent to the site and ground breaking shall be delayed until after the young have fledged, as determined by bird surveys by a qualified biologist, or after the nesting season.

The California Department of Fish and Game (CDFG) Central Coast Regional office does not object to grading that occurs when nesting birds are observed on site, providing that a 100-150 foot buffer zone is created around any observed passerine nests and 200-500 feet around an observed raptor nest. However, given the relatively small size of the site to be developed with tent platforms and a 6-bedroom residence, this method may not be practical if active nests are found in the central portion of the site.

**Mitigation Monitoring 4.a(1)** If construction should occur between February 15 and August 15 the issuance of grading or building permit for the project will not be approved by the Project Review Division until the required pre-construction nesting bird survey is performed by a qualified biologist and approved by the CDFG.

**Mitigation Measure 4.a(2)**

A bat habitat assessment shall be conducted by a biologist possessing a Scientific Collection Permit and Memorandum of Understanding with the CDFG for work with bats 45 days prior to commencement of construction to determine presence or absence of the species in the vicinity of the proposed new residential structure. Trees containing suitable cavities for roosting bats located in the vicinity of the proposed new residential structure shall be identified. If retention of these trees is not feasible to accomplish the project objectives, removal must occur under consultation and supervision of a qualified bat biologist, only during seasonal periods of bat activity (about Feb. 15 - April 15, and Aug. 31 - about October 15).

**Mitigation Monitoring 4.a(2)** Prior to issuance of a grading or building permit the applicant shall submit to the Project Review Division and the CDFG a bat habitat assessment conducted by a qualified bat biologist. The bat habitat assessment shall be approved by the CDFG.

**Mitigation Measure 4.a(3)**

The project shall be conditioned to restrict all building on the project site to the designated areas on the Master Use Permit site plan dated March 10, 2011, by Sherwood Design Engineers. Any building outside of the designated areas shall be subject to a supplemental botanical and wildlife review by a qualified biologist.

**Mitigation Monitoring 4.a(3)** Prior to issuance of a grading or building permit the applicant shall submit to the Project Review Division Project Planner a site plan that depicts the areas of the proposed construction.

- b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?      \_\_\_\_\_      \_\_\_\_\_        X        \_\_\_\_\_

**Comment:**

4.b. Less than Significant Impact - An intermittent drainageway is located approximately 600 feet from the southern property boundary line on the east side of Hauser Bridge Road. This waterway drains into the South Fork of the Gualala River which is located 900 feet east of the project site. An intermittent drainageway is located just south of the existing sacred text treasury located on the east side of Hauser Bridge Road and drains to the east. Another intermittent drainageway is located on the west side of Hauser Bridge Road near the accessory press building. Based on standard requirements established by Section 11.16.060, of the Sonoma County Code (Grading Ordinance #5819), the grading permit process requires compliance with adopted best management practices which are intended to mitigate impacts to waterways. The proposed project will not be an adverse affect on riparian habitat or other sensitive natural community.

**Mitigation:**

No Mitigation Required.

- c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?      \_\_\_\_\_      \_\_\_\_\_        X        \_\_\_\_\_

**Comment:**

4.c. Less than Significant Impact - According to the "U.S. Army Corps of Engineers' Jurisdiction at the Press Pond Site" (not dated), prepared by Joel Butterworth of Valley Environmental Consulting, and Topographic Map dated December 2006, the existing sacred text treasuries located adjacent to the accessory press building are approximately 75 feet north from a wetland abutting the press pond. According to the "Jurisdictional Determination for Expanded Ratna Ling Project", prepared by Joel Butterworth of Valley Environmental Consulting, dated June 13, 2008, a wetland hydrology is established at a second pond located approximately 75 feet southwest of the sacred text treasuries located on the east side of Hauser Bridge Road. The wetlands will not be affected by the proposed project as the proposed single family dwelling is located approximately 650 feet northeast of the accessory press facility, and the closest development constituting a residential storage building is 1,125 feet northeast from the accessory press facility. The seasonal campground is located 900 feet south of the accessory press facility, and construction of the eight tent structures would have no impact on the wetlands located approximately 300 feet to the north.

**Mitigation:**

No Mitigation Required.

- d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

\_\_\_\_\_ X \_\_\_\_\_

**Comment:**

4.d. Less than Significant Impact - The project site does contain wildlife movement corridors which include the open grassland areas that provide corridors for deer and coyote. The more densely canopied woodland provides movement corridors for small species such as bobcat, skunks, and raccoons. Movement between the various creeks and drainages in the area more than likely occurs over this ridge top on the project site. The project does not include fencing or significant barricades to wildlife, therefore wildlife movement corridors will not be impacted.

**Mitigation:**

No Mitigation Required.

- e) Conflict with any local policies or ordinances protecting biological resources, such as tree preservation policy or ordinance?

\_\_\_\_\_ X \_\_\_\_\_

**Comment:**

4.e. No Impact - The Sonoma County Zoning Ordinance includes two ordinances that regulate tree removal on private land: the Tree Protection and Replacement Ordinance (Section 26C-88-010 (m)), and the Heritage or Landmark Trees Ordinance (Section 26D-1). The Tree Protection and Replacement Ordinance provides protection to only certain trees greater than 9-inches in diameter. Valley Oaks (*Quercus lobata*) are given special protection because they contribute to Sonoma County's visual character and landscape. If removal of these trees cannot be avoided, the ordinance requires tree replacement or an in-lieu fee, based on the number and size of the removed trees. The Heritage or Landmark Trees Ordinance applies to any tree designated a Heritage or Landmark tree because of its historical significant or interest or because of its size, age, rarity, shape or location. No trees are designated as Landmark Trees. No trees are proposed to be removed from the project site. If any trees are to be removed the project will be subject to the tree protection ordinance.

**Mitigation:**

No Mitigation Required.

- f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat conservation plan?

\_\_\_\_\_ X \_\_\_\_\_

**Comment:**

4.f. No Impact - The project site is not within an area that contains a Conservation Plan within the General Plan. No conflicts with regional or State Conservation Plans were identified.

**Mitigation:**

No Mitigation Required.



5. <b>CULTURAL RESOURCES</b> Would the project:	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource as defined in § 15064.5?	_____	_____	_____X_____	_____

**Comment:**

5.a. Less than Significant Impact - A cultural resources study was prepared for this project by Eric Strother, of the Archaeological Resource Service, on January 20, 2000, and a supplemental letter was submitted on May 25, 2004, by William Roop, of the Archaeological Resource Service. An additional supplemental letter was submitted by Roop on January 3, 2008. The study revealed that no historical resources were identified for the site. No additional studies were requested as a result of this project.

**Mitigation:**

No Mitigation Required.

b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5?	_____	_____	_____X_____	_____
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**Comment:**

5.b. Less than Significant Impact - The archaeological analysis prepared by Eric Strother and twice updated by William Roop conclude that it is likely the parcel contains buried or hidden archaeological resources. In his January 2008 letter, Roop states: "Because of the close proximity of significant archaeological resources, a potential exists for the discovery of isolated artifacts or buried archaeological features in the general vicinity." The study concludes that archaeological monitoring is warranted if cultural resources are uncovered during construction. The project will be conditioned with the standard archaeological condition that requires in the event that archaeological resources such as pottery, arrowheads, midden or culturally modified soil deposits are discovered at any time during grading, scraping or excavation within the property, all work shall be halted in the vicinity of the find and County PRMD - Project Review staff shall be notified and a qualified archaeologist shall be contacted immediately to make an evaluation of the find and report to PRMD.

**Mitigation:**

No Additional Mitigation Required.

c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	_____	_____	_____	_____X_____
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**Comment:**

5.c. No Impact - No paleontological resource has been identified on the property.

**Mitigation:**

No Mitigation Required.

d) Disturb any human remains, including those interred outside of formal cemeteries?	_____	_____	_____	_____X_____
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**Comment:**

5.d. Less than Significant Impact - See 5.b listed above.

**Mitigation:**

No Mitigation Required.

**6. GEOLOGY AND SOILS** Would the project:

Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
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a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.

_____	_____	_____	<u>  X  </u>
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**Comment:**

6.a. No Impact - No portion of the Ratna Ling property is situated within a delineated Alquist-Priolo zone.

**Mitigation:**

No Mitigation Required.

ii) Strong seismic ground shaking?

_____	_____	_____	<u>  X  </u>
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**Comment:**

6.a.ii. No Impact - The Sonoma County Relative Hazard from Seismic Shaking Map (California Division of Mines and Geology) shows the project is located on unconsolidated alluvium and is subject to strong seismic ground shaking. Any new construction will be subject to the California Building Code and built to withstand strong ground shaking.

**Mitigation:**

No Mitigation Required.

iii) Seismic-related ground failure, including liquefaction?

_____	_____	_____	<u>  X  </u>
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**Comment:**

6.a.iii. No Impact - The Sonoma County Relative Hazard from Seismic Shaking Map (California Division of Mines and Geology) shows the project is located on unconsolidated alluvium and is not subject to liquefaction.

**Mitigation:**

No Mitigation Required.

iv) Landslides?

_____	_____	_____	<u>  X  </u>
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**Comment:**

6.a.iv. No Impact - The Sonoma County Landslide Map (California Division of Mines and Geology) shows the project site is not part of a landslide. It is in an area where the slopes are less than 15 percent are not prone to landslides or soil creep.

**Mitigation:**

No Mitigation Required.

- b) Result in substantial soil erosion or the loss of topsoil?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_        X

**Comment:**

6.b. No Impact - The proposed project will not result in a substantial soil erosion or the loss of topsoil as the applicant will be required to obtain an approved grading permit from the Grading and Storm Water Section for the new single family dwelling. Grading necessary for this construction will be limited and will remain on-site. The grading permit shall meet the requirements of the Grading Ordinance which will result in erosion control and minimal loss of topsoil.

**Mitigation:**

No Mitigation Required.

- c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_

**Comment:**

6.c. Less than Significant Impact - The proposed project is not subject to landslides, lateral spreading, subsidence, liquefaction.

**Mitigation:**

No Mitigation Required.

- d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?      \_\_\_\_\_      \_\_\_\_\_        X        \_\_\_\_\_

**Comment:**

6.d. Less than Significant Impact - The Sonoma County Soil Survey (U.S. Department of Agriculture, 1972) shows that the project is located on Empire Loam soil. This soil has low shrink-swell characteristics.

**Mitigation:**

No Mitigation Required.

- e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not

available for the disposal of waste water? \_\_\_\_\_  X

**Comment:**

6.e. No Impact - The project site is developed with a septic system to serve the existing and proposed use. A separate septic system will serve the proposed single family dwelling under a septic permit. For the existing permitted septic system serving the facility, it was necessary to prove that the on-site soils are adequate to support a septic system. Soils on the site (A.P.N. 109-230-018) intended for the six bedroom residence are similar and the site is an adequate size to construct a septic system designed to serve a six bedroom residence.

**Mitigation:**

No Mitigation Required.

7. GREENHOUSE GAS EMISSION Would the project:	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	_____	<u> X </u>	_____	_____

**Comment:**

7.a. Less than Significant Impact - Greenhouse Gas Emissions (GHG) - Greenhouse gases trap heat in the atmosphere. Increases in greenhouse gases due to human activity are associated with Global Climate Change (aka "Global Warming"), that is, the change in the average weather on earth, as measured by wind patterns, storms, precipitation and temperature. The primary greenhouse gases are CO2, methane (CH4), nitrous oxide (N2O), sulfur hexafluoride (SF6), perfluorocarbons (PFCs), hydrofluorocarbons (HFCs), and water vapor (H2O). Considered the most important greenhouse gas, CO2 is the reference gas for climate change and emissions of greenhouse gases in general are often reported as CO2 equivalents (CO2e).

The California Air Resources Board ("CARB") is required by the Global Warming Solutions Act of 2006 to design and implement emissions limits, regulations, and other statewide measures to reduce statewide greenhouse gas emissions to 1990 levels by 2020. The Act does not indicate what role local land use planning should play in the statewide strategy or how environmental review under CEQA is implicated. In October, 2007, CARB published the Expanded List of Early Action Measures to Reduce Greenhouse Gas Emissions in California Recommended for Board Consideration.

Furthermore, the Bay Area is considered to be a non-attainment area for ground-level ozone and fine particulate matter under the state and federal Clean Air Acts. As part of an effort to attain and maintain air quality standards, BAAQMD recently adopted thresholds of significance for ozone precursors and PM10 emissions. The thresholds are as follows:

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>- 54 lbs/day (10 tons/year)</li> <li>- 54 lbs/day (10 tons/year)</li> <li>- 54 lbs/day (10 tons/year)</li> </ul> | <ul style="list-style-type: none"> <li>Reactive Organic Gases (ROG)</li> <li>Nitrogen Oxides (NOx)</li> <li>Respirable Particulates (PM10)</li> </ul> |
|---|---|

By January 2010, the State Office of Planning and Research provided thresholds of significance for GHGs and transmitted them to the Resources Agency for adoption. As indicated by the Governor's letter to the Senate on signing the Act, the development of CEQA significance thresholds should be guided by the appropriate responsible agencies to achieve a standardized approach consistent with the state law. As a result, BAAQMD adopted a threshold for carbon dioxide of 1,100 metric tons per year. Regarding local efforts on GHG reductions, the Sonoma County Board of Supervisors recently adopted the Sonoma County Climate Protection Campaign which sets a target to reduce GHG emissions to 25% below 1990

levels by the year 2015. The County's Climate Protection Campaign has yet to establish emissions targets to reduce GHG in Sonoma County. However, the Climate Protection Campaign has provided a list of projects that are effective and under local control that will reduce Greenhouse Gases if they are implemented. The Plan's solutions involve four major categories: 1) Improve efficiency in energy and water use; 2) Shift transportation from fossil fuel vehicles to transit, walking, bicycling, etc.; 3) Invest in local renewable energy sources; 4) Protect forests and farmlands, sequester carbon, and convert waste into energy.

For purposes of the Mitigated Negative Declaration, the project would be considered to have a significant impact on greenhouse gases if it would conflict with the state goal of reducing greenhouse gas emissions in California to 1990 levels by 2020, as set forth by the California Global Warming Solutions Act of 2006 and if it exceeds the thresholds set by BAAQMD (currently, the County does not have established thresholds for carbon dioxide emissions, therefore, as an interim measure, the County uses the BAAQMD staff recommended threshold which is 1,100 metric tons per year).

In addition, on November 4, 2008 the Sonoma County Board of Supervisors adopted a resolution selecting the Build it Green (BIG) New Home Construction, Home Remodeling and Multifamily Green Building Guidelines for Residential Construction, and Leadership in Energy and Environmental Design (LEED®) Commercial Green Building System for Commercial Construction guidelines, along with their respective Green Points Checklists, set compliance thresholds, and directed staff to develop a green building ordinance based on these guidelines.

On November 2, 2010, the Board of Supervisors approved all state mandated model codes including the new California Green Building Standards Code (CalGreen), which became effective January 1, 2011. All new buildings are required to be constructed in conformance with CalGreen Tier 1 level of compliance. These standards result in buildings that are more energy efficient and reduce GHG emissions.

On January 18, 2012, URS Corporation prepared a Greenhouse Gas Analysis (GHG analysis) for the proposed project. URS Corporation estimated the proposed project greenhouse gas (GHG) emissions that would be generated during project construction and operation. The analysis evaluated the significance of these emissions. The analysis found that the proposed project, would not have a significant impact on GHG emissions.

The GHG analysis, shows in Table 1, page iii, that during construction would generate 67 metric tons of CO<sub>2</sub>e (carbon dioxide equivalents). Once operational, the proposed project would generate emissions of 448.3 metric tons CO<sub>2</sub>e per year. The proposed project emissions would be significantly less than the BAAQMD's significance threshold of 1,100 tons of CO<sub>2</sub>e per year. The analysis uses the BAAQMD's standard because the NSCAPCD has not adopted a significance threshold.

**Mitigation Measure 7.a(1)**

All new construction shall be constructed using the Sonoma County Green Building Program Standards.

**Mitigation Monitoring 7.a(1)** No building permits will receive approval from the PRMD Building Division unless the new construction complies with current Green Building Standards.

**Mitigation Measure 7.a(2)**

All light fixtures in new residential facility and storage buildings shall be fitted with low energy bulbs such as fluorescent or L.E.D. bulbs, consistent with Sonoma County's Green Building Standards and energy efficiency ordinance.

**Mitigation Monitoring 7.a(2)** PRMD Building Division will not issue a building permit unless the project conforms to all current Green Building Standards.

**Mitigation Measure 7.a(3)**

Ultra low flow water usage appliances and fixtures shall be installed in new residential facility. The

applicant shall supply specification sheet and certification that fixtures and appliances meet EPA water sense standards.

**Mitigation Monitoring 7.a(3)**

PRMD Building Division will not issue a building permit unless the project conforms to all current Green Building Standards.

- b) Conflict with any applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? \_\_\_\_\_  X  \_\_\_\_\_

**Comment:**

7.b. Less than Significant Impact - See response to 7.a listed above.

**Mitigation:**

No Mitigation Required.

**8. HAZARDS AND HAZARDOUS MATERIALS**

Would the project:

Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
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- a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? \_\_\_\_\_  X  \_\_\_\_\_

**Comment:**

8.a. Less than Significant Impact - The existing operation of the accessory press facility generates minimal amounts of hazardous materials. The materials used for the accessory printing press uses various measures that drastically reduce the production of hazardous waste materials such as the use of vegetable-based inks and water-based plate making process. Hazardous materials generated by the operation consist of rags used to wipe out the ink cans, wastewater generated from draining the press weekly and from pressmen washing their hands, and associated release of vapors. All waste from the accessory printing press facility are stored in 55-gallon drums and taken off-site by Safety-Kleen. All shop towels that have any chemicals absorbed into the them are removed from the site by Aramark. In addition, the applicant has a Hazardous Materials Business Plan approved and on file with the Sonoma County Hazmat/Fire Division. The Sonoma County Hazardous Materials/Fire Division inspects the accessory printing press facility every three years. The construction of one single family dwelling unit and a seasonal eight tent campground will not create a significant hazard to the public or the environment.

**Mitigation:**

No Mitigation Measures Required.

- b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? \_\_\_\_\_  X  \_\_\_\_\_

**Comment:**

8.b. Less than Significant Impact - See response to 8.a listed above.

**Mitigation:**

No Mitigation Required.

- c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

\_\_\_\_\_ X

**Comment:**

8.c. No Impact - The nearest school is located at Plantation, and this is more of a summer camp, and the next closest school is further away in Timber Cove. Both schools are more that one-quarter of a mile away from the project site.

**Mitigation:**

No Mitigation Required.

- d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

\_\_\_\_\_ X

**Comment:**

8.d. No Impact - The project site is not listed on a hazardous materials list and would not create a significant hazard to the public or environment.

**Mitigation:**

No Mitigation Required.

- e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

\_\_\_\_\_ X

**Comment:**

8.e. No Impact - The proposed project is not within two miles of any public or private airports. The nearest airport is at The Sea Ranch, several miles northwest of the site, and there is another landing strip on Seaview Road several miles southeast of the site.

**Mitigation:**

No Mitigation Required.

- f) For a project located within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?

\_\_\_\_\_ X

**Comment:**

8.f. No Impact - See response to 8.g listed above.

**Mitigation:**

No Mitigation Required.

- g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? \_\_\_\_\_ X

**Comment:**

8.g. No Impact - The project will not interfere with an emergency response plan or evacuation plan. The access to the proposed project is directly off Hauser Bridge Road. There are no known adopted emergency response plans for this area. The proposed project would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. The proposed project will conform to the Fire Safe Standards.

**Mitigation:**

No Mitigation Required.

- h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? \_\_\_\_\_ X

**Comment:**

8.h. No Impact - The proposed project would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. The proposed project will conform to the Fire Safe Standards.

**Mitigation:**

No Mitigation Required.

**9. HYDROLOGY AND WATER QUALITY**

Would the project:

- |   | Potentially Significant Impact | Less than Significant with Mitigation Incorporation | Less than Significant Impact | No Impact |
|---|--------------------------------|---|------------------------------|-----------|
| a) Violate any water quality standards or waste discharge requirements? | _____                          | _____   | <u>X</u>                     | _____     |

**Comment:**

9.a. Less than Significant Impact - The previously approved project was reviewed on June 29, 2004, by the Drainage Review Division of the Permit and Resource Management Department, and again in 2008, for the proposal statement submitted on February 26, 2008. It was determined during these reviews that the projects are subject to the National Pollution Discharge Elimination System (NPDES) requirements, and covered under the State General Construction Permit, as set by the Regional Water Quality Control Board (RWQCB). Based on standard requirements established by Section 11.16.060, of the Sonoma County Code (Grading Ordinance #5819), the grading permit process requires compliance with adopted best management practices which are intended to mitigate impacts to waterways. The proposed project shall be conditioned to obtain an approved grading permit prior to issuance of a building permit. The proposed project is in compliance with the Waste Discharge Requirements.



**Mitigation:**

No Mitigation Required.

- b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted?)

\_\_\_\_\_ X \_\_\_\_\_

**Comment:**

9.b. Less than Significant Impact - According to the Resource Conservation Element of the General Plan, the project site is not in a "groundwater recharge area." The project site is served by several existing private wells and some springs, but their productivity is problematic in the summer dry season, with net yields from all sources estimated at approximately 1.3 gallons per minute by the California Department of Health Services. A groundwater report was not prepared for the proposed project. However, PRMD files contain several reports by E. H. Boudreau from 1985 and 1999. In his 1985 report, Boudreau observes that the bedrock underlying the property belongs to the Franciscan Formation, which has "such a complex structural arrangement of the rocks that it is impossible to make exact predictions of the conditions at depth....All groundwater in the area is derived from local rainfall that has percolated down into the rock, and it exists in small fractures in the zone of saturated rock below the water table....Movement of the water is from the ridge down towards the neighboring valleys....Fluctuation in the table could be from 20 to 30 feet, with the level being highest in the spring and lowest in early fall. Several springs come out of the sandstone on the ranch. An old 85-foot well on the ranch goes nearly dry during the summer, and close to it a 1 gpm test well was drilled in melange to 200 feet." The 1985 report, prepared for the Timberhill Ranch lodging plan, stated "Additional water is needed for the Timber Hill Ranch."

In 1999, Boudreau wrote three letters. On July 13, 1999, Boudreau wrote that use of the ranch by the 50 persons on site is about 1200 gallons per day, "which is only 24 gallons per person per day, which is very low. (The applicant estimates now that the Wellness Center will use 1,146 gallons per day.) If the use were 100 gallons per day per person, this would amount to 3.5 gallons per minute." Boudreau recommended additional pump tests run for 48 hours with the water emptied 200 feet away from a well to avoid recirculation. In August 1999, Boudreau conducted pump tests on two wells at the site. Because the ranch manager did not want to waste the pump water, the pump tests were limited to a five-hour period, during which the pumped water was captured in some available empty water tanks. As a result of the tests, Boudreau observed: "If there are to be about 65 people on the property (22 cabins plus staff), and the water use is 50 gallons per person per day, this comes to 3250 gallons per day, or 2.5 gallons per minute of steady flow (24 hours per day). For the five dry months of the year, during which there is no recharge from rain, pumpage would total around 487,500 gallons, or 1.5 acre-feet. Part of the water used on the property would percolate back down into the rock, helping to recharge the ground water." Boudreau concludes: "It appears that there is an adequate supply of ground water for the present and proposed facilities. If water were to run short, there is ample room in which to drill additional wells, although not every attempt could be successful." On November 8, 1999, he wrote to the consultant for the Timberhill Ranch: "...It looks to me that, consistent with proposed water use, there should be no shortage of water. And there should be no adverse impact on wells on neighboring properties."

In February 2007, the California Department of Health Services noted that a review of water usage data from the Ratna Ling water system "indicated that the System's groundwater sources are not sufficient to meet maximum day demands as required by the California Code of Regulations, Section 64564 (c). The System's combined well capacity reduces to an estimated 1.3 gallons per minute during dry periods, and the System needs a reliable combined capacity of 11 gallons per minute to meet maximum day demands."

A condition for approval of UPE04-0032 for the accessory Printing Press and other buildings on the site, including the precursor of the Wellness Center, required the property owner to monitor and report to

PRMD information about groundwater elevations and qualities of groundwater extracted pursuant to section RC-3b of the County General Plan. The applicant has submitted two years of groundwater data to PRMD and the data shows a summertime downward trend in the groundwater elevation with a corresponding wintertime recovery.

On August 22, 2008, the Permit and Resource Management Department, approved a Use Permit (UPE07-0089) for a 20 acre foot reservoir and a modification to a previously approved wellness center. On May 2, 2008, the applicant applied for a Grading Permit (GRD08-0081) to construct a 20 acre foot reservoir. A reservoir this size has the capacity to hold 15 to 18 acre feet of water. This size reservoir could provide water to approximately 30 single family dwellings in a typical subdivision. On July 21, 2010, the Grading Permit for the 20 acre foot reservoir was finalized. This geographic location of the County is a high rainfall area and typically receives 40 to 50 inches of rain per year. Sheet flow from the rain is captured in the reservoir. In addition, the applicant captures rain water from the existing structures' roofs and places the water in the reservoir. All water in the reservoir is disinfected by a dual disinfection system prior to being distributed into the on-site potable water system.

With the construction of the reservoir the existing water sources are adequate for the existing facility and proposed project to include a 6-bedroom residence and an eight tent campground for seasonal use. The applicant does not propose construction of new wells or development of springs. Therefore, it is not likely that the project will adversely impact existing or neighboring wells in the vicinity.

**Mitigation:**

No Mitigation Required.

- c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?      \_\_\_\_\_      \_\_\_\_\_        X        \_\_\_\_\_

**Comment:**

9.c. Less than Significant Impact - Minor grading will be required for the proposed 6-bedroom single family dwelling. An approved grading permit will be required prior to issuance of a building permit. The grading permit is subject to compliance with the Grading Ordinance (# 5819), which addresses impacts to drainage patterns and prevention of erosion/siltation on/off site. The existing drainage pattern will not be altered and there will be no substantial erosion or siltation on- or off-site.

**Mitigation:**

No Mitigation Required.

- d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_        X

**Comment:**

9.d. No Impact - The existing drainage will not be altered or there will not be an increase in surface runoff that would result in flooding.

**Mitigation:**

No Mitigation Required.

- e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? \_\_\_\_\_ X

**Comment:**

9.e. No Impact - Runoff water will not exceed the capacity of the existing stormwater drainage systems or provide substantial additional sources of polluted runoff.

**Mitigation:**

No Mitigation Required.

- f) Otherwise substantially degrade water quality? \_\_\_\_\_ X

**Comment:**

9.f. No Impact - The water quality will not be degraded.

**Mitigation:**

No Mitigation Required.

- g) Place housing within a 100-year hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? \_\_\_\_\_ X

**Comment:**

9.g. No Impact - The project site is not located in a flood hazard zone and will not place housing in a flood zone.

**Mitigation:**

No Mitigation Required.

- h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows? \_\_\_\_\_ X

**Comment:**

9.h. No Impact - See 9.g listed above.

**Mitigation:**

No Mitigation Required.

- i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? \_\_\_\_\_ X \_\_\_\_\_

**Comment:**

9.i. Less than Significant Impact - An existing reservoir is located on the project site and is approximately one-half mile from the San Andreas Fault and 300 feet uphill from an accessory press building that regularly contains persons working on the publication of sacred religious texts. Failure of the dam could result in a surge of water flooding toward the accessory press building, although it is likely that such a surge would flow around the building because of the topography.

**Mitigation:**

No Mitigation Required.

j) Inundation by seiche, tsunami, or mudflow?                       X             

**Comment:**

9.j. Less than Significant Impact - See 9.i listed above.

**Mitigation:**

No Mitigation Required.

10. **LAND USE AND PLANNING** Would the project:

Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
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a) Physically divide an established community?	<u>        </u>	<u>        </u>	<u>        </u>	<u>    X    </u>
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**Comment:**

10.a. No Impact - The property is located in an isolated part of Sonoma County where there is no established or named community. The Ratna Ling property is divided by a County road, but the property and the project do not divide any settlements, town, or village.

**Mitigation:**

No Mitigation Required.

b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<u>        </u>	<u>        </u>	<u>    X    </u>	<u>        </u>
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**Comment:**

10.b. Less than Significant Impact

The General Plan land use designation and zoning of the subject parcels is RRD (Resource and Rural Development) where the residential density ranges from 20 to 320 acres per unit. The General Plan states the purpose of this land use designation and zoning is to:

- (1) Protect timberlands needed for commercial timber production under the California Timberland Productivity Act,
- (2) Protect lands needed for geothermal resource production,

- (3) Protect lands for aggregate resource production as identified in the Aggregate Resources Management Plan,
- (4) Protect natural resource lands including, but not limited to watershed, fish and wildlife habitat and biotic areas,
- (5) Protect against intensive development of lands constrained by geologic hazards, steep slopes, poor soils or water, fire and flood prone areas, biotic and scenic areas, and other constraints,
- (6) Accommodate agricultural production activities but limit such activities on timberland, or
- (7) Protection of county residents from proliferation of growth in areas where there are inadequate public services and infrastructure, including water supply and safe wastewater disposal.

The RRD zoning regulation implements the General Plan RRD land use designation and permits uses or activities associated with natural resource production and protection and rural uses that have a minimum impact on the environment. Noncommercial lodges and clubs, including the proposed use which is similar to a noncommercial lodge or club, are allowed in the RRD Zoning district with approval of a Use Permit provided they do not interfere with or detract from the purposes of this district.

As proposed, the project would not interfere with the purposed of the RRD zoning district. It would increase the on-site population from 67 persons to 122 persons (i.e. residents, retreat guests, and printing press volunteers). It would increase housing by constructing one residential facility at 36000 Hauser Bridge Road, with a maximum occupancy of 12 persons. A new seasonal campground would be constructed with eight tents to be used from May through October and would be located on the west side of Hauser Bridge Road south of the existing accessory printing press facility. Retreat guests and printing press volunteers would occupy the seasonal campground, the new residential facility and the existing residential structures. The proposal also includes elimination of the current Use Permit (UPE04-0032) restriction limiting the number of books produced on an annual basis number and instead limit the book production to allow one truck (maximum 24 feet) in length round trip per day on an annual basis (730 trips). The project would allow permanent storage rather than temporary storage of the sacred text in the existing four "Sacred Text Treasury" structures, and the total square footage for all four structures is not to exceed 39,270 square feet in size. On March 26, 2008, a Zoning Permit (ZPE08-0074) was approved to allow two temporary sacred text storage structures of 6,000 square feet and 2,260 square feet in size to be constructed on the project site. On April 21, 2008, the Zoning Permit (ZPE08-0074) was revised to include two additional sacred text storage structures of 14,000 square feet and 18,000 square feet in size to be constructed on the project site. On March 25, 2011, the Zoning Permit expired and a one-year extension of time for the Zoning Permit was approved by PRMD. The retreat center would keep the existing hours of operation and operate 7 days a week 24 hours a day. The non-commercial accessory press facility would keep the existing hours of operation and operate 7 days a week from 7 a.m. to 10 p.m.

The retreat center offers programs for healing, wellness, and Tibetan spiritual practices. The purpose of the retreat center is a place for educational, spiritual contemplation, meditation and spreading of the Buddhist teachings and practices known as the Dharma. Retreat guests participate in producing the religious practice of working on the sacred text in the accessory press facility and the press volunteers participate in retreats conducted at the retreat center.

#### Accessory Press Facility

The existing 21,000 square foot accessory non-profit press facility produces Tibetan books, prayer wheels, and art prints which are donated at no charge to Tibetan refugees living in India and Nepal. Buddhist materials are also translated and printed specifically for the Western audiences. The accessory press facility includes a press, cutter, folder, collator and a binder. The work also requires considerable space for hand assembly, wrapping and packing the books and related sacred objects. The accessory printing press operation would generate minimal amounts of hazardous waste as various measures are currently used to reduce their production, such as the use of vegetable-based inks and a water-based plate-making process.

One of the religious doctrines to the Tibetan Nyingma Meditation Center (TNMC) is that all full-time members of the community must engage in religious service. Many members of the religious community fulfill this obligation by operating a press that produces Tibetan books, prayer wheels, and art prints which are donated at no charge to Tibetan refugees living in India and Nepal.

The printing and publishing of the sacred text is a Tibetan Buddhist religious practice. The Tibetan sacred text is considered the embodiment of the Buddha's voice, a symbol of the Tibetan Buddhist religion. The founder of the Tibetan Buddhist wrote the following: "The teachings of the Buddha are a manifestation of the Buddha himself, and the propagation of these teachings is the most positive action one can perform." The Tibetan Buddhist religious practice consider producing the sacred text a spiritual practice which is regarded as highly meritorious for the individual producing the sacred text and all beings. Certain sacred text can only be handled by practitioners who have mastered the complete meditation ritual described inside the text. The intent of producing the sacred text is to keep religious and spiritual practices at the center of the text production.

Producing sacred texts is referred to as "work practice," as it is considered an intrinsically spiritual activity. Volunteers are chosen to participate in producing the sacred text and they assemble each morning to practice traditional Buddhist prayers in the Tibetan language. By repeating the prayer three times all participants vow to practice the Buddhist teachings as best they can during the day. During a moment of silent meditation everyone renews their intention to put their meditation instruction into practice while they produce the sacred text. After working for two hours the volunteers assemble to review a daily practice to be done while producing the sacred text. The practices are taken from Buddhist teachings called "skillful means," which integrate traditional Buddhist practices into everyday activities. Skillful means practices encourage the volunteers to be mindful in all their interactions, attuned to their bodies, and minds, and committed to cultivating awareness, concentration, and energy. The goal of the practice is to use every situation as a means of spiritual growth. During the rest of the day, a volunteer rings a bell periodically to remind all participants of the daily practice.

The volunteers take care of the traditional water and incense offerings. This involves filling seven offering bowls with clean water and placing them on the alter that stands at the center of the press, they light frankincense and sandalwood incense, place it in a metal incense burner similar to those used in Catholic cathedrals, and carry it throughout the accessory press building while chanting sacred mantras. This Buddhist practice serves to purify the accessory printing press facility space and is considered an offering.

Volunteers assemble each day to participate in closing prayers in the accessory press facility. One volunteer empties the seven water bowls on the alter which is part of the Buddhist practice. Once the closing prayers are finished the volunteers participate in the following required classes: Buddhist history, meditation, Tibetan yoga, or the Tibetan language.

The printing press operation is not an industrial or commercial use. As described above it's an integral part of the Tibetan Buddhist religious practice which includes the participation of volunteers and retreat guests. As such it is considered an accessory use to the retreat facility and would not be permitted as a stand alone use.

#### Sacred Text Storage Structures

Sacred text and art are not simply stored in the four sacred text structures but reverentially deposited in the structures. The texts are brought to the treasury in a specific Tibetan Buddhist religious manner. The treasury is prepared to receive the text in a specific Tibetan Buddhist religious manner. In each treasury, there is an alter adorned with flowers, incense, and water bowls honoring the Buddha. Twice a day, water and incense are offered in a ceremony that includes aspirations to enlightenment for the sake of all beings, and the chanting of mantras of purification. The ceremony concludes with a mantra that dedicates the benefit accumulation to the welfare of all beings. These ceremonies activate the blessings and protection of the enlightened ones. The daily honoring of the enlightened ones where texts and art are stored in the treasury purifies the space making it a fit receptacle for these manifestations of sacredness. It is critical for the Tibetan Buddhist to preserve this spiritual tradition, dedicated to the well-being of all and strengthen the community of practitioners. This is an essential daily part of the Tibetan Buddhist religious tradition.

The sacred text storage building clearly is not merely storage or commercial warehousing of finished books but an integral part of the Tibetan Buddhist religious practice which includes the participation of volunteers and retreat guests. As such it is considered accessory to the religious facility retreat center and would not be allowed as a stand alone separate use.

Press Facility Accessory Use

To approve the Use Permit, a finding must be made indicating that the printing facility is an accessory use to the retreat facility. The press facility would not be allowed if it was not accessory to the primary use. The retreat center held 105 retreats in 2011, and is an integral part of the printing press operations as previously discussed both are part of the Tibetan Buddhist religious practice. The following chart depicts the measurable components of the retreat center and the accessory printing press facility:

Measurable Components	Retreat Center	Accessory Printing Press Facility
Land Area	118.5 acres or 98.75%	1.5 acres or 1.25%
Septic Utilization	95%	5%
Water Use	97.5%	2.5%
Energy Use (electricity & gas)	76%	24%
Business Property Value	63%	37%
Hours of Operation	24 hours a day 7days a week	7 a.m. to 10:00 p.m. seven days a week
Traffic (based on estimated vehicle trips per day)	94.27%	5.72%

The proposed Use Permit is for a non-commercial, non-profit retreat center with an accessory use of a non-commercial printing press facility. If approved, the Use Permit runs with the land and a new owner could utilize the facility for lodging purposes but would not be able to use the printing facility as a separate use. However, in the event the property is conveyed to a party not affiliated with the traditions and practices of Tibetan Buddhism the applicant is proposing to dismantle and remove the printing equipment prior to conveying the property. The print building is a shell building which could be an accessory structure for a variety of permitted uses.

The proposed project would not involve the loss of timber; would not interfere with geothermal resource production; the site is not identified as an aggregate resource site in the Aggregate Resources Management Plan; and watersheds, fish, and wildlife habitat will be protected. There is adequate water supply as a new reservoir was constructed to capture runoff water from the site to serve the retreat center and the accessory press facility. The reservoir was finalized on July 21, 2010. Allowing the permanent storage of the sacred text and non-textual sacred objects in the existing four sacred text treasury structures, the long-term resident housing, and one round truck trip per day average for the non-profit accessory press facility would generate fewer vehicle trips, as the volunteers and retreat guest would remain on-site, and the sacred text would not be stored off-site, thus minimizing the traffic and air quality impacts. The proposed project is compatible with the natural resource conservation as a low intensity use would take place at the project site.

**Mitigation:**

No Mitigation Required.

- c) Conflict with any applicable habitat conservation

plan or natural community conservation plan? \_\_\_\_\_  X

**Comment:**

10.c. No Impact - There is no habitat conservation plan or natural community conservation plan in affect in the project area.

**Mitigation:**

No Mitigation Required.

**11. MINERAL RESOURCES** Would the project:

	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	_____	_____	_____	<u> X </u>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	_____	_____	_____	<u> X </u>

**Comment:**

11.a & b. Less than Significant Impact - The project site is not zoned MR (Mineral Resources) and not known to have mineral resources on-site. No mineral resources are known to exist in the vicinity of the subject property, other than gravel bar mining in the Gualala River.

**Mitigation:**

No Mitigation Required.

**12. NOISE** Would the project result in:

	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	_____	_____	<u> X </u>	_____

**Comment:**

12.a. Less than Significant Impact - The proposed project will not generate noise levels in excess of the standards established in the General Plan. There are no nearby sensitive receptors (residences).

**Mitigation:**

No Mitigation Required.

b) Exposure of persons to or generation of excessive groundborne vibration or ground borne noise levels?	_____	_____	<u> X </u>	_____
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**Comment:**

12.b. Less than Significant Impact - The project would result in construction activities of a residence that may create ground borne vibration and noise, however, this noise is not considered to be significant as the duration is limited to the construction period. Tent platform construction will require a brief period of construction noise.

**Mitigation:**

No Mitigation Required.

- c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

\_\_\_\_\_   X   \_\_\_\_\_

**Comment:**

12.c. Less than Significant Impact - The project may result in a minor temporary increase in ambient noise levels at the time the residence and tent platforms are constructed. This would be noise normally associated with construction and should not be excessive.

**Mitigation:**

No Mitigation Required.

- d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

\_\_\_\_\_   X   \_\_\_\_\_

**Comment:**

12.d. Less than Significant Impact - The project may result in a minor temporary increase in ambient noise levels at the time that the residence is constructed. This would be noise normally associated with construction and should not be excessive.

**Mitigation:**

No Mitigation Required.

- e) For a project located within an airport land use plan or, where such plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

\_\_\_\_\_   X   \_\_\_\_\_

**Comment:**

12.e. No Impact - The project is not located within an airport land use planning area nor within two miles of an airport.

**Mitigation:**

No Mitigation Required.

- f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to

excessive noise levels? \_\_\_\_\_ X

**Comment:**

12.f. No Impact - The project is not located near a private airport.

**Mitigation:**

No Mitigation Required.

**13. POPULATION AND HOUSING** Would the project:

Potentially Significant Impact	Less than Significant With Mitigation Incorporation	Less than Significant Impact	No Impact
--------------------------------------	---	------------------------------------	--------------

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? \_\_\_\_\_ X

**Comment:**

13.a. No Impact - The applicant is proposing to construct a new six bedroom residential facility at 36000 Hauser Bridge Road and eight tent platforms for seasonal use by retreat guest and volunteers. This structure will create additional housing but it will not substantially induce the population as a maximum of 12 persons will reside in the residential structure and maximum occupancy of the eight tents is 24 persons; including all other existing overnight facilities maximum occupancy at any one given time is 122 persons.

**Mitigation:**

No Mitigation Required.

b) Displace substantial numbers of existing housing necessitating the construction of replacement housing elsewhere? \_\_\_\_\_ X

**Comment:**

13.b. No Impact - This project will not displace a substantial number of existing housing. The applicant is proposing to construct a new six bedroom residential facility at 36000 Hauser Bridge Road which will provide additional housing. Existing housing located on the project site is currently being utilized.

**Mitigation:**

No Mitigation Required.

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? \_\_\_\_\_ X

**Comment:**

13.c. No Impact - No persons will be displaced during construction as the existing housing is all ready being utilized.

**Mitigation:**

No Mitigation Required.

14. **PUBLIC SERVICES** Would the project:

Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
--------------------------------	---	------------------------------	-----------

a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection?	_____	_____	_____	<u>  X  </u>
Police protection?	_____	_____	_____	<u>  X  </u>
Schools?	_____	_____	_____	<u>  X  </u>
Parks?	_____	_____	_____	<u>  X  </u>
Other public facilities?	_____	_____	_____	<u>  X  </u>

**Comment:**

14.a. No Impact - No new public facilities will be required as a result of this project. The Fire Marshal reviewed the project and has required that the project comply with Fire Safe Standards prior to issuance of any building permits. Developer fees will be used to mitigate potential impacts to school districts and roads. These standard fees are collected at issuance of a building permit.

**Mitigation:**

No Mitigation Required.

15. **RECREATION** Would the project:

Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
--------------------------------	---	------------------------------	-----------

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

_____	_____	_____	<u>  X  </u>
-------	-------	-------	--------------

**Comment:**

15.a. No Impact - The proposed project is a Use Permit for a Master Plan for a Buddhist monastery, non-profit accessory press facility, sacred text treasury, and retreat center. The project will be conditioned to meet standard County requirements for payment of park impact fees.

**Mitigation:**

No Mitigation Required.

b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

\_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_   X  

**Comment:**

15.b. No Impact - The project does not include recreational facilities or require the expansion of recreational facilities.

**Mitigation:**

No Mitigation Required.

16. **TRANSPORTATION/TRAFFIC** Would the project:

Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
--------------------------------	---	------------------------------	-----------

a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

\_\_\_\_\_   X   \_\_\_\_\_ \_\_\_\_\_

**Comment:**

16.a. Less than Significant Impact with Mitigation - A Traffic Study dated July 29, 2011, was prepared for the proposed project by W-Trans. The project site is accessed by Hauser Bridge Road and is approximately 0.8 miles north of the intersection of Hauser Bridge Road and Seaview Road. Hauser Bridge Road and segments of Seaview Road east of Hauser Bridge Road were included in the study. Hauser Bridge Road is a winding road varying in width between 12 and 20 feet.

Vehicle counts were taken near the project site for one week, and showed that daily traffic on Hauser Bridge Road varies from approximately 50 to 80 vehicle trips per day. During the same time period, Seaview Road averaged approximately 150 vehicles per day. The Sonoma County Transportation Authority's (SCTA) Travel Demand Forecasting Model projects a growth of about 18 percent in traffic by 2035 in the vicinity of the proposed project. According to the traffic study if growth of this magnitude were experienced, as predicted by the SCTA model, a total volume of 95 vehicles per day on Hauser Bridge Road and 177 vehicles per day on Seaview Road would result. The traffic study indicates with the proposed expansion of 26 guest units, it is expected that the retreat center would generate an average of 82 vehicle trips plus two truck trips 84 total trips per day for the accessory printing press facility.

According to design standards published by the American Association of State Highway and Transportation Officials (AASHTO) both Hauser Bridge Road and Seaview Road currently meet the low-volume criterion and are projected to continue to meet this criterion under future conditions.

The study indicates that much of Hauser Bridge Road is too narrow to allow opposing vehicles to pass and much of the road lacks shoulders, restricting the opportunity for a driver to pull over to allow another driver to pass. W-trans conducted a site visit and identified eleven curves with restricted sight distance on Hauser Bridge Road between Seaview Road and the project site. The existing sight distance is consistent with AASHTO standards unless there is evidence of site-specific safety problem attributed to inadequate sight distance. The study concluded that there was no evidence of a site-specific safety problem attributed to inadequate sight distance. The collision history for the study area was reviewed and

evaluated to determine if there are any existing critical safety issues. A ten year period from 2000-2009 was reviewed, during this time there were no reported collisions on Hauser Bridge Road from Seaview Road to over one-mile beyond the project site to the north. The study did not recommend improvements to the sight distance on Hauser Bridge Road based upon the AASHTO requirements listed above. The study did recommend that a curve warning sign with a supplemental 15 mph advisory speed limit sign be installed on Hauser Bridge Road near the intersection of Seaview Road to warn drivers of the road conditions. The applicant is proposing that trucks be limited to 24 feet in length and this is considered an improvement over existing conditions as larger trucks may have a difficult time traversing Hauser Bridge Road.

The Sonoma County Department of Public Works reviewed the Traffic Study prepared by W-trans and conditioned the proposed project to place pavement markers along the center of the pavement at one location to separate opposing traffic along the vertical curve in the road alignment at post mile 6.82.

**Mitigation Measure (1) 16.a:**

The size of trucks traveling to and from the project site shall not exceed 24 feet in length.

**Mitigation Monitoring (1) 16.a:**

The project shall be conditioned requiring all trucks traveling to and from the project site to not exceed 24 feet in length.

**Mitigation Measure (2) 16.a:**

The applicant shall contact the Sonoma County Department of Public Works and have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive.

**Mitigation Monitoring (2) 16.a:**

The applicant shall contact the Sonoma County Department of Public Works and pay to have a curve warning and 15 mph advisory speed limit sign installed on Hauser Bridge Road near the intersection of Seaview Drive.

**Mitigation Measure (3) 16.a:**

Pavement markers shall be placed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment prior to issuance of building/grading permits.

**Mitigation Monitoring (3) 16.a:**

The pavement markers to be installed along the center of the pavement at post mile 6.82 in order to separate opposing traffic along the vertical curve in the road alignment subject to review and approval by Department of Public Works and prior to building/grading permits.

- b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

\_\_\_\_\_      \_\_\_\_\_        X        \_\_\_\_\_

**Comment:**

16.b. Less than Significant Impact - See 16.a. listed above.

**Mitigation:**

- c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_        X

**Comment:**

16.c. No Impact - The proposed project will not result in a change in air traffic patterns as the only proposed construction is a six bedroom residence that will not exceed 35 feet in height.

**Mitigation:**

No Mitigation Required.

- d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?      \_\_\_\_\_      \_\_\_\_\_        X        \_\_\_\_\_

**Comment:**

16.d. Less than Significant Impact - See response to 16.a. listed above.

**Mitigation:**

No Mitigation Required.

- e) Result in inadequate emergency access?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_        X

**Comment:**

16.e. No Impact - The project is accessed directly from Hauser Bridge Road and provides adequate emergency access.

**Mitigation:**

No Mitigation Required.

- f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_        X

**Comment:**

16.f. No Impact - The proposed project will not conflict with policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities.

**Mitigation:**

No Mitigation Required.

- g) Result in inadequate parking capacity?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_        X

**Comment:**

16.g. No Impact - The project site is approximately 125 acres in size which is large enough to accommodate all parking on-site.

**Mitigation:**

No Mitigation Required.

**17. UTILITIES AND SERVICE SYSTEMS**

Would the project:

Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
--------------------------------------	---	------------------------------------	--------------

- a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?

_____	_____	<u>  X  </u>	_____
-------	-------	--------------	-------

**Comment:**

17.a. Less than Significant Impact - The existing project was reviewed on June 29, 2004, by the Drainage Review Division of the Permit and Resource Management Department, and again in 2008, for the proposal statement submitted on February 26, 2008. It was determined during these reviews that the projects are subject to the National Pollution Discharge Elimination System (NPDES) requirements, and covered under the State General Construction Permit, as set by the Regional Water Quality Control Board (RWQCB). A copy of the Notice of Intent (NOI) filed with the RWQCB, as well as the Waste Discharge Identification Number (WDID) issued by that agency; must be submitted to the Drainage Review Section of the Permit and Resource Management Department. Compliance with this condition will assure compliance with new Waste Discharge Requirements. The project description does not include construction of new water or wastewater treatment facilities. The new single family dwelling will be connected to a new septic system.

**Mitigation:**

No Mitigation Required.

- b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

_____	_____	<u>  X  </u>	_____
-------	-------	--------------	-------

**Comment:**

17.b. Less than Significant Impact - See response to 17.a. listed above.

**Mitigation:**

No Mitigation Required.

- c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

_____	_____	<u>  X  </u>	_____
-------	-------	--------------	-------

**Comment:**

17.c. Less than Significant Impact - No new storm water drainage facilities are contained in the project description. Minor drainage facilities are required for the new residential structure and the eight tents. The minor drainage facilities for the new residential structure and the eight tents will not create any impacts. A new reservoir was constructed to capture runoff water from the site to serve the retreat center and the accessory press facility. The reservoir was finished on July 21, 2010. The State Water Resources Control Board, in an email dated June 6, 2007, has indicated that the proposed capture of runoff water from the site does not constitute an action that would require new entitlements.

**Mitigation:**

No Mitigation Required.

- d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?      \_\_\_\_\_      \_\_\_\_\_        X        \_\_\_\_\_

**Comment:**

17.d. Less than Significant Impact - See response to 17.c. listed above.

**Mitigation:**

No Mitigation Required.

- e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_        X

**Comment:**

17.e. No Impact - There is not a wastewater treatment provider serving the project; wastewater is treated onsite by means of septic systems. Sonoma County has a solid waste management program in place that provides solid waste collection and disposal services for the entire County. This program can accommodate the new development that will result from this project. The project would not generate significant quantities of solid waste that would be expected to substantially affect the capacity of the County's landfills. The project must also meet the County recycling requirements.

**Mitigation:**

No Mitigation Required.

- f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_        X

**Comment:**

17.f. No Impact - See response to 17.e. listed above.

**Mitigation:**

No Mitigation Required.

- g) Comply with federal, state, and local statutes and regulations related to solid waste?      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_        X

**Comment:**

17.g. No Impact - See response to 17.e. listed above.

**Mitigation:**

No Mitigation Required.



18. MANDATORY FINDINGS OF SIGNIFICANCE

Yes No

- a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?  Yes  No

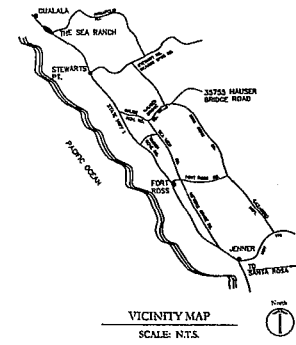
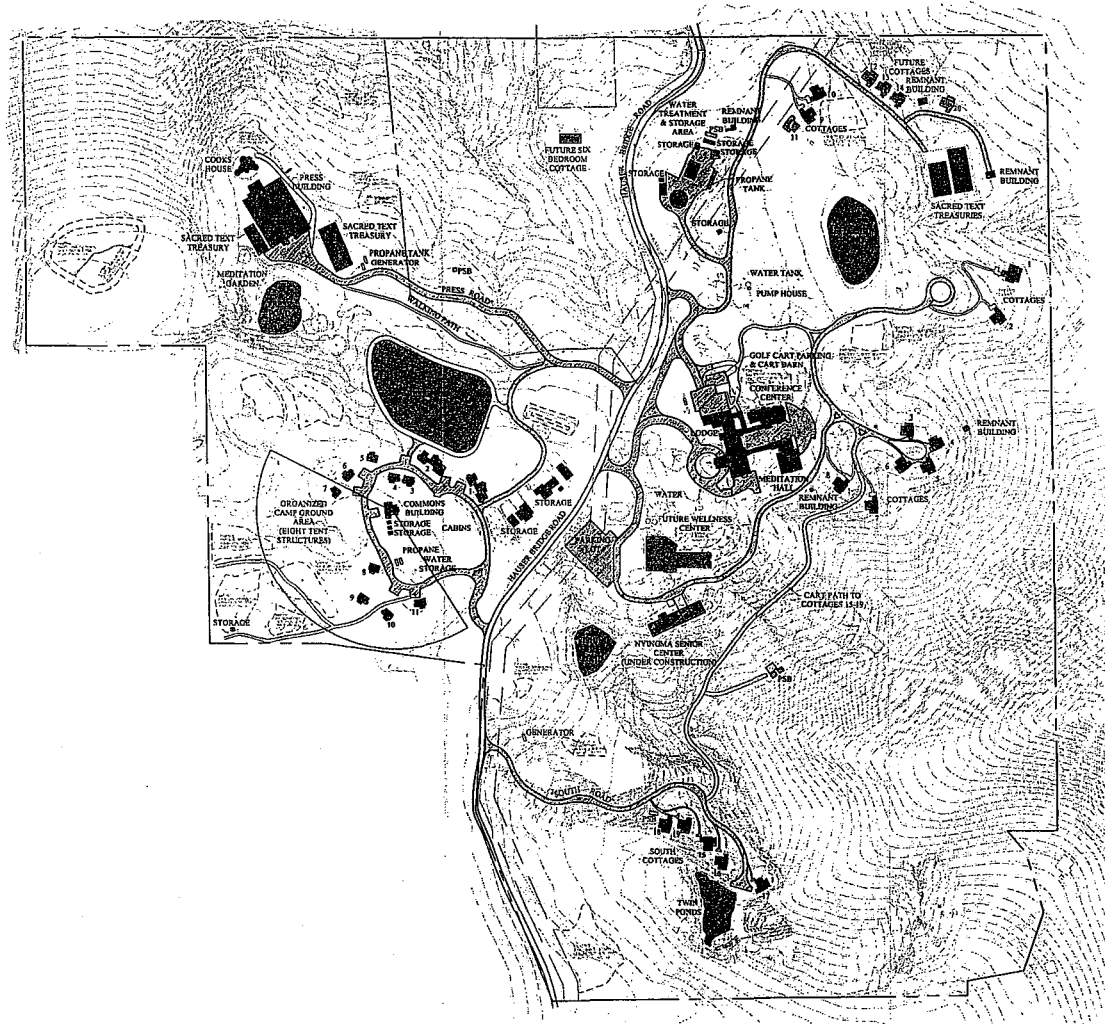
**Comment:** This initial study determined that this project will not result in degrading the quality of the environment, substantially reduce the habitat of a fish or wildlife species, threaten to eliminate a plant or animal community or eliminate important examples of the major periods of California history or prehistory.

- b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?  Yes  No

**Comment:** This initial study determined that this project will not have any cumulative impacts.

- c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?  Yes  No

**Comment:** This initial study determined that this project will not have any environmental affect on human beings.



- LEGEND**
- EXISTING ROAD / DRIVEWAY
  - EXISTING STRUCTURE
  - STRUCTURE CURRENTLY UNDER CONSTRUCTION
  - PROPOSED STRUCTURE
  - PSB POTENTIAL STORAGE BUILDING

**SITE PLAN**  
**MASTER USE PERMIT**  
 RATNA LING RETREAT CENTER  
 CAZADERO, CALIFORNIA

CLIENT: HEAD LAMA OF TIBETAN  
 NYINGMAPA MEDITATION CENTER

DATE: MARCH 10, 2011



**SHERWOOD**  
 Design Engineers  
 2500 CALIFORNIA STREET  
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W:\3047\_7-153\_4-1011\_Ratna Ling Retreat Master Use Permit - 1103\_11-11.dwg

# VALLEY ENVIRONMENTAL CONSULTING, LLC

## RATNA LING RETREAT CENTER

### U.S. ARMY CORPS OF ENGINEERS' JURISDICTION AT THE PRESS POND SITE

#### Summary

A formal delineation of waters of the United States, including wetlands, has not been prepared for the press pond area. (Ratna Ling's wetland consultant, Valley Environmental Consulting (VEC), prepared a delineation of waters of the United States, including wetlands, of the portion of the Ratna Ling property east of Hauser Bridge Road in March 2007. The delineation map was field-verified, with revisions, with Dan Martel of the Corps on April 4, 2007. Formal, written jurisdictional determinations [JDs] by the Corps, San Francisco District have been delayed as a result of the Corps districts awaiting guidance from Corps Headquarters on the interpretation of the *Rapanos v. United States* Supreme Court decision.)

VEC flagged the probable extent of Corps jurisdiction in the press pond area in March 2007. These areas consist of the lower one-half of the gully/seasonal drainageway and the rush meadow wetland that are alongside and downslope of the proposed pond and dam. (See attached map of RWQCB-jurisdictional areas, which also generally represent the extent of Corps jurisdiction.)

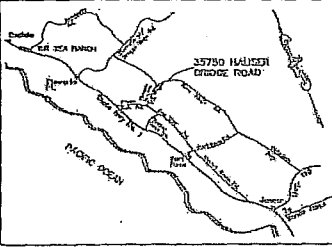
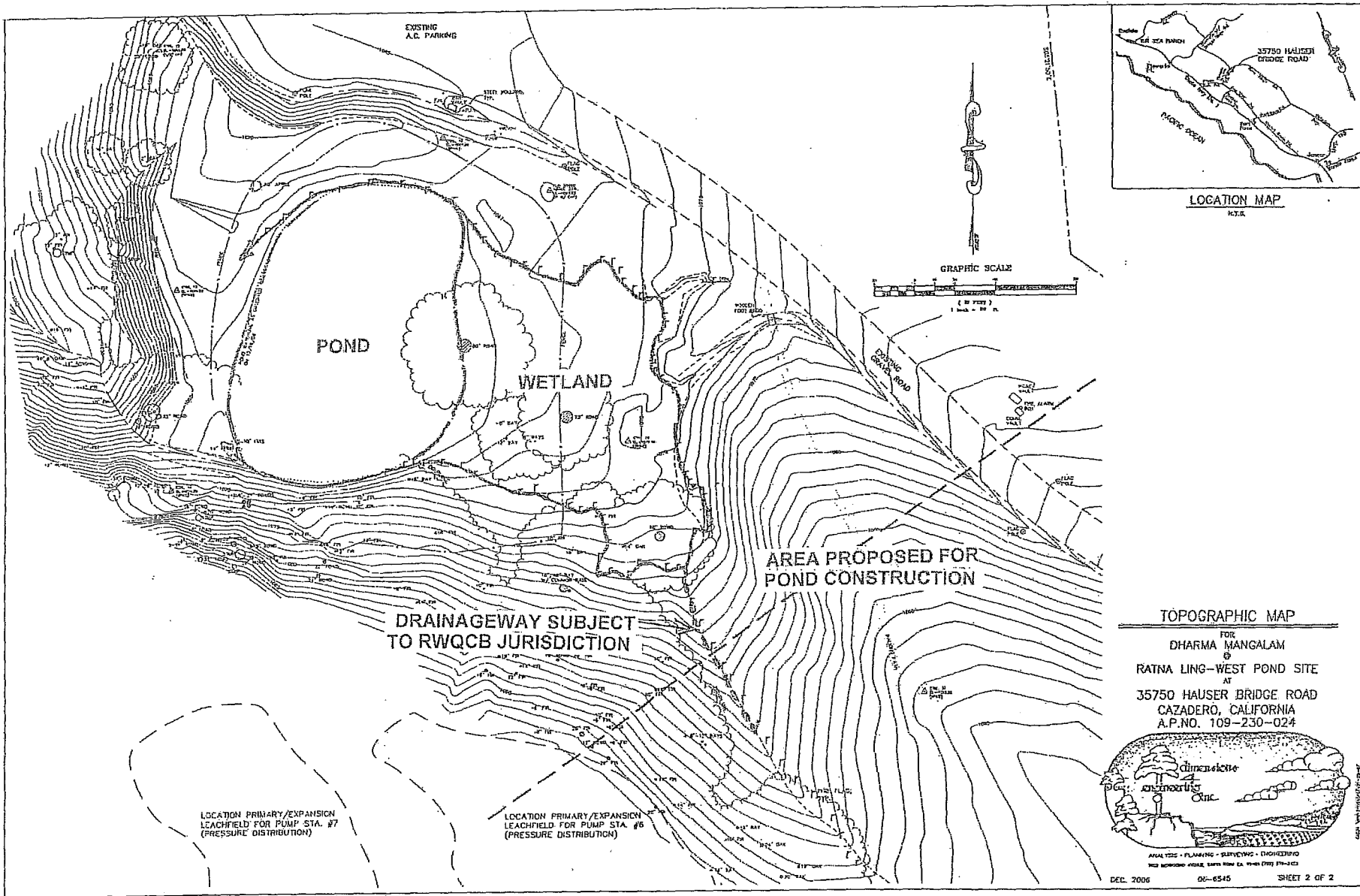
Based on VEC's interpretation of the Corps' *Rapanos* guidance, the upper one-half of the gully/seasonal drainageway does not appear to be subject to Corps jurisdiction. (Note: only the Corps can make the final determination, which would first require that a formal wetland delineation be prepared and submitted to the Corps for verification.) However, assuming that the upper one-half of the gully/drainageway is indeed Corps-jurisdictional, construction of the reservoir would result in 55 lineal feet of the one-foot-wide feature being permanently impacted. The volume of fill material (approximately 2.0 cubic yards) associated with pond construction placed below the ordinary high water mark, along with other project impacts on Corps-jurisdictional areas east of Hauser Bridge Road, would still be less than the 10-cubic-yard threshold required for a "reporting" Nationwide Permit from the Corps. Nationwide Permit 18 ("Minor Discharges") allows for small amounts of fill in waters of the United States, provided that 1) the project's total amount of fill is less than 1/10 acre, and 2) the project's total discharge involves no more than 25 cubic yards below the ordinary high water mark (OHWM). For project discharges that 1) are less than 10 cubic yards below the OHWM, and 2) are not in special aquatic sites (i.e., not in wetlands), no Preconstruction Notification, nor a delineation of waters of the United States, nor a compensatory mitigation plan is required to be submitted to the Corps. However, the Nationwide Permit General Conditions (e.g., implementation of erosion and sediment control measures) must nevertheless be met.

This indicates that the pond construction may proceed as currently designed and that a delineation of waters of the United States does not need to be submitted to the Corps.

Joel Butterworth  
Principal

Attachment:

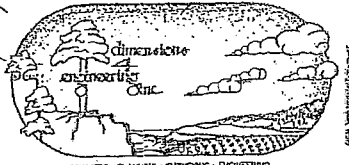
- Map of RWQCB-jurisdictional areas (also representing preliminary extent of Corps jurisdiction)



**LOCATION MAP**  
A3.2

**TOPOGRAPHIC MAP**

**FOR**  
**DHARMA MANGALAM**  
**o**  
**RATNA LING—WEST POND SITE**  
**AT**  
**35750 HAUSER BRIDGE ROAD**  
**CAZADERO, CALIFORNIA**  
**A.P.NO. 109-230-02#**



ANALYSIS - PLANNING - SURVEYING - ENGINEERING  
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**PRELIMINARY DELINEATION OF WATERS OF THE  
UNITED STATES, INCLUDING WETLANDS, OF THE  
RATNA LING PROJECT AREA, EASTERN PART,  
CAZADERO, CALIFORNIA**

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PREPARED FOR:

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MARCH 2007

# TABLE OF CONTENTS

	<b>Page</b>
Section 1 – Introduction	1
Section 2 – Description of Site Characteristics	2
Section 3 – Methods	5
Section 4 – Results	7
Section 5 – References Cited	12

## **Table**

Table 1. Summary of Jurisdictional Waters of the United States, Including Wetlands, in the Ratna Ling Project Area, Eastern Part	11
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## **Figures**

Figure 1. Project Site Location	follows 1
Figure 2. Freshwater Marsh FWM-1 and Open Water (Pond) OW-1	7
Figure 3. Rush Meadow RM-1	8
Figure 4. Rush Meadow RM-3	9
Figure 5. Ephemeral Drainageway ED-1	10

## **Appendices**

Appendix A – List of Plant Species Observed at the Ratna Ling Property	
Appendix B – Delineation Data Sheets	

Exhibit A – Preliminary Delineation of Waters of the United States, Including Wetlands, of the Ratna Ling Project Area, Eastern Part	map pocket
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## SECTION 1 – INTRODUCTION

Valley Environmental Consulting has been retained by Ratna Ling to prepare this delineation of waters of the United States, including wetlands, of portions of the eastern part of the Ratna Ling property (hereinafter referred to as the Project Area) to identify the extent of Clean Water Act Section 404 jurisdiction.

The 20.51-acre Project Area is located 12 miles northwest of Cazadero, in the northwestern part of Sonoma County (Figure 1), approximately three miles from the Pacific Ocean at 35755 Hauser Bridge Road. The Project Area is part of the overall 108-acre Ratna Ling property.

The project involves construction of a road, approximately ten cabins, and expansion of an existing pond and reconstruction of the pond's dam to address seismic concerns. Any potential development activities that may be undertaken in the western part of the Ratna Ling property (i.e., west of Hauser Bridge Road) would be the subject of a separate wetland delineation effort and permitting process.

This delineation was conducted according to the 1987 Corps of Engineers Wetlands Delineation Manual (Environmental Laboratory 1987) applying the routine onsite determination method and according to U.S. Army Corps of Engineers, San Francisco District (2000) guidelines. The delineation should be considered preliminary until the U.S. Army Corps of Engineers, San Francisco District, issues a jurisdictional determination of the extent of jurisdictional waters in the Project Area.



## SECTION 2 – DESCRIPTION OF SITE CHARACTERISTICS

### General Description

The Project Area, comprised of two components (in this report referred to as the North Site and the South Site), is part of the overall Ratna Ling property and is located at 35755 Hauser Bridge Road, Cazadero, Sonoma County (Figure 1). It is situated approximately 4.1 miles north of Fort Ross School. The assessors parcel number is 109-230-024. The Ratna Ling property was formerly known as the Timberhill Ranch.

The Project Area is located on the Plantation 7.5-minute topographic quadrangle, in the northwest ¼ of Section 27 of Township 9 North, Range 13 West. The center of the Project Area is at approximate Latitude 38 degrees, 35 minutes, 5.0 seconds north, and Longitude 123 degrees, 18 minutes, 3.2 seconds west.

Existing development in the North Site (Exhibit A) consists of several small structures and dirt roads. The South Site is undeveloped, but shows indications of past logging operations, such as abandoned roads and skid trails.

The proposed development in the North Site includes a new paved road and approximately four cabins. The proposed development in the South Site includes a new paved road, approximately six cabins with a parking area, a leachfield, and a water storage tank with pump house.

### Topography and Hydrology

The Project Area is on a side slope of a broad undulating ridge above the San Andreas Fault Rift Zone. Elevations of the North Site range between approximately 960 and 1,085 feet and slopes range from nearly level to greater than 20%. Elevations of the South Site range between approximately 955 and 1,087 feet and slopes range from approximately 5 to 60%.

Both components of the Project Area drain easterly to the South Fork Gualala River (a perennial stream), which discharges to the Pacific Ocean. The North Site contains a spring-fed, perennial pond. The South Site contains a spring- and runoff-fed pond, which during the dry season becomes two separate ponds. Both North Site and South Site ponds were created by constructing dams.

Stormwater management facilities in the Project Area are limited to small diameter culverts that pass under roadways and a few rock-lined road ditches.

### Soils

The USDA soil survey of Sonoma County (Miller 1972) indicates that the entire Project Area is underlain by Empire loam, 9 to 30% slopes (map unit EmE). This map unit is comprised of well drained soils with a loam surface horizon and a silty clay loam subsoil. The map unit occurs on coastal terraces, ridgetops, and mountainous uplands and is underlain by marine terrace deposits or weathered, soft sedimentary rocks. The permeability is moderate. The Empire series is classified as Typic Tropohumults.

Casper sandy loam, Hugo very gravelly loam, Mendocino sandy clay loam, and Noyo coarse sandy loam may also occur within the map unit. Casper and Hugo soils are well drained, Mendocino soils moderately well drained, and Noyo soils somewhat poorly drained (Miller 1972).

The County-level hydric soils list (USDA Soil Conservation Service 1992) indicates that the primary component of the map unit (i.e., the Empire soil) is non-hydric. No inclusions are indicated on the hydric soils list for the map unit.

## Climate

Mean annual precipitation at Fort Ross, approximately 4 miles south of the property, is 38 inches. The actual precipitation at the property is expected to be considerably greater than 38 inches as a result of orographic uplift. Most of the precipitation falls as rain between October and April (Miller 1972).

As of the date of the delineation field survey (discussed below), the region had received roughly 60% of the mean annual precipitation to date, according to National Weather Service information. This condition was considered in interpreting hydrologic conditions at the data points.

No specific data are available for the length of the growing season at the property. However, the soil survey (Miller 1972) indicates that the frost free period for the Empire soil series averages 290 to 310 days. (Natural Resources Conservation Service National Water and Climate Center data [<http://www.wcc.nrcs.usda.gov/climate/wetlands.html>] indicate that the growing season at 28 degrees F. is 365 days with 50% probability at Fort Ross; however, because the Project Area is farther from the coast and at a higher elevation, the 290 to 310-day growing season specified in the soil survey is probably more accurate.) Consequently, the Project Area soils would need to be inundated or saturated in the major part of the root zone for a minimum of 15 to 16 consecutive days for wetland hydrology to exist, based on 5% of the growing season (Environmental Laboratory 1987). It is assumed that the wetland delineation field survey was not conducted during the growing season, based on the typical growing season starting and ending dates described in the soil survey for mountainous areas near the coast (Miller 1972).

## Vegetation

Common names of plant species are used in the main text of this report; see Appendix A for the scientific names of the species. Appendix A is a list of all the plant species observed on the overall Ratna Ling property.

The vegetation of the generally developed areas and areas considered for development on the overall Ratna Ling property was previously described in a biological resources survey report by Jane Valerius Environmental Consulting and Wildlife Research Associates (2004). They observed three primary vegetation communities: grasslands, mixed evergreen forest, and aquatic features/potential wetlands, as summarized below.

## **Grassland**

The grassland community is comprised of a mixture of native and non-native grasslands, and occurs mainly in the North Site. Native grasses noted during the survey are purple needlegrass, California oatgrass, blue wildrye, Idaho fescue, and California brome. The overall cover of the native grasses was not sufficient to identify this vegetation as a native perennial grassland. Among the native species are non-native grasses such as Italian ryegrass, hare barley, soft chess, ripgut brome, dogtail grass, orchard grass, and Harding grass. A variety of native and non-native forb species also occur in the grasslands.

## **Mixed Evergreen Forest**

The mixed evergreen forest community is the predominant community within the Project Area, particularly in the South Site. This community is comprised of coast live oak, Douglas fir, madrone, and coast redwood. Understory shrubs include poison oak, coffeeberry, snowberry, and California rose.

## **Aquatic Features/Potential Wetlands**

The aforementioned pond in the North Site has a band of emergent vegetation along part of its shoreline. The emergent vegetation includes cattails, rushes, and pennyroyal. The pond also supports a small patch of common waterweed, a floating aquatic species.

The aforementioned pond in the South Site generally has no associated emergent vegetation, perhaps due to the shady conditions.

Other potential wetlands include small areas dominated by rush and sedge species that appear to be subject to seasonal saturation.

## SECTION 3 – METHODS

### Literature Review

Prior to the delineation field survey, literature pertinent to identifying potential wetlands and other waters of the United States in the Project Area was reviewed, including the USGS 7.5 minute topographic quadrangle map for the area, the detailed topographic base map prepared for the property, the soil survey report, and the County-level hydric soils list.

### Field Survey and Map Preparation

Primary work for the delineation field surveys of the Project Area was conducted by soil and wetland specialist Joel Butterworth and botanist Jane Valerius on January 16, 2007. An additional survey was conducted by Mr. Butterworth on January 24, 2007.<sup>1</sup> They inspected areas in which the topography or vegetation suggested that wetlands could exist. They then evaluated such areas for the presence of wetlands using the procedures described in the 1987 Corps of Engineers Wetlands Delineation Manual (Environmental Laboratory 1987) applying the routine onsite determination method and in accordance with U.S. Army Corps of Engineers, San Francisco District (2000) guidelines. The wetland indicator status of plants was determined based on Reed (1988). Non-wetland waters of the United States (“other waters”) potentially subject to federal jurisdiction were evaluated and mapped according to various regulatory guidance letters issued by the Corps.

Hydrophytic plant species dominance was determined using the 50/20 Rule (Federal Interagency Committee for Wetland Delineation 1989). Candidate wetland areas with a prevalence of hydrophytic vegetation were further evaluated for wetland hydrology and hydric soils.

A soil pit was excavated at each of the 13 delineation sample plots (data points) (shown on Exhibit A) to a depth of 12 to 20 inches, depending on the depth to the water table and soil density. The data points were established in representative wetlands. In most cases an adjoining nonwetland data point was established near the wetland data point to “bracket” the wetland data point, as a means to identify the wetland-nonwetland boundary. Supplemental observations (not recorded as data points) of vegetation, soil, and hydrologic characteristics were made at numerous other locations to evaluate candidate wetlands and to extrapolate wetland-nonwetland boundaries.

A few “free-standing” data points (i.e., DP-3, DP-6, and DP-9) were established in areas in which general site conditions suggested that a candidate wetland may have been present. These areas were similar to the mapped rush meadows, but because they were lacking in one or more of the three wetland parameters, they were identified as a (non-wetland) mesic grassland community.

The boundaries of other waters of the United States (i.e., streams and ponds) were determined based on the presence of the ordinary high water mark (OHWM) field indicators. Such indicators included a bed and bank cross section, a scoured bed, and “shelving”.

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<sup>1</sup> The weather on the January 16 and 24, 2007 field surveys was clear and cold. No appreciable rain had fallen during the week preceding each survey.

The data point locations, the centerline of other waters features, and the wetland polygons in the North Site were mapped using interpretation of the 1 inch = 50 feet, one-foot contour interval topographic base map prepared for the Ratna Ling property by Dimensions 4 Engineering, Inc. The field -mapped features were then digitized using AutoCAD 2000 software. In the South Site, where the location of the wetland boundaries could not be confidently mapped on the topographic map, the wetland boundaries were pin-flagged (as well as sketched on the topographic base map) and later surveyed by conventional surveying techniques by Dimensions 4 Engineering. The surveyed boundary data were then downloaded into the AutoCAD file containing the field-mapped features. Acreages of the mapped features were then calculated using AutoCAD 2000.

## SECTION 4 – RESULTS

This section describes the results of the field survey. Mapped preliminary jurisdictional features and data point locations are shown on Exhibit A. A list of plant species, including their scientific names, observed in the Project Area is provided in Appendix A. Wetland delineation data sheets completed at the data points are provided in Appendix B. A summary of the acreages of the mapped features is provided in Table 1.

### Wetlands

#### Freshwater Marsh

One freshwater marsh (FWM-1) (Figure 2 and Exhibit A) was mapped along the shoreline of the pond in the North Site. The pond, and therefore the freshwater marsh, appears to be primarily supported by a spring, with minor additional inputs from local sheet flow runoff.

Hydrophytic vegetation was established from a dominance by the hydrophytes broadleaved cattail (OBL) and spreading rush (FAC).

Wetland hydrology was established from shallow groundwater in the major part of the root zone.

Hydric soil was established from a matrix chroma of 1 (10YR3/1). No redox concentrations were observed.

FWM-1 is represented by Data Point 1.



Figure 2. Freshwater Marsh FWM-1 (center) and Open Water (Pond) OW-1 (left). Spade is at DP-1.

## Rush Meadow

Four rush meadow wetlands were mapped in the Project Area (Exhibit A and Figures 3 and 4). All were located on a 5 to 10% slope and were surrounded by woodland or forest. All appear to be supported by a combination infiltration from sheetflow runoff and seepage from upslope, the latter apparently caused by perching over a slowly permeable subsurface horizon (typically a clayey Bt horizon).

The rush meadows appear to be natural features. However, the hydrology of Rush Meadow RM-1 (represented by Data Point 4) appears to be supplemented by overflow from the pond.

Hydrophytic vegetation was typically established from a dominance by spreading rush, velvet grass (FAC), and umbrella sedge (FACW). Pennyroyal (OBL) and fiddle dock (FAC) were also commonly present in the rush meadows.

Wetland hydrology was generally established from saturation in the major part of the root zone and/or drainage patterns in wetlands. The drainage patterns were in the form of two to four 1- to 2-foot wide "rivelets" in which sheet flow had concentrated to the point that the duff layer was removed, but without any scour occurring.

Hydric soil was established from a matrix chroma of 1, typically 10YR3/1. Redoximorphic features generally were not observed in the surface layer (A horizon) of the rush meadow soils, but were evident in the upper part of the subsoils, either as redox concentrations or depletions.

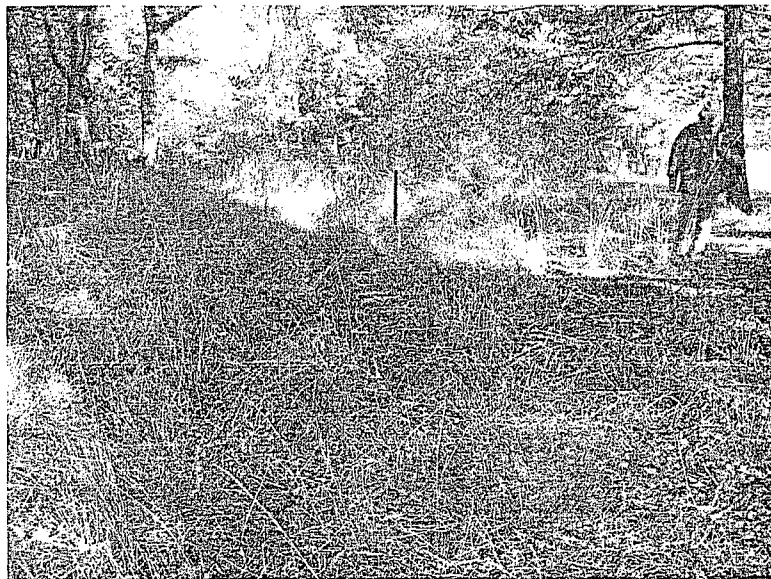


Figure 3. Rush Meadow RM-1. Spade is at DP-4.



Figure 4. Rush Meadow RM-3. Spade is at DP-7.

## Other Waters of the United States

### Open Water (Pond)

Two open water ponds (OW-1 [Figure 2] and OW-2) were mapped in the Project Area. The landward extent of the ponds was mapped by the OHWM, which was identified by a “ledge” along the shoreline. The ponds were unvegetated, except for a band of freshwater marsh in the North Site pond (described below), which was mapped separately as a freshwater marsh.

### Ephemeral Drainageway

Two ephemeral drainageways (ED-1 [Figure 5] and ED-2) (both unnamed) were mapped in the Project Area. The landward extent of these was mapped by the OHWM, which was identified based on the cross-section of the bed and bank and landward limit of scour. Vegetation was generally non-existent.

Both drainageways are natural, except for part of the lower end of ED-2. This section consists of an excavated spillway channel below OW-2; part of which appears to have incised approximately 10 feet after its construction.





Figure 5. Ephemeral Drainageway ED-1. Looking downstream below RM-1.

## Preliminary Jurisdictional Acreages

Table 1 provides a breakdown of the acreage of each of the mapped features. These acreages should be considered preliminary, subject to verification by the Corps.

Table 1. Summary of Jurisdictional Waters of the United States, Including Wetlands,  
at the Ratna Ling Project Area, Eastern Part

<b>Wetlands</b>	
<b>Habitat</b>	<b>Acreage</b>
Freshwater Marsh FWM-1	0.079
Rush Meadow RM-1	0.017
Rush Meadow RM-2	0.007
Rush Meadow RM-3	0.006
Rush Meadow RM-4	0.006
Subtotal	0.115
 <b>Other Waters of the United States</b>	
<b>Habitat</b>	<b>Acreage</b>
Open Water (pond) OW-1	0.519
Open Water (pond) OW-2	0.265
Ephemeral Drainageway ED-1	0.009
Ephemeral Drainageway ED-2	0.025
Subtotal	0.818
 Total Waters of the United States	 0.933

## SECTION 5 – REFERENCES CITED

Environmental Laboratory. 1987. U.S. Army Corps of Engineers Wetlands Delineation Manual. (Technical Report Y-87-1.) Vicksburg, MS: U.S. Army Waterways Experiment Station.

Federal Interagency Committee for Wetland Delineation. 1989. Federal Manual for Identifying and Delineating Jurisdictional Wetlands. (Cooperative Technical Publication.) Washington, DC: U.S. Army Corps of Engineers, U.S. Environmental Protection Agency, U.S. Fish and Wildlife Service, and USDA Soil Conservation Service.

Jane Valerius Environmental Consulting and Wildlife Research Associates. 2004. Botanical and Wildlife Review of the Ratna Ling Property, 35755 Hauser Bridge Road, Cazadero, Sonoma County, CA. Prepared for the Head Lama of the Tibetan Nyingma Meditation Center, Berkeley, CA.

Miller, V.C. 1972. Soil survey of Sonoma County, California. USDA Soil Conservation Service in cooperation with the USDA Forest Service, in cooperation with the University of California Agricultural Experiment Station. U.S. Government Printing Office, Washington, DC.

U.S. Army Corps of Engineers, San Francisco District. 2000. Information needed for verification of Corps jurisdiction. Revised February 2000. Regulatory Program. San Francisco, CA.

USDA Soil Conservation Service. 1992. Hydric soils list for Sonoma County, California. Davis, CA.

**Appendix A**  
**List of Plant Species Observed at the Ratna Ling**  
**Property**

**Appendix B**  
**Delineation Data Sheets**



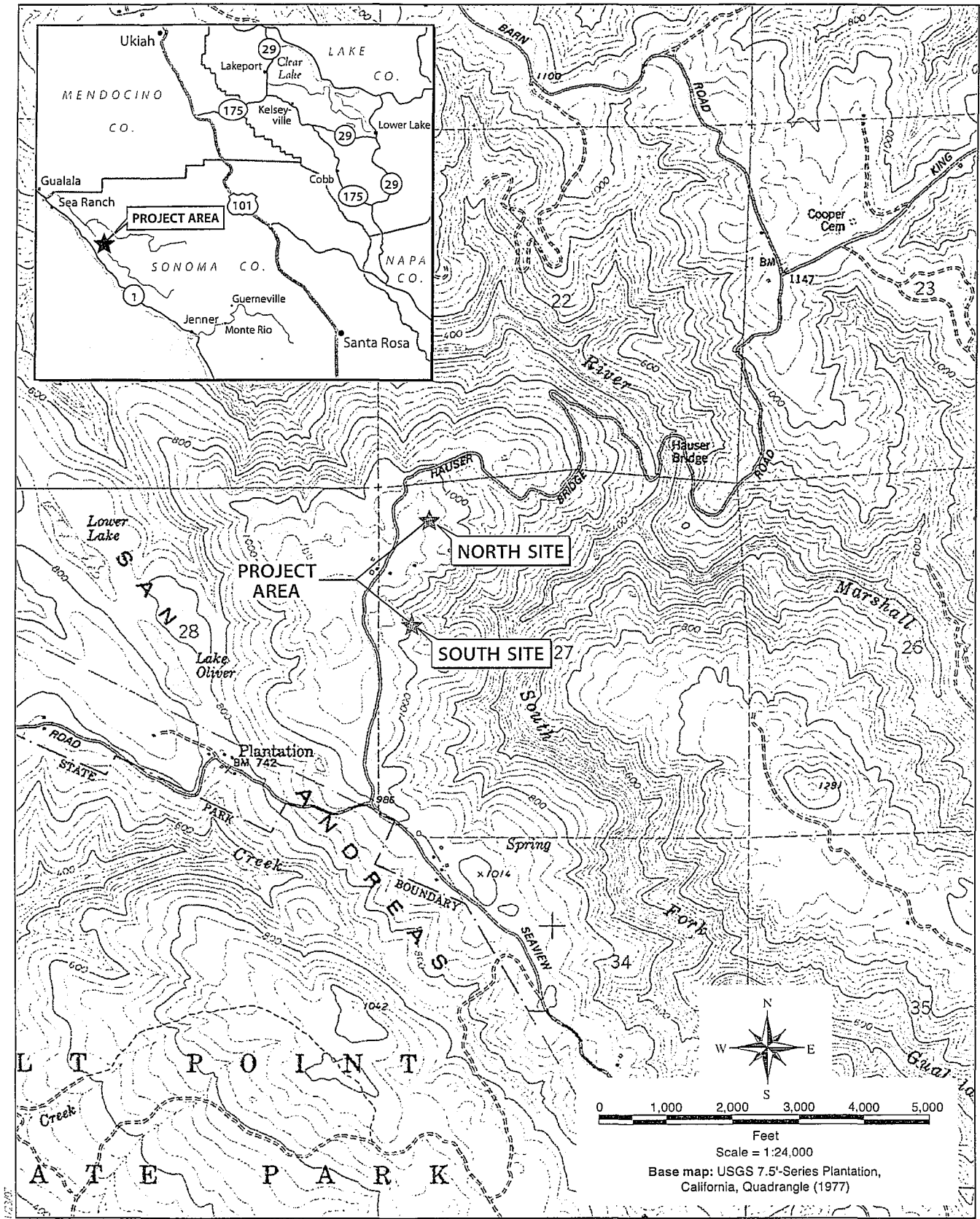


Figure 1  
Project Area Location

**SOILS**

Plot ID:

Map Unit Name (series and phase): Empire loam, 9-30% slopes Drainage Class: well

Taxonomy (subgroup): Typic Tropohumults Field observations confirm primary component?  YES  NO

Is data point within a Hydric Soils List inclusion?  YES  NO

Profile Description

Horizon	Depth (inches)	Texture	Roots	Matrix Color (moist)	Redoximorphic Features			Comments
					Color	Type, location	Abundance, Size, Contrast	
A	0-14	I		10YR 3/1				

Hydric Soil Indicators (check all that apply):

<input type="checkbox"/> Histosol	<input type="checkbox"/> Mn or Fe Concretions or Nodules
<input type="checkbox"/> Histic Epipedon	<input type="checkbox"/> High Organic Content in Surface Layer of Sandy Soils
<input type="checkbox"/> Sulfidic Odor	<input type="checkbox"/> Organic Streaking in Sandy Soils
<input type="checkbox"/> Aquic Moisture Regime	<input type="checkbox"/> Listed on National/Local Hydric Soils List
<input type="checkbox"/> Reducing Conditions ( $\alpha, \alpha'$ -dipyridyl test)	<input type="checkbox"/> Other (explain below)
<input checked="" type="checkbox"/> Gleyed or Low-Chroma ( $\leq 1$ ) matrix	
<input type="checkbox"/> Matrix Chroma $\leq 2$ with Redoximorphic Concentrations and/or Depletions	

Hydric Soils Present?  YES  NO

Remarks:

**WETLAND DETERMINATION :**

Hydrophytic vegetation present?  YES  NO

Wetland hydrology present?  YES  NO

Hydric soils present?  YES  NO Is the sampling point within a wetland?  YES  NO

Remarks:

Wetland-nonwetland boundary clearly defined by topography. Part of all of the wetland may be artificial, having been created as a result of sediment accumulation behind wire fence, and subsequent "charging" of the sediment by the flow in the drainageway.

Texture and Rock Fragment Content			Redoximorphic Feature Morphology	
Texture		Rock Fragments	Abundance	Type
cos - coarse sand	vfs1 - very fine sandy loam	gr - gravelly	f - few	Fe-x - iron concentration (soft mass)
s - sand	l - loam	vgr - very gravelly	c - common	Fe-nc - iron nodule or concretion
fs - fine sand	sil - silt loam	xgr - extremely gravelly	m - many	Mn-x - manganese concentration (soft mass)
vfs - very fine sand	si - silt	cb - cobbly		Mn-nc - manganese nodule or concretion
lcos - loamy coarse sand	sci - sandy clay loam	vcb - very cobbly	<b>Size</b>	d - depletion
ls - loamy sand	cl - clay loam	xcb - extremely cobbly	1 - fine (<2mm)	
lfs - loamy fine sand	sic1 - silty clay loam	st - stony	2 - medium 2-5mm	<b>Location</b>
lvfs - loamy very fine sand	sc - sandy clay	vst - very stony	3 - coarse (5-20mm)	mat - soil matrix
cosl - coarse sandy loam	sic - silty clay	xst - extremely stony	4 - very coarse (20-76mm)	ped - ped surface
sl - sandy loam	c - clay		5 - extremely coarse (>76mm)	por - soil pores
fsl - fine sandy loam				otr - other
			<b>Contrast</b>	
			f - faint	
			d - distinct	
			p - prominent	



**SOILS**

Plot ID:

Map Unit Name (series and phase): Empire loam, 9-30% slopes Drainage Class: well

Taxonomy (subgroup): Typic Tropohumults Field observations confirm primary component?  YES  NO

Is data point within a Hydric Soils List inclusion?  YES  NO

Profile Description

Horizon	Depth (inches)	Texture	Roots	Matrix Color (moist)	Redoximorphic Features			Comments
					Color	Type, location	Abundance, Size, Contrast	
A	0-7	grl		10YR 3/1				
Bt	7-12	c		10YR5/4	5YR4/4	Fe-x, mat	c,2,d	

Hydric Soil Indicators (check all that apply):

<input type="checkbox"/> Histosol	<input type="checkbox"/> Mn or Fe Concretions or Nodules
<input type="checkbox"/> Histic Epipedon	<input type="checkbox"/> High Organic Content in Surface Layer of Sandy Soils
<input type="checkbox"/> Sulfidic Odor	<input type="checkbox"/> Organic Streaking in Sandy Soils
<input type="checkbox"/> Aquic Moisture Regime	<input type="checkbox"/> Listed on National/Local Hydric Soils List
<input type="checkbox"/> Reducing Conditions ( $\alpha$ , $\alpha^1$ - dipyrityl test)	<input type="checkbox"/> Other (explain below)
<input checked="" type="checkbox"/> Gleyed or Low-Chroma ( $\leq 1$ ) matrix	
<input type="checkbox"/> Matrix Chroma $\leq 2$ with Redoximorphic Concentrations and/or Depletions	

Hydric Soils Present?  YES  NO

Remarks:  
Low chroma soil 0-7 inches over a Bt horizon claypan at 7 inches, causing a perched water table.

**WETLAND DETERMINATION :**

Hydrophytic vegetation present?  YES  NO

Wetland hydrology present?  YES  NO

Hydric soils present?  YES  NO Is the sampling point within a wetland?  YES  NO

Remarks:

**Texture and Rock Fragment Content**

Texture	Rock Fragments
cos - coarse sand	gr - gravelly
s - sand	vgr - very gravelly
fs - fine sand	xgr - extremely gravelly
vfs - very fine sand	cb - cobbly
lcos - loamy coarse sand	vcb - very cobbly
ls - loamy sand	xcb - extremely cobbly
lfs - loamy fine sand	st - stony
lvfs - loamy very fine sand	vst - very stony
cosl - coarse sandy loam	xst - extremely stony
sl - sandy loam	
fsl - fine sandy loam	

**Redoximorphic Feature Morphology**

Abundance	Type
f - few	Fe-x - iron concentration (soft mass)
c - common	Fe-nc - iron nodule or concretion
m - many	Mn-x - manganese concentration (soft mass)
	Mn-nc - manganese nodule or concretion
	d - depletion
Size	Location
1 - fine (<2mm)	mat - soil matrix
2 - medium 2-5mm	ped - ped surface
3 - coarse (5-20mm)	por - soil pores
4 - very coarse (20-76mm)	otr - other
5 - extremely coarse (>76mm)	
Contrast	
f - faint	
d - distinct	
p - prominent	

**SOILS**

Plot ID:

Map Unit Name (series and phase): Empire loam, 9-30% slopes Drainage Class: well

Taxonomy (subgroup): Typic Tropohumults Field observations confirm primary component?  YES  NO

Is data point within a Hydric Soils List inclusion?  YES  NO

Profile Description

Horizon	Depth (inches)	Texture	Roots	Matrix Color (moist)	Redoximorphic Features			Comments
					Color	Type, location	Abundance, Size, Contrast	
A	0-18	cl		2.5Y2.5/1				

Hydric Soil Indicators (check all that apply):

<input type="checkbox"/> Histsol	<input type="checkbox"/> Mn or Fe Concretions or Nodules
<input type="checkbox"/> Histic Epipedon	<input type="checkbox"/> High Organic Content in Surface Layer of Sandy Soils
<input type="checkbox"/> Sulfidic Odor	<input type="checkbox"/> Organic Streaking in Sandy Soils
<input type="checkbox"/> Aquic Moisture Regime	<input type="checkbox"/> Listed on National/Local Hydric Soils List
<input type="checkbox"/> Reducing Conditions ( $\alpha, \alpha'$ -dipyridyl test)	<input type="checkbox"/> Other (explain below)
<input checked="" type="checkbox"/> Gleyed or Low-Chroma ( $\leq 1$ ) matrix	
<input type="checkbox"/> Matrix Chroma $\leq 2$ with Redoximorphic Concentrations and/or Depletions	

Hydric Soils Present?  YES  NO

Remarks:

**WETLAND DETERMINATION :**

Hydrophytic vegetation present?  YES  NO

Wetland hydrology present?  YES  NO

Hydric soils present?  YES  NO Is the sampling point within a wetland?  YES  NO

Remarks:

**Texture and Rock Fragment Content**

Texture	Rock Fragments
cos - coarse sand	gr - gravelly
s - sand	vgr - very gravelly
fs - fine sand	xgr - extremely gravelly
vfs - very fine sand	cb - cobbly
lcos - loamy coarse sand	vcb - very cobbly
ls - loamy sand	xcb - extremely cobbly
lfs - loamy fine sand	st - stony
lvfs - loamy very fine sand	vst - very stony
cosl - coarse sandy loam	xst - extremely stony
sl - sandy loam	
fst - fine sandy loam	
vfsl - very fine sandy loam	
l - loam	
sil - silt loam	
si - silt	
scl - sandy clay loam	
cl - clay loam	
sicl - silty clay loam	
sc - sandy clay	
sic - silty clay	
c - clay	

**Redoximorphic Feature Morphology**

Abundance	Type
f - few	Fe-x - iron concentration (soft mass)
c - common	Fe-nc - iron nodule or concretion
m - many	Mn-x - manganese concentration (soft mass)
	Mn-nc - manganese nodule or concretion
	d - depletion
Size	Location
1 - fine (<2mm)	mat - soil matrix
2 - medium (2-5mm)	ped - ped surface
3 - coarse (5-20mm)	por - soil pores
4 - very coarse (20-76mm)	otr - other
5 - extremely coarse (>76mm)	
Contrast	
f - faint	
d - distinct	
p - prominent	

MODIFIED DATA FORM  
ROUTINE WETLAND DETERMINATION

Project/Site: <u>Ratna Ling</u>	State: <u>California</u>
Applicant/Owner: <u>Barr Rosenberg</u>	County: <u>Sonoma</u>
Investigator(s): <u>Joel Butterworth</u>	S/T/R
Date: <u>01/24/07</u>	
Do normal circumstances exist on the site? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Community ID: <u>Rush Meadow (RM-4)</u>
Is the site significantly disturbed (atypical situation)? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Transect ID: <u>n/a</u>
Is the area a potential problem area? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (If needed, explain below)	Sample Plot #: <u>DP-12</u>

**VEGETATION**

Plant Species	Strata	% Rel. Cover	Indicator	Plant Species	Strata	% Rel. Cover	Indicator
<i>Carex</i> sp.	herb	50	>=FAC	<i>Iris douglasii</i>	herb	<5	NL
				<i>Cyperus eragrostis</i>	herb	<5	FACW
				<i>Juncus patens</i>	herb	<5	FAC
Percent of dominants that are OBL, FACW, or FAC (excluding FAC-):				100%	Total vegetation cover		70 %
<input type="checkbox"/> Morphological Adaptations <input type="checkbox"/> Physiological/Reproductive Adaptations <input type="checkbox"/> Visual Observation of Plant Species Growing in Areas of Prolonged Inundation/Saturation				<input type="checkbox"/> Personal Knowledge of Regional Plant Communities <input checked="" type="checkbox"/> Technical Literature <input type="checkbox"/> Other (explain below)			
Hydrophytic Vegetation Present? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO							
Remarks:							

**HYDROLOGY**

Is it the growing season? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Wetland Hydrology Indicators:	
Based On: <input type="checkbox"/> Soil Temp (record) <input checked="" type="checkbox"/> Other (explain) <u>Soil Survey</u>	Primary Indicators:	
Typical length: <u>290-310</u> Days 5% = <u>15 to 16</u>	<input type="checkbox"/> Inundated	
Growing Season Start Date: _____ 12.5% = <u>44 to 47</u>	<input type="checkbox"/> Saturated Upper 12 Inches	
Recorded Data (describe below):	<input type="checkbox"/> Water Marks	
<input type="checkbox"/> Stream, Lake, or Tide Gauge	<input type="checkbox"/> Drift Lines	
<input type="checkbox"/> Aerial Photographs	<input type="checkbox"/> Sediment Deposits/Algal Matting	
<input type="checkbox"/> Other	<input checked="" type="checkbox"/> Drainage Patterns in Wetlands	
<input checked="" type="checkbox"/> None Available	Secondary Indicators (2 or more required):	
Field Observations: *See remarks below	<input type="checkbox"/> Oxidized Rhizospheres in Upper 12 Inches	
Depth of Surface Water: <u>none</u> inches	<input type="checkbox"/> Water-Stained Leaves	
Depth to Standing Water in Pit: <u>&gt;17</u> inches	<input type="checkbox"/> Local Soil Survey Data	
Depth to Saturated Soil: <u>&gt;17</u> inches	<input type="checkbox"/> FAC-Neutral Test (OBL, FACW : FACU, UPL)	
	<input type="checkbox"/> Other (explain below)	
Wetland Hydrology Present? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
Remarks: Sample plot in swale.		

MODIFIED DATA FORM  
ROUTINE WETLAND DETERMINATION

Project/Site: <u>Ratna Ling</u>	State: <u>California</u>
Applicant/Owner: <u>Barr Rosenberg</u>	County: <u>Sonoma</u>
Investigator(s): <u>Joel Butterworth and Jane Valerius</u>	S/T/R: _____
Date: <u>01/16/07</u>	Community ID: <u>Freshwater Marsh (FWM-1)</u>
Do normal circumstances exist on the site? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Transect ID: <u>n/a</u>
Is the site significantly disturbed (atypical situation)? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Sample Plot #: <u>DP-1</u>
Is the area a potential problem area? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (If needed, explain below)	

**VEGETATION**

Plant Species	Strata	% Rel. Cover	Indicator	Plant Species	Strata	% Rel. Cover	Indicator
<i>Typha latifolia</i>	herb	50	OBL	<i>Mentha pulgum</i>	herb	5	OBL
<i>Juncus patens</i>	herb	45	FAC				
Percent of dominants that are OBL, FACW, or FAC (excluding FAC-):		100%		Total vegetation cover		100 %	
<input type="checkbox"/> Morphological Adaptations <input type="checkbox"/> Physiological/Reproductive Adaptations <input type="checkbox"/> Visual Observation of Plant Species Growing in Areas of Prolonged Inundation/Saturation				<input type="checkbox"/> Personal Knowledge of Regional Plant Communities <input checked="" type="checkbox"/> Technical Literature <input type="checkbox"/> Other (explain below)			
<b>Hydrophytic Vegetation Present?</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO							
Remarks:							

**HYDROLOGY**

Is it the growing season? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Based On: <input type="checkbox"/> Soil Temp (record) _____ <input checked="" type="checkbox"/> Other (explain) <u>Soil Survey</u> Typical length: <u>290-310</u> Days      5% = <u>15 to 16</u> Growing Season Start Date: _____ 12.5% = <u>44 to 47</u> Recorded Data (describe below): <input type="checkbox"/> Stream, Lake, or Tide Gauge <input type="checkbox"/> Aerial Photographs <input type="checkbox"/> Other <input checked="" type="checkbox"/> None Available	<b>Wetland Hydrology Indicators:</b> <b>Primary Indicators:</b> <input type="checkbox"/> Inundated <input checked="" type="checkbox"/> Saturated Upper 12 Inches <input type="checkbox"/> Water Marks <input type="checkbox"/> Drift Lines <input type="checkbox"/> Sediment Deposits/Algal Matting <input type="checkbox"/> Drainage Patterns in Wetlands  <b>Secondary Indicators (2 or more required):</b> <input type="checkbox"/> Oxidized Rhizospheres in Upper 12 Inches <input type="checkbox"/> Water-Stained Leaves <input type="checkbox"/> Local Soil Survey Data <input type="checkbox"/> FAC-Neutral Test (OBL, FACW : FACU, UPL) <input type="checkbox"/> Other (explain below)
Field Observations: *See remarks below Depth of Surface Water: <u>none</u> inches Depth to Standing Water in Pit: <u>11</u> inches Depth to Saturated Soil: <u>10</u> inches	
<b>Wetland Hydrology Present?</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Remarks:	

MODIFIED DATA FORM  
ROUTINE WETLAND DETERMINATION

Project/Site:	Ratna Ling	State:	California
Applicant/Owner:	Barr Rosenberg	County:	Sonoma
Investigator(s):	Joel Butterworth and Jane Valerius	S/T/R	
Date:	01/16/07	Community ID:	Perennial Grassland
Do normal circumstances exist on the site?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Transect ID:	n/a
Is the site significantly disturbed (atypical situation)?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Sample Plot #:	DP-5
Is the area a potential problem area? (If needed, explain below)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		

**VEGETATION**

Plant Species	Strata	% Rel. Cover	Indicator	Plant Species	Strata	% Rel. Cover	Indicator
<i>Holcus lanatus</i>	herb	20	FAC	<i>Senicula crassicaulis</i>	herb	5	NL
<i>Elymus glaucus</i>	herb	40	FACU	<i>Cynosurus echinatus</i>	herb	10	NL
Percent of dominants that are OBL, FACW, or FAC (excluding FAC-):		50%		Total vegetation cover		80	%
<input type="checkbox"/> Morphological Adaptations <input type="checkbox"/> Physiological/Reproductive Adaptations <input type="checkbox"/> Visual Observation of Plant Species Growing in Areas of Prolonged Inundation/Saturation				<input type="checkbox"/> Personal Knowledge of Regional Plant Communities <input checked="" type="checkbox"/> Technical Literature <input type="checkbox"/> Other (explain below)			
Hydrophytic Vegetation Present?				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
Remarks:							

**HYDROLOGY**

Is it the growing season? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		Wetland Hydrology Indicators:
Based On: <input type="checkbox"/> Soil Temp (record)	Soil Survey	Primary Indicators:
<input checked="" type="checkbox"/> Other (explain)		<input type="checkbox"/> Inundated <input type="checkbox"/> Saturated Upper 12 Inches <input type="checkbox"/> Water Marks <input type="checkbox"/> Drift Lines <input type="checkbox"/> Sediment Deposits/Algal Matting <input type="checkbox"/> Drainage Patterns in Wetlands
Typical length: 290-310 Days	5% = 15 to 16	Secondary Indicators (2 or more required):
Growing Season Start Date:	12.5% = 44 to 47	
Recorded Data (describe below):		
<input type="checkbox"/> Stream, Lake, or Tide Gauge <input type="checkbox"/> Aerial Photographs <input type="checkbox"/> Other <input checked="" type="checkbox"/> None Available		
Field Observations: *See remarks below		<input type="checkbox"/> Oxidized Rhizospheres in Upper 12 Inches <input type="checkbox"/> Water-Stained Leaves <input type="checkbox"/> Local Soil Survey Data <input type="checkbox"/> FAC-Neutral Test (OBL, FACW : FACU, UPL) <input type="checkbox"/> Other (explain below)
Depth of Surface Water: none inches		
Depth to Standing Water in Pit: 17 inches		
Depth to Saturated Soil: 16 inches		
Wetland Hydrology Present? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
Remarks:		

**SOILS**

Plot ID:

Map Unit Name (series and phase): Empire loam, 9-30% slopes Drainage Class: well

Taxonomy (subgroup): Typic Tropohumults Field observations confirm primary component?  YES  NO

Is data point within a Hydric Soils List inclusion?  YES  NO

Profile Description

Horizon	Depth (inches)	Texture	Roots	Matrix Color (moist)	Redoximorphic Features			Comments
					Color	Type, location	Abundance, Size, Contrast	
A	0-17	sil		10YR3/1				
Bt	17-20	c		10YR5/1	5YR5/6	Fe-x. mat	m, 2, d	

Hydric Soil Indicators (check all that apply):

<input type="checkbox"/> Histosol	<input type="checkbox"/> Mn or Fe Concretions or Nodules
<input type="checkbox"/> Histic Epipedon	<input type="checkbox"/> High Organic Content in Surface Layer of Sandy Soils
<input type="checkbox"/> Sulfidic Odor	<input type="checkbox"/> Organic Streaking in Sandy Soils
<input type="checkbox"/> Aquic Moisture Regime	<input type="checkbox"/> Listed on National/Local Hydric Soils List
<input type="checkbox"/> Reducing Conditions ( $\alpha, \alpha^1$ -dipyridyl test)	<input type="checkbox"/> Other (explain below)
<input checked="" type="checkbox"/> Gleyed or Low-Chroma ( $\leq 1$ ) matrix	
<input type="checkbox"/> Matrix Chroma $\leq 2$ with Redoximorphic Concentrations and/or Depletions	

Hydric Soils Present?  YES  NO

Remarks:

**WETLAND DETERMINATION :**

Hydrophytic vegetation present?  YES  NO

Wetland hydrology present?  YES  NO

Hydric soils present?  YES  NO

Is the sampling point within a wetland?  YES  NO

Remarks:

(Sample plot located near surveyor's control point 79.)

**Texture and Rock Fragment Content**

Texture	Rock Fragments
cos - coarse sand	vfs1 - very fine sandy loam
s - sand	l - loam
fs - fine sand	sil - silt loam
vfs - very fine sand	si - silt
loos - loamy coarse sand	scl - sandy clay loam
ls - loamy sand	cl - clay loam
lfs - loamy fine sand	sicl - silty clay loam
lvfs - loamy very fine sand	sc - sandy clay
cosl - coarse sandy loam	sic - silty clay
sl - sandy loam	c - clay
fsl - fine sandy loam	

**Redoximorphic Feature Morphology**

Abundance	Type
f - few	Fe-x - iron concentration (soft mass)
c - common	Fe-nc - iron nodule or concretion
m - many	Mn-x - manganese concentration (soft mass)
	Mn-nc - manganese nodule or concretion
	d - depletion
Size	Location
1 - fine (<2mm)	mat - soil matrix
2 - medium (2-5mm)	ped - ped surface
3 - coarse (5-20mm)	por - soil pores
4 - very coarse (20-76mm)	otr - other
5 - extremely coarse (>76mm)	
Contrast	
f - faint	
d - distinct	
p - prominent	

MODIFIED DATA FORM  
ROUTINE WETLAND DETERMINATION

Project/Site: <u>Ratna Ling</u>	State: <u>California</u>
Applicant/Owner: <u>Barr Rosenberg</u>	County: <u>Sonoma</u>
Investigator(s): <u>Joel Butterworth and Jane Valerius</u>	S/T/R: _____
Date: <u>01/16/07</u>	Community ID: <u>Non-native Grassland</u>
Do normal circumstances exist on the site? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Transect ID: <u>n/a</u>
Is the site significantly disturbed (atypical situation)? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Sample Plot #: <u>DP-2</u>
Is the area a potential problem area? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
(If needed, explain below)	

**VEGETATION**

Plant Species	Strata	% Rel. Cover	Indicator	Plant Species	Strata	% Rel. Cover	Indicator
<i>Festuca ovina</i>	herb	75	NL	<i>Hypochaeris radicata</i>	herb	5	NL
				<i>Geranium molle</i>	herb	5	NL
				<i>Rumex acetocella</i>	herb	5	FAC-
				<i>Bromus sp.</i>	herb	10	?
Percent of dominants that are OBL, FACW, or FAC (excluding FAC-):		0%		Total vegetation cover		100	%
<input type="checkbox"/> Morphological Adaptations <input type="checkbox"/> Physiological/Reproductive Adaptations <input type="checkbox"/> Visual Observation of Plant Species Growing in Areas of Prolonged Inundation/Saturation				<input type="checkbox"/> Personal Knowledge of Regional Plant Communities <input checked="" type="checkbox"/> Technical Literature <input type="checkbox"/> Other (explain below)			
Hydrophytic Vegetation Present? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO							
Remarks:							

**HYDROLOGY**

Is it the growing season? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Based On: <input type="checkbox"/> Soil Temp (record) <input checked="" type="checkbox"/> Other (explain) <u>Soil Survey</u> Typical length: <u>290-310</u> Days      5% = <u>15 to 16</u> Growing Season Start Date: _____      12.5% = <u>44 to 47</u> Recorded Data (describe below): <input type="checkbox"/> Stream, Lake, or Tide Gauge <input type="checkbox"/> Aerial Photographs <input type="checkbox"/> Other <input checked="" type="checkbox"/> None Available	<b>Wetland Hydrology Indicators:</b> <b>Primary Indicators:</b> <input type="checkbox"/> Inundated <input type="checkbox"/> Saturated Upper 12 Inches <input type="checkbox"/> Water Marks <input type="checkbox"/> Drift Lines <input type="checkbox"/> Sediment Deposits/Algal Matting <input type="checkbox"/> Drainage Patterns in Wetlands  <b>Secondary Indicators (2 or more required):</b> <input type="checkbox"/> Oxidized Rhizospheres in Upper 12 Inches <input type="checkbox"/> Water-Stained Leaves <input type="checkbox"/> Local Soil Survey Data <input type="checkbox"/> FAC-Neutral Test (OBL, FACW : FACU, UPL) <input type="checkbox"/> Other (explain below)
Field Observations: *See remarks below Depth of Surface Water: <u>none</u> inches Depth to Standing Water in Pit: <u>&gt;17</u> inches Depth to Saturated Soil: <u>&gt;17</u> inches	
Wetland Hydrology Present? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
Remarks:	

**SOILS**

Plot ID:

Map Unit Name (series and phase): Empire loam, 9-30% slopes Drainage Class: well

Taxonomy (subgroup): Typic Tropohumults Field observations confirm primary component?  YES  NO

Is data point within a Hydric Soils List inclusion?  YES  NO

Profile Description

Horizon	Depth (inches)	Texture	Roots	Matrix Color (moist)	Redoximorphic Features			Comments
					Color	Type, location	Abundance, Size, Contrast	
A	0-16	l		10YR 3/2				
BCr	16-18	fsl		10YR4/2 and 4/3				variegated colors

Hydric Soil Indicators (check all that apply):

<input type="checkbox"/> Histosol	<input type="checkbox"/> Mn or Fe Concretions or Nodules
<input type="checkbox"/> Histic Epipedon	<input type="checkbox"/> High Organic Content in Surface Layer of Sandy Soils
<input type="checkbox"/> Sulfidic Odor	<input type="checkbox"/> Organic Streaking in Sandy Soils
<input type="checkbox"/> Aquic Moisture Regime	<input type="checkbox"/> Listed on National/Local Hydric Soils List
<input type="checkbox"/> Reducing Conditions ( $\alpha$ , $\alpha^1$ -dipyridyl test)	<input type="checkbox"/> Other (explain below)
<input type="checkbox"/> Gleyed or Low-Chroma ( $\leq 1$ ) matrix	
<input type="checkbox"/> Matrix Chroma $\leq 2$ with Redoximorphic Concentrations and/or Depletions	

Hydric Soils Present?  YES  NO

Remarks:

**WETLAND DETERMINATION :**

Hydrophytic vegetation present?  YES  NO

Wetland hydrology present?  YES  NO

Hydric soils present?  YES  NO

Is the sampling point within a wetland?  YES  NO

Remarks:

**Texture and Rock Fragment Content**

Texture	Rock Fragments
cos - coarse sand	gr - gravelly
s - sand	vgr - very gravelly
fs - fine sand	xgr - extremely gravelly
vfs - very fine sand	cb - cobbly
lcos - loamy coarse sand	vcb - very cobbly
ls - loamy sand	xcb - extremely cobbly
lfs - loamy fine sand	st - stony
lvfs - loamy very fine sand	vst - very stony
cosl - coarse sandy loam	xst - extremely stony
sl - sandy loam	
fsl - fine sandy loam	
vfs1 - very fine sandy loam	
l - loam	
sil - silt loam	
si - silt	
scl - sandy clay loam	
cl - clay loam	
sicl - silty clay loam	
sc - sandy clay	
sic - silty clay	
c - clay	

**Redoximorphic Feature Morphology**

Abundance	Type
f - few	Fe-x - iron concentration (soft mass)
c - common	Fe-nc - iron nodule or concretion
m - many	Mn-x - manganese concentration (soft mass)
	Mn-nc - manganese nodule or concretion
	d - depletion
Size	Location
1 - fine (<2mm)	mat - soil matrix
2 - medium (2-5mm)	ped - ped surface
3 - coarse (5-20mm)	por - soil pores
4 - very coarse (20-76mm)	otr - other
5 - extremely coarse (>76mm)	
Contrast	
f - faint	
d - distinct	
p - prominent	



**SOILS**

Plot ID:

Map Unit Name (series and phase): <u>Empire loam, 9-30% slopes</u>				Drainage Class: <u>well</u>				
Taxonomy (subgroup): <u>Typic Tropohumults</u>				Field observations confirm primary component? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				
Is data point within a Hydric Soils List inclusion? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO								
Profile Description								
Horizon	Depth (inches)	Texture	Roots	Matrix Color (moist)	Redoximorphic Features			Comments
					Color	Type, location	Abundance, Size, Contrast	
A	0-9	I		10YR 3/1				
Hydric Soil Indicators (check all that apply):								
<input type="checkbox"/> Histosol <input type="checkbox"/> Histic Epipedon <input type="checkbox"/> Sulfidic Odor <input type="checkbox"/> Aquic Moisture Regime <input type="checkbox"/> Reducing Conditions ( $\alpha, \alpha^1$ -dipyridyl test) <input checked="" type="checkbox"/> Gleyed or Low-Chroma ( $\leq 1$ ) matrix <input type="checkbox"/> Matrix Chroma $\leq 2$ with Redoximorphic Concentrations and/or Depletions				<input type="checkbox"/> Mn or Fe Concretions or Nodules <input type="checkbox"/> High Organic Content in Surface Layer of Sandy Soils <input type="checkbox"/> Organic Streaking in Sandy Soils <input type="checkbox"/> Listed on National/Local Hydric Soils List <input type="checkbox"/> Other (explain below)				
Hydric Soils Present? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO								
Remarks: Fairly high organic matter content for mineral soil.								

**WETLAND DETERMINATION :**

Hydrophytic vegetation present?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Wetland hydrology present?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Hydric soils present?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Is the sampling point within a wetland? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Remarks:			

**Texture and Rock Fragment Content**

Texture	Rock Fragments
cos - coarse sand	gr - gravelly
s - sand	vgr - very gravelly
fs - fine sand	xgr - extremely gravelly
vfs - very fine sand	cb - cobbly
lcos - loamy coarse sand	vcb - very cobbly
ls - loamy sand	xcb - extremely cobbly
lfs - loamy fine sand	st - stony
lvfs - loamy very fine sand	vst - very stony
cosl - coarse sandy loam	xst - extremely stony
sl - sandy loam	
fsl - fine sandy loam	

**Redoximorphic Feature Morphology**

Abundance	Type
f - few	Fe-x - iron concentration (soft mass)
c - common	Fe-nc - iron nodule or concretion
m - many	Mn-x - manganese concentration (soft mass)
	Mn-nc - manganese nodule or concretion
	d - depletion
Size	Location
1 - fine (<2mm)	mat - soil matrix
2 - medium (2-5mm)	ped - ped surface
3 - coarse (5-20mm)	por - soil pores
4 - very coarse (20-76mm)	otr - other
5 - extremely coarse (>76mm)	
Contrast	
f - faint	
d - distinct	
p - prominent	

MODIFIED DATA FORM  
ROUTINE WETLAND DETERMINATION

Project/Site: <u>Ratna Ling</u>	State: <u>California</u>
Applicant/Owner: <u>Barr Rosenberg</u>	County: <u>Sonoma</u>
Investigator(s): <u>Joel Butterworth and Jane Valerius</u>	S/T/R: _____
Date: <u>01/16/07</u>	Community ID: <u>Mesic Grassland</u>
Do normal circumstances exist on the site? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Transect ID: <u>n/a</u>
Is the site significantly disturbed (atypical situation)? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Sample Plot #: <u>DP-3</u>
Is the area a potential problem area? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
(If needed, explain below)	

**VEGETATION**

Plant Species	Strata	% Rel. Cover	Indicator	Plant Species	Strata	% Rel. Cover	Indicator
<i>Agrostis stolonifera</i>	herb	20	FACW	<i>Mentha pulgum</i>	herb	5	OBL
<i>Juncus patens</i>	herb	20	FAC	<i>Cyperus eragrostis</i>	herb	5	FACW
<i>Dactylis glomerata</i>	herb	45	FACU	<i>Sanicula crassicaulis</i>	herb	5	NL
Percent of dominants that are OBL, FACW, or FAC (excluding FAC-):				67%	Total vegetation cover		100 %
<input type="checkbox"/> Morphological Adaptations <input type="checkbox"/> Physiological/Reproductive Adaptations <input type="checkbox"/> Visual Observation of Plant Species Growing in Areas of Prolonged Inundation/Saturation		<input type="checkbox"/> Personal Knowledge of Regional Plant Communities <input checked="" type="checkbox"/> Technical Literature <input type="checkbox"/> Other (explain below)					
Hydrophytic Vegetation Present? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO							
Remarks: Odd mix of FAC, FACW, and OBL species; greatest cover consists of FACW species.							

**HYDROLOGY**

Is it the growing season? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Based On: <input type="checkbox"/> Soil Temp (record) <input checked="" type="checkbox"/> Other (explain) <u>Soil Survey</u> Typical length: <u>290-310</u> Days      5% = <u>15 to 16</u> Growing Season Start Date: _____      12.5% = <u>44 to 47</u> Recorded Data (describe below): <input type="checkbox"/> Stream, Lake, or Tide Gauge <input type="checkbox"/> Aerial Photographs <input type="checkbox"/> Other <input checked="" type="checkbox"/> None Available	Wetland Hydrology Indicators: Primary Indicators: <input type="checkbox"/> Inundated <input checked="" type="checkbox"/> Saturated Upper 12 Inches <input type="checkbox"/> Water Marks <input type="checkbox"/> Drift Lines <input type="checkbox"/> Sediment Deposits/Algal Matting <input checked="" type="checkbox"/> Drainage Patterns in Wetlands  Secondary Indicators (2 or more required): <input type="checkbox"/> Oxidized Rhizospheres in Upper 12 Inches <input type="checkbox"/> Water-Stained Leaves <input type="checkbox"/> Local Soil Survey Data <input type="checkbox"/> FAC-Neutral Test (OBL, FACW : FACU, UPL) <input type="checkbox"/> Other (explain below)
Field Observations: *See remarks below Depth of Surface Water: <u>none</u> inches Depth to Standing Water in Pit: <u>14</u> inches Depth to Saturated Soil: <u>13</u> inches	
Wetland Hydrology Present? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Remarks:	

MODIFIED DATA FORM  
ROUTINE WETLAND DETERMINATION

Project/Site: <u>Ratna Ling</u>	State: <u>California</u>
Applicant/Owner: <u>Barr Rosenberg</u>	County: <u>Sonoma</u>
Investigator(s): <u>Joel Butterworth and Jane Valerius</u>	S/T/R: _____
Date: <u>01/16/07</u>	Community ID: <u>Rush Meadow (RM-3)</u>
Do normal circumstances exist on the site? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Transect ID: <u>n/a</u>
Is the site significantly disturbed (atypical situation)? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Sample Plot #: <u>DP-7</u>
Is the area a potential problem area? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
(If needed, explain below)	

**VEGETATION**

Plant Species	Strata	% Rel. Cover	Indicator	Plant Species	Strata	% Rel. Cover	Indicator
<i>Cyperus eragrostis</i>	herb	25	FACW	<i>Phalaris sp.</i>	herb	5	?
<i>Juncus patens</i>	herb	60	FAC	<i>Cynosurus echinatus</i>	herb	5	NL
				<i>Sanicula crassicaulis</i>	herb	5	NL
Percent of dominants that are OBL, FACW, or FAC (excluding FAC-):		100%		Total vegetation cover		100 %	
<input type="checkbox"/> Morphological Adaptations <input type="checkbox"/> Physiological/Reproductive Adaptations <input type="checkbox"/> Visual Observation of Plant Species Growing in Areas of Prolonged Inundation/Saturation				<input type="checkbox"/> Personal Knowledge of Regional Plant Communities <input checked="" type="checkbox"/> Technical Literature <input type="checkbox"/> Other (explain below)			
Hydrophytic Vegetation Present? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO							
<b>Remarks:</b> Sample plot intentionally located in vegetatively "wettest" part of the candidate wetland.							

**HYDROLOGY**

Is it the growing season? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Based On: <input type="checkbox"/> Soil Temp (record) <input checked="" type="checkbox"/> Other (explain) <u>Soil Survey</u> Typical length: <u>290-310</u> Days 5% = <u>15 to 16</u> Growing Season Start Date: _____ 12.5% = <u>44 to 47</u> Recorded Data (describe below): <input type="checkbox"/> Stream, Lake, or Tide Gauge <input type="checkbox"/> Aerial Photographs <input type="checkbox"/> Other <input checked="" type="checkbox"/> None Available	<b>Wetland Hydrology Indicators:</b> <b>Primary Indicators:</b> <input type="checkbox"/> Inundated <input type="checkbox"/> Saturated Upper 12 Inches <input type="checkbox"/> Water Marks <input type="checkbox"/> Drift Lines <input checked="" type="checkbox"/> Sediment Deposits/Algal Matting <input checked="" type="checkbox"/> Drainage Patterns in Wetlands  <b>Secondary Indicators (2 or more required):</b> <input type="checkbox"/> Oxidized Rhizospheres in Upper 12 Inches <input type="checkbox"/> Water-Stained Leaves <input type="checkbox"/> Local Soil Survey Data <input type="checkbox"/> FAC-Neutral Test (OBL, FACW : FACU, UPL) <input type="checkbox"/> Other (explain below)
Field Observations: *See remarks below Depth of Surface Water: <u>none</u> inches Depth to Standing Water in Pit: <u>&gt;17</u> inches Depth to Saturated Soil: <u>&gt;17</u> inches	
Wetland Hydrology Present? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
<b>Remarks:</b>	

**SOILS**

Plot ID:

Map Unit Name (series and phase): <u>Empire loam, 9-30% slopes</u>					Drainage Class: <u>well</u>			
Taxonomy (subgroup): <u>Typic Tropohumults</u>					Field observations confirm primary component? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
Is data point within a Hydric Soils List inclusion? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO								
Profile Description								
Horizon	Depth (inches)	Texture	Roots	Matrix Color (moist)	Redoximorphic Features			Comments
					Color	Type, location	Abundance, Size, Contrast	
A	0-11	sil		10YR 3/1				
Bt	11-16	cl		10YR3/1	7.6YR4/4	Fe-x, mat	c. 2. d	
Hydric Soil Indicators (check all that apply):								
<input type="checkbox"/> Histosol <input type="checkbox"/> Histic Epipedon <input type="checkbox"/> Sulfidic Odor <input type="checkbox"/> Aquic Moisture Regime <input type="checkbox"/> Reducing Conditions ( $\alpha$ , $\alpha^1$ -dipyridyl test) <input type="checkbox"/> Gleyed or Low-Chroma ( $\leq 1$ ) matrix <input checked="" type="checkbox"/> Matrix Chroma $\leq 2$ with Redoximorphic Concentrations and/or Depletions <input type="checkbox"/> Mn or Fe Concretions or Nodules <input type="checkbox"/> High Organic Content in Surface Layer of Sandy Soils <input type="checkbox"/> Organic Streaking in Sandy Soils <input type="checkbox"/> Listed on National/Local Hydric Soils List <input type="checkbox"/> Other (explain below)								
Hydric Soils Present? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO								
Remarks:								

**WETLAND DETERMINATION :**

Hydrophytic vegetation present?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO		
Wetland hydrology present?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		
Hydric soils present?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Is the sampling point within a wetland?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Remarks:				

**Texture and Rock Fragment Content**

Texture		Rock Fragments
cos - coarse sand	vfs1 - very fine sandy loam	gr - gravelly
s - sand	l - loam	vgr - very gravelly
fs - fine sand	sil - silt loam	xgr - extremely gravelly
vfs - very fine sand	si - silt	cb - cobbly
lcos - loamy coarse sand	scl - sandy clay loam	vcb - very cobbly
ls - loamy sand	cl - clay loam	xcb - extremely cobbly
lfs - loamy fine sand	sicl - silty clay loam	st - stony
lvfs - loamy very fine sand	sc - sandy clay	vst - very stony
cosl - coarse sandy loam	sic - silty clay	xst - extremely stony
sl - sandy loam	c - clay	
fsl - fine sandy loam		

**Redoximorphic Feature Morphology**

Abundance	Type
f - few	Fe-x - iron concentration (soft mass)
c - common	Fe-nc - iron nodule or concretion
m - many	Mn-x - manganese concentration (soft mass)
	Mn-nc - manganese nodule or concretion
	d - depletion
Size	Location
1 - fine (<2mm)	mat - soil matrix
2 - medium (2-5mm)	ped - ped surface
3 - coarse (5-20mm)	por - soil pores
4 - very coarse (20-76mm)	otr - other
5 - extremely coarse (>76mm)	
Contrast	
f - faint	
d - distinct	
p - prominent	

# VALLEY ENVIRONMENTAL CONSULTING, LLC

June 13, 2008

Pete Straub  
North Branch Chief  
Regulatory Branch  
Department of the Army  
1455 Market Street, 16<sup>th</sup> Floor  
San Francisco, CA 94103-1398

Subject: Request for Jurisdictional Determination for Expanded Ratna Ling Project Area, Sonoma County, Corps File Number 400375N

Dear Mr. Straub:

On behalf of Ratna Ling Retreat Center, Valley Environmental Consulting is submitting two copies of this revised preliminary wetland delineation of waters of the United States, including wetlands, of the expanded Ratna Ling Retreat Center project area, located near Cazadero, Sonoma County (Figure 1). The revised delineation map (Exhibit A), dated June 2008, and the enclosed delineation data sheets were prepared to document the preliminary extent of Waters of the United States in areas where the project has been expanded.

For reference, the extent of waters of the United States in the original project area was evaluated and described in my original delineation report (dated February 2007) (Valley Environmental Consulting 2007) and verified in your letter to me dated August 24, 2007.

## Background

Most of Ratna Ling Retreat Center's originally-planned facilities have been completed or are nearing completion. However, Ratna Ling management now intends to construct additional facilities on their property to provide for a wider range of amenities. Such facilities/improvements include an exhibition hall, two underground caves to be used for storage, new access roads, and a small off-stream reservoir. Up to three sites to dispose of spoils that will be generated by excavating the reservoir and the caves are included in the expanded project area. Additionally, the dam of an existing pond will be reconstructed for seismic retrofit. The shape and size of the pond may also be reconfigured in association with the dam reconstruction.

## Description of Expanded Project Area

The expanded project area consists of several elements, as shown on the revised Exhibit A and Figure 2.

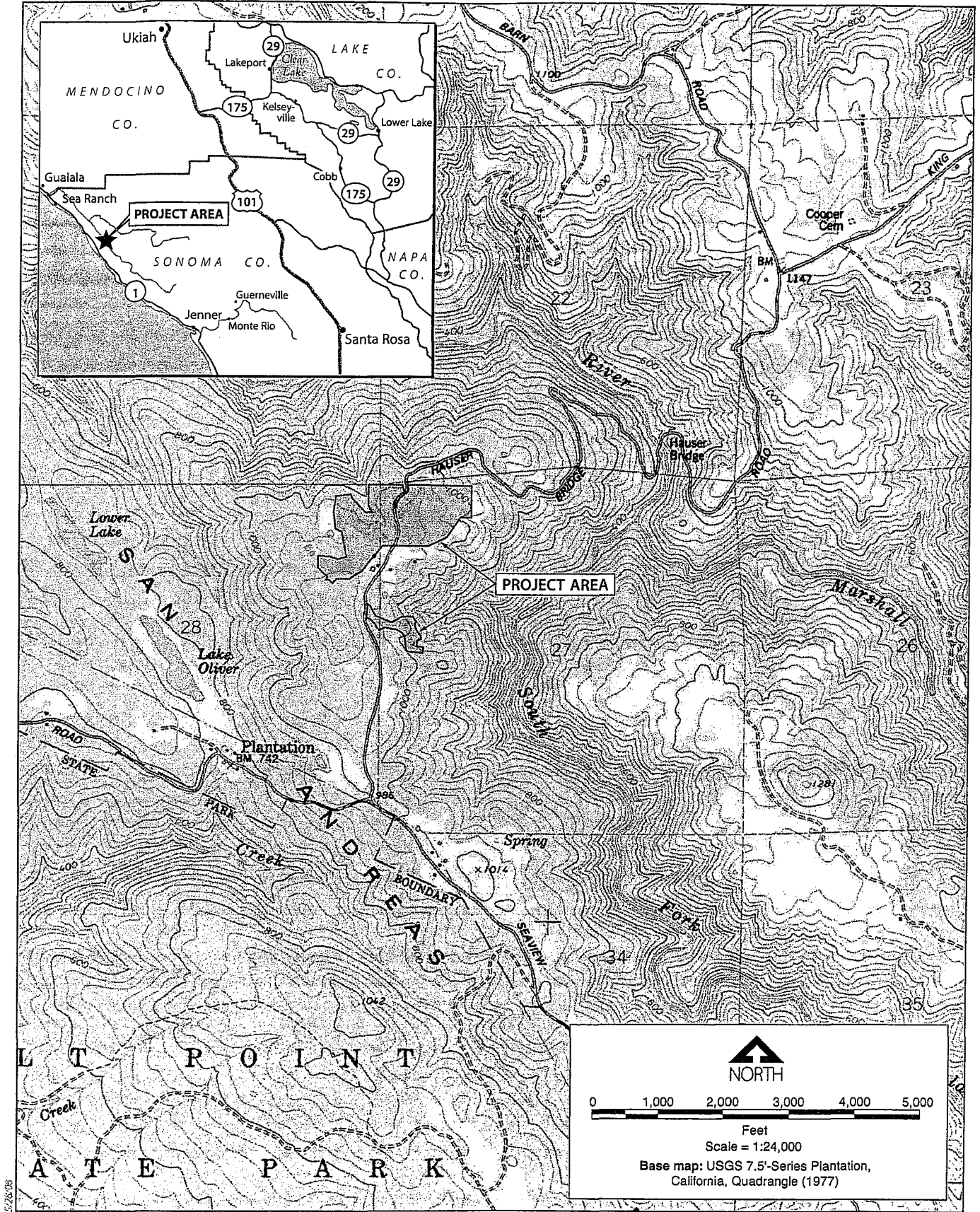


Figure 1  
Project Area Location

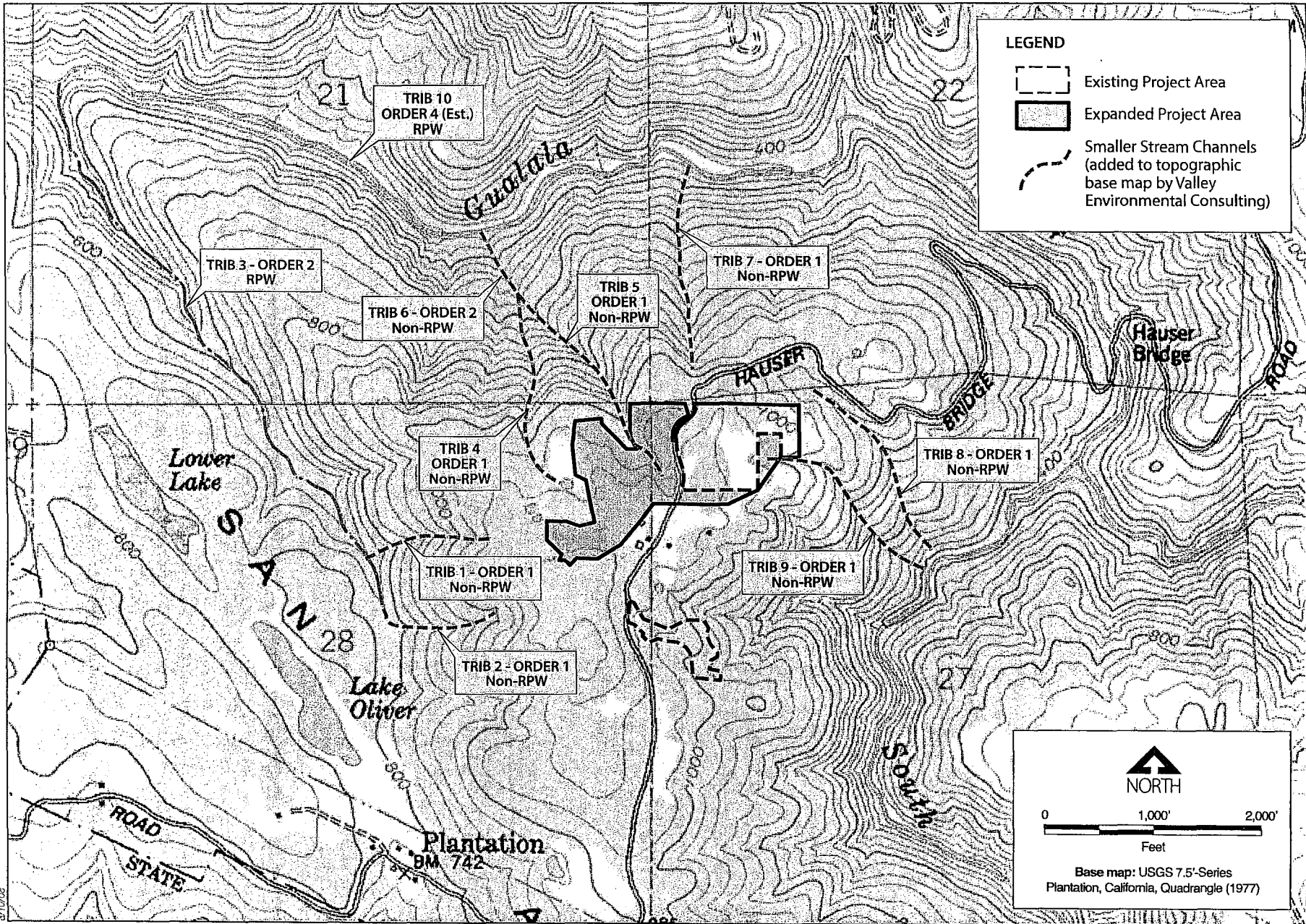


Figure 2  
Site Vicinity Map and Tributary Streams

Mr. Straub  
June 13, 2008  
Page 2

The discussion below of site characteristics builds upon the description contained in the original delineation report. Site characteristics are described below where they depart from that contained in the original delineation report.

### Topography and Hydrology

The expanded parts of the project area are on a side slope of a broad undulating ridge above the San Andreas Fault Rift Zone. Elevations in the expanded parts range between approximately 940 and 1,080 feet; slopes range from nearly level to approximately 50%.

The parts of the expanded project area west of Hauser Bridge Road drain either via sheet flow or via unnamed, steep gradient, ephemeral to intermittent drainageways (labeled as Tributaries 1 through 7 on Figure 2) to the South Fork Gualala River (a perennial stream), which discharges to the Pacific Ocean. Tributary 5 contains "pockets" of standing water at points along the drainageways well into the summer months.

The parts of the expanded project area east of Hauser Bridge Road drain via unnamed, steep gradient, ephemeral to intermittent drainageways (labeled as Tributaries 7 through 9 on Figure 2) to the South Fork Gualala River. The drainageways appear to flow mostly during and shortly after rainfall events; however, some "pockets" of water may exist at points along some of the drainageways into the spring months.

None of the drainageways existing within the project areas appear to meet the definition of a Relatively Permanent Water (RPW). However, the flow may be more seasonal in nature downstream of the project area; one or more of these stream segments may qualify as RPWs. (For reference, all the streams shown as blue line streams on the USGS topographic base map used to prepare Figure 2 are assumed to have sufficient duration of flow such that they would qualify as RPWs.)

Downslope of the expanded project area on the western side of Hauser Bridge Road are three small artificial ponds (see Figure 2); these appear to be supported both by watershed runoff and springs.

Stormwater management facilities in the expanded parts of the project area are limited to small diameter culverts that pass under roadways and a few rock-lined roadside ditches.

At the time of the delineation field surveys (discussed below) of the expanded parts of the project area in late April and early May 2008, the region had received roughly 85% of the average seasonal rainfall to date.



## Soils

The USDA soil survey of Sonoma County (Miller 1972) indicates that the northern part of the expanded project area is underlain by Hugo-Atwell complex, 30 to 50% slopes (map unit H1F). This map unit is comprised of well drained and moderately well drained soils with a clay loam or a very gravelly loam surface horizon and a sandy clay loam to silty clay subsoil. The map unit occurs on coastal terraces, ridgetops, and mountainous uplands and is underlain by marine terrace deposits or weathered, soft sedimentary rocks. The permeability in the subsoil is moderate to very slow. The Hugo and Atwell series are classified, respectively, as Dystric Xerochrepts and Typic Hapludalfs.

The remainder of the expanded project area is underlain by Empire loam, 9 to 30% slopes (map unit EmE), as described in the original delineation report.

The County-level hydric soils list (USDA Soil Conservation Service 1992) indicates that the primary components and the inclusions of the Hugo-Atwell soil map unit (i.e., the Hugo series soil) are non-hydric. No inclusions are indicated on the hydric soils list for the map unit, but it is inferred that those inclusions mentioned in the soil survey report (Atwell, Melbourne, and Josephine soils) are all non-hydric.

## Methods

Delineation field surveys of the expanded parts of the project area were conducted by me on April 25, 2008 and by me and botanist Jane Valerius on May 2, 2008. We inspected areas in which the topography or vegetation suggested that wetlands could exist. We then evaluated such areas for the presence of wetlands using the procedures described in the 1987 Corps of Engineers Wetlands Delineation Manual (Environmental Laboratory 1987) applying the routine onsite determination method and using the interim Western Mountains, Valleys, and Coast Region regional supplement to the 1987 Manual (Environmental Laboratory 2008). The U.S. Army Corps of Engineers, San Francisco District (2007) delineation guidelines were also followed in conducting the delineation and in preparing this report. The wetland indicator status of plants was determined based on Reed (1988). Non-wetland waters of the United States ("other waters") potentially subject to federal jurisdiction were evaluated and mapped according to various regulatory guidance letters issued by the Corps.

## Results

This section describes the results of the field survey. Mapped preliminary jurisdictional features and data point locations are shown on Exhibit A. Wetland delineation data sheets completed at the data points are provided in Appendix A. A listing of the acreage of each mapped feature is provided on Exhibit A.

## Wetlands

**Sedge Meadow.** One sedge meadow wetland (SM-1) was mapped in the expanded project area (Exhibit A). The wetland is located on an approximate 5 to 10 percent slope in a poorly-defined swale at the lower edge of a (non-wetland) mesic meadow. It appears to be supported mostly by sheetflow and subsurface seepage inputs from its small watershed, with water perching over the clay subsoil that begins at a depth of 14 inches.

Represented by Data Point DP-17, hydrophytic vegetation in the wetland was established from a dominance by dense sedge (*Carex densa*) (OBL) and tall fescue (*Festuca arundinacea*) (FAC).

Hydric soil was established from the indicator Depleted Matrix (F3).

Wetland hydrology was established from a (discontinuous) Algal Mat (B4) and Drainage Patterns (B10).

**Rush Meadow.** One rush meadow wetland (RM-5) was mapped in the expanded project area (Exhibit A). The wetland is located in a nearly level area and is mostly surrounded by woodland or forest. It appears to be supported mostly by incident precipitation, but may receive some sheetflow and subsurface seepage inputs from its small surrounding watershed.

Hydrophytic vegetation was established from a dominance by spreading rush (*Juncus patens*) (FAC) and soft rush (*Juncus effusus*) (OBL). The spreading rush extends beyond the mapped boundary of the wetland, where no indicators of wetland hydrology were observed. (Spreading rush occurs throughout the project area as individual specimens or small clusters in relatively mesic areas that do not have hydric soils or wetland hydrology.)

The surface soil of the wetland at Data Point 14 consists of 10 inches of fill material with a clay texture; a small amount of angular gravel is present. The underlying native soil is loam to a depth of at least 24 inches. Redox concentrations (qualifying for the indicator Redox Dark Surface [F6]) in the buried native soil suggest that the native soil was hydric prior to the fill placement.

Wetland hydrology was established from a (discontinuous) Algal Mat (B4) and from the FAC-Neutral Test (D5).

## Other Waters of the United States

**Ephemeral Drainageway.** Four ephemeral drainageways (ED-3 through ED-6) were mapped in the expanded project area (Exhibit A). The landward extent of these was mapped by the OHWM, which was identified based on the cross-section of the bed and bank and landward limit of scour.

Mr. Straub  
June 13, 2008  
Page 5

Vegetation below the plane of the OHWM is generally non-existent. The drainageways are narrow and have a steep gradient.

**Intermittent Drainageway.** Two intermittent drainageways (ID-1 and ID-2) were mapped in the expanded project area (Exhibit A). The landward extent of these was mapped by the OHWM, which was identified based on the cross-section of the bed and bank and landward limit of scour. Vegetation below the plane of the OHWM is generally non-existent. The drainageways are narrow and have a steep gradient.

The intermittent drainageways were distinguished from the ephemeral drainageways by subtle differences in flow characteristics: unlike the ephemeral drainageways, the intermittent drainageways support small pockets of standing water at least partially into the early summer, which may be spring-fed.

## **Preliminary Jurisdictional Acreages**

A breakdown of the acreage of each of the mapped features is provided on Exhibit A. The jurisdictional status and the acreage of each feature should be considered preliminary, subject to verification by the Corps.

## **Jurisdictional Determination**

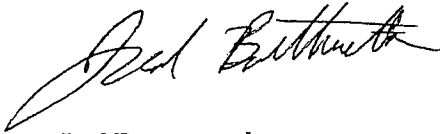
In compliance with USACE, San Francisco District guidelines (U.S. Army Corps of Engineers, San Francisco District 2007), information has been compiled on the tributaries to which the expanded parts of the project area drain (i.e., ED-3 through 6 and ID-1 and 2) within the project area and other tributaries that receive runoff from the project area (e.g., South Fork Gualala River). This information is intended to constitute Section III CWA Analysis Parts A and B of the USACE's Approved Jurisdictional Determination Form and is presented in Appendix B. The USACE, San Francisco District guidance specifies that a separate Section III CWA Analysis Parts A and B be completed for each stream order segment that occurs within the review area. However, because the drainageways within the project area are generally similar with respect to flow duration, width, gradient, and absence of vegetation and because they all drain to the same RPW (i.e., the South Fork Gualala River), they are evaluated as a composite feature in Appendix B.

I request that you conduct a jurisdictional determination on the expanded project areas at your earliest convenience.

Mr. Straub  
June 13, 2008  
Page 6

Please call me at 707-938-8954 if you have any questions or require additional information.

Sincerely,



Joel Butterworth  
Principal

cc: Mr. Barr Rosenberg  
Ratna Ling Retreat Center  
35755 Hauser Bridge Road  
Cazadero, CA 95421

## Literature Cited

Environmental Laboratory. 1987. U.S. Army Corps of Engineers Wetlands Delineation Manual. (Technical Report Y-87-1.) Vicksburg, MS: U.S. Army Waterways Experiment Station.

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Mr. Straub  
June 13, 2008  
Page 7

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Appendix A  
Delineation Data Sheets

**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region (DRAFT)**

Project/Site: RATNA LING RETREAT CTR. City/County: SUNAMA CO. Sampling Date: 4-25-08  
 Applicant/Owner: RATNA LING RETREAT CTR. State: CA Sampling Point: DP-12  
 Investigator(s): BUTTERWORTH Section, Township, Range: \_\_\_\_\_  
 Landform (hillslope, terrace, etc.): HILLSLOPE Local relief (concave, convex, none): NEAR HEAD OF SWALE Slope (%): 15  
 Subregion (LRR): \_\_\_\_\_ Lat: \_\_\_\_\_ Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name: EMPIRE LOAM, 9-30% SLOPE (EME) NWI classification: \_\_\_\_\_  
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No \_\_\_\_\_ (If no, explain in Remarks.)  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ significantly disturbed? NO Are "Normal Circumstances" present? Yes  No \_\_\_\_\_  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ naturally problematic? NO (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes _____ No <input checked="" type="checkbox"/>
Remarks: <u>- DATA POINT IN VEGETATIVELY AND TOPOGRAPHICALLY "WESTEST" PART OF BOWL-SHAPED AREA</u> <u>- VEG TYPE = MEXIC MEADOW</u>	

**VEGETATION**

Tree Stratum (Use scientific names.)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:
1. _____	_____	_____	_____	Number of Dominant Species That Are OBL, FACW, or FAC: <u>1</u> (A)
2. _____	_____	_____	_____	Total Number of Dominant Species Across All Strata: <u>1</u> (B)
3. _____	_____	_____	_____	Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
4. _____	_____	_____	_____	
Total Cover: _____				
Sapling/Shrub Stratum				Prevalence Index worksheet:
1. _____	_____	_____	_____	Total % Cover of: _____ Multiply by: _____
2. _____	_____	_____	_____	OBL species _____ x 1 = _____
3. _____	_____	_____	_____	FACW species _____ x 2 = _____
4. _____	_____	_____	_____	FAC species _____ x 3 = _____
5. _____	_____	_____	_____	FACU species _____ x 4 = _____
Total Cover: _____				UPL species _____ x 5 = _____
				Column Totals: _____ (A) _____ (B)
				Prevalence Index = B/A = _____
Herb Stratum				Hydrophytic Vegetation Indicators:
1. <u>JUNCUS PATENS</u>	<u>90</u>	<u>Y</u>	<u>FAC</u>	<input checked="" type="checkbox"/> Dominance Test is >50%
2. <u>CLAYTONIA PERFOLIATA</u>	<u>10</u>	<u>N</u>	<u>NL</u>	<input type="checkbox"/> Prevalence Index is ≤3.0 <sup>1</sup>
3. <u>RUMEX CRISPUS</u>	<u>25</u>	<u>N</u>	<u>FACW</u>	<input type="checkbox"/> Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet)
4. <u>STACHYS SP.</u>	<u>5</u>	<u>N</u>	<u>FACW</u>	<input type="checkbox"/> Wetland Non-Vascular Plants <sup>1</sup>
5. <u>RUBUS SP.</u>	<u>5</u>	<u>N</u>	<u>FACW</u>	<input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)
6. <u>FESTUCA ALUNDINEAEAE</u>	<u>15</u>	<u>N</u>	<u>FAC</u>	<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present.
7. <u>CIRSIA VULGARIS</u>	<u>25</u>	<u>N</u>	<u>FACU</u>	
8. _____	_____	_____	_____	
Total Cover: <u>~120</u>				
Woody Vine Stratum				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
Total Cover: _____				
% Bare Ground in Herb Stratum <u>0</u>				Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____
Remarks:				

SOIL

Sampling Point: DP-12

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-11	10YR 3/2	100	-	-	-	-	1	A1
11-21	10YR 3/2	65	-	-	-	-	1	A2; VARIEGATED
	4.2.5 Y 3/2	35	-	-	-	-		

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix.    <sup>2</sup>Location: PL=Pore Lining, RC=Root Channel, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> 2 cm Muck (A10)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Red Parent Material (TF2)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)	
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)	
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)	
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Redox Depressions (F8)	

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present.

Restrictive Layer (if present): NONE

Type: \_\_\_\_\_

Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes \_\_\_\_\_ No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

<u>Primary Indicators (any one indicator is sufficient)</u>	<u>Secondary Indicators (2 or more required)</u>
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9) (NW coast)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Frost-Heave Hummocks (D4)
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)

Field Observations:

Surface Water Present? Yes \_\_\_\_\_ No  Depth (inches): NONE

Water Table Present? Yes \_\_\_\_\_ No  Depth (inches): NONE TO 2'

Saturation Present? (includes capillary fringe) Yes \_\_\_\_\_ No  Depth (inches): NONE TO 2'

Wetland Hydrology Present? Yes \_\_\_\_\_ No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks: BOWL-SHAPED AREA APPEARS TO RECEIVE MINOR RUN-ON FROM DISCHARGE FROM CULVERT AT BASE OF VERY SMALL WATERSHED.



**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region (DRAFT)**

Project/Site: RATNA LING RETIREMENT CTR. City/County: SUNOMA CO. Sampling Date: 4-25-08  
 Applicant/Owner: RATNA LING RETIREMENT CTR. State: CA Sampling Point: DP-13  
 Investigator(s): BUTTERNORTH Section, Township, Range: \_\_\_\_\_  
 Landform (hillslope, terrace, etc.): HILLSLOPE Local relief (concave, convex, none): BOWL-SHALLO Slope (%): 15  
 Subregion (LRR): \_\_\_\_\_ Lat: \_\_\_\_\_ Long: SWALE Datum: \_\_\_\_\_  
 Soil Map Unit Name: EMPIRE LOAM, 9-30% SLOPES (EHE) NWI classification: \_\_\_\_\_  
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No \_\_\_\_\_ (If no, explain in Remarks.)  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ significantly disturbed? NO Are "Normal Circumstances" present? Yes  No \_\_\_\_\_  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ naturally problematic? NO (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____ Hydric Soil Present? Yes _____ No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes _____ No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes _____ No <input checked="" type="checkbox"/>
Remarks:	

**VEGETATION**

Tree Stratum (Use scientific names.)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:
1. _____	_____	_____	_____	Number of Dominant Species That Are OBL, FACW, or FAC: <u>1</u> (A)
2. _____	_____	_____	_____	Total Number of Dominant Species Across All Strata: <u>1</u> (B)
3. _____	_____	_____	_____	Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
4. _____	_____	_____	_____	
Total Cover: _____				
<u>Sapling/Shrub Stratum</u>				<b>Prevalence Index worksheet:</b>
1. _____	_____	_____	_____	Total % Cover of: _____ Multiply by: _____
2. _____	_____	_____	_____	OBL species _____ x 1 = _____
3. _____	_____	_____	_____	FACW species _____ x 2 = _____
4. _____	_____	_____	_____	FAC species _____ x 3 = _____
5. _____	_____	_____	_____	FACU species _____ x 4 = _____
Total Cover: _____				UPL species _____ x 5 = _____
<u>Herb Stratum</u>				Column Totals: _____ (A) _____ (B)
1. <u>JUNCUS PATENS</u>	<u>95</u>	<u>Y</u>	<u>FAC</u>	Prevalence Index = B/A = _____
2. <u>RUBUS SP.</u>	<u>5</u>	<u>N</u>	<u>FACW</u>	
3. <u>CLAYTONIA PTEROFOLIATA</u>	<u>5</u>	<u>N</u>	<u>NL</u>	
4. <u>RUMEX CRISPUS</u>	<u>5</u>	<u>N</u>	<u>FACW</u>	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
Total Cover: <u>~110</u>				
<u>Woody Vine Stratum</u>				<b>Hydrophytic Vegetation Indicators:</b>
1. _____	_____	_____	_____	<input checked="" type="checkbox"/> Dominance Test is >50%
2. _____	_____	_____	_____	<input type="checkbox"/> Prevalence Index is ≤3.0 <sup>1</sup>
Total Cover: _____				<input type="checkbox"/> Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet)
<u>% Bare Ground in Herb Stratum</u> <u>0</u>				<input type="checkbox"/> Wetland Non-Vascular Plants <sup>1</sup>
Remarks:				<input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)
				<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present.
				<b>Hydrophytic Vegetation Present?</b> Yes <input checked="" type="checkbox"/> No _____

SOIL

Sampling Point: DP-13

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-10	10YR 3/1	100	-	-	-	-	1	A
10-20	10YR 3/2	100	-	-	-	-	1	A/B

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix. <sup>2</sup>Location: PL=Pore Lining, RC=Root Channel, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)		Indicators for Problematic Hydric Soils <sup>3</sup> :	
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> 2 cm Muck (A10)	
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Red Parent Material (TF2)	
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	<input type="checkbox"/> Other (Explain in Remarks)	
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)		
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)		
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)		
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)		
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Redox Depressions (F8)		

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present.

Restrictive Layer (if present): None

Type: \_\_\_\_\_

Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes \_\_\_\_\_ No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:		Secondary Indicators (2 or more required)
Primary Indicators (any one indicator is sufficient)		<input type="checkbox"/> Water-Stained Leaves (B9) (NW coast)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9) (except NW coast)	<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Salt Crust (B11)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Aquatic Invertebrates (B13)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Frost-Heave Hummocks (D4)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)	<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)		

Field Observations:

Surface Water Present? Yes \_\_\_\_\_ No  Depth (inches): \_\_\_\_\_

Water Table Present? Yes \_\_\_\_\_ No  Depth (inches): None to 21

Saturation Present? (includes capillary fringe) Yes \_\_\_\_\_ No  Depth (inches): None to 21

Wetland Hydrology Present? Yes \_\_\_\_\_ No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

AREA APPEARS TO RECEIVE MINOR RUNOFF FROM VERY SMALL WATERSHED.

**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region (DRAFT)**

Project/Site: RATNA LING RETREAT CTR. City/County: SUNAMA CO. Sampling Date: 4-25-08  
 Applicant/Owner: RATNA LING RETREAT CTR. State: CA Sampling Point: DP-14  
 Investigator(s): BUTTERWORTH Section, Township, Range: \_\_\_\_\_  
 Landform (hillslope, terrace, etc.): HILLSLOPE BENCH Local relief (concave, convex, none): \_\_\_\_\_ Slope (%): 6-1  
 Subregion (LRR): \_\_\_\_\_ Lat: SADDLE Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name: EMPIRE LOAM, 9-30% SLOPES (EM6) NWI classification: \_\_\_\_\_  
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No \_\_\_\_\_ (If no, explain in Remarks.)  
 Are Vegetation \_\_\_\_\_, Soil  or Hydrology \_\_\_\_\_ significantly disturbed? NO Are "Normal Circumstances" present? Yes  No \_\_\_\_\_  
 Are Vegetation \_\_\_\_\_, Soil  or Hydrology \_\_\_\_\_ naturally problematic? NO (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present?	Yes _____ No _____	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No _____ <u>RUSH MEADOW RM-3</u>
Hydric Soil Present?	Yes _____ No _____	
Wetland Hydrology Present?	Yes _____ No _____	
Remarks: <u>* FILL (10" THICK) AT EASTERN END. IN RUSH MEADOW ✓ RM-5.</u>		

**VEGETATION**

Tree Stratum (Use scientific names.)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:	
1. _____	_____	_____	_____	Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A)	
2. _____	_____	_____	_____	Total Number of Dominant Species Across All Strata: <u>2</u> (B)	
3. _____	_____	_____	_____	Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)	
4. _____	_____	_____	_____	Total Cover: _____	
<b>Sapling/Shrub Stratum</b>				<b>Prevalence Index worksheet:</b>	
1. _____	_____	_____	_____	Total % Cover of: _____ Multiply by: _____	
2. _____	_____	_____	_____	OBL species _____ x 1 = _____	
3. _____	_____	_____	_____	FACW species _____ x 2 = _____	
4. _____	_____	_____	_____	FAC species _____ x 3 = _____	
5. _____	_____	_____	_____	FACU species _____ x 4 = _____	
Total Cover: _____				UPL species _____ x 5 = _____	
<b>Herb Stratum</b>				Column Totals: _____ (A) _____ (B)	
1. <u>JUNCUS PAEENS</u>	<u>95</u>	<u>Y</u>	<u>FAC</u>	Prevalence Index = B/A = _____	
2. <u>JUNCUS EFFUSUS</u>	<u>15</u>	<u>Y</u>	<u>OBL</u>		
3. _____	_____	_____	_____		
4. _____	_____	_____	_____		
5. _____	_____	_____	_____		
6. _____	_____	_____	_____		
7. _____	_____	_____	_____		
8. _____	_____	_____	_____		
Total Cover: <u>110</u>				<b>Hydrophytic Vegetation Indicators:</b>	
<b>Woody Vine Stratum</b>				<input checked="" type="checkbox"/> Dominance Test is >50%	
1. _____	_____	_____	_____	<input type="checkbox"/> Prevalence Index is ≤3.0 <sup>1</sup>	
2. _____	_____	_____	_____	<input type="checkbox"/> Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet)	
Total Cover: _____				<input type="checkbox"/> Wetland Non-Vascular Plants <sup>1</sup>	
% Bare Ground in Herb Stratum <u>0</u>				<input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)	
				<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present.	
				<b>Hydrophytic Vegetation Present?</b> Yes <input checked="" type="checkbox"/> No _____	
Remarks: <u>OTHER SPECIES (ASSOCIATES) ELSEWHERE IN WETLAND:</u> <u>MENTHA PULEGIUM, STACHYS SP., CAREX SP., RUMEX CRISPUS</u>					

SOIL

Sampling Point: DP-14

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-10	10YR 4/2*	100	—	—	—	—	C-	(Fill) 10% gravel
10-14	10YR 3/2	100	—	—	—	—	L	Ab
14-24	10YR 3/2	75	7.5YR 3/4	25	C	MAT	L	A

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix. <sup>2</sup>Location: PL=Pore Lining, RC=Root Channel, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

Indicators for Problematic Hydric Soils<sup>3</sup>:

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Histosol (A1)                     | <input type="checkbox"/> Sandy Redox (S5)                         | <input type="checkbox"/> 2 cm Muck (A10)            |
| <input type="checkbox"/> Histic Epipedon (A2)              | <input type="checkbox"/> Stripped Matrix (S6)                     | <input type="checkbox"/> Red Parent Material (TF2)  |
| <input type="checkbox"/> Black Histic (A3)                 | <input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1) | <input type="checkbox"/> Other (Explain in Remarks) |
| <input type="checkbox"/> Hydrogen Sulfide (A4)             | <input type="checkbox"/> Loamy Gleyed Matrix (F2)                 |   |
| <input type="checkbox"/> Depleted Below Dark Surface (A11) | <input type="checkbox"/> Depleted Matrix (F3)                     |   |
| <input type="checkbox"/> Thick Dark Surface (A12)          | <input checked="" type="checkbox"/> Redox Dark Surface (F6)       |   |
| <input type="checkbox"/> Sandy Mucky Mineral (S1)          | <input type="checkbox"/> Depleted Dark Surface (F7)               |   |
| <input type="checkbox"/> Sandy Gleyed Matrix (S4)          | <input type="checkbox"/> Redox Depressions (F8)                   |   |

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present.

Restrictive Layer (if present): SURFACE  
 Type: CLAYEY FILL  
 Depth (inches): 0

A Horizon  
 Hydric Soil Present? Yes  No

Remarks:

\* WITH YELLOWISH, HIGHLY WEATHERED ROCK FRAGMENT.  
 PROBLEM SOIL IN UPPER 10" DUE TO FILL; MAY HAVE BEEN WETLAND BEFORE FILL PLACEMENT.

HYDROLOGY

Wetland Hydrology Indicators:

Secondary Indicators (2 or more required)

Primary Indicators (any one indicator is sufficient)

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Surface Water (A1)                        | <input type="checkbox"/> Water-Stained Leaves (B9) (except NW coast)   | <input type="checkbox"/> Water-Stained Leaves (B9) (NW coast)      |
| <input type="checkbox"/> High Water Table (A2)                     | <input type="checkbox"/> Salt Crust (B11)                              | <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)   |
| <input type="checkbox"/> Saturation (A3)                           | <input type="checkbox"/> Aquatic Invertebrates (B13)                   | <input type="checkbox"/> Drainage Patterns (B10)                   |
| <input type="checkbox"/> Water Marks (B1)                          | <input type="checkbox"/> Hydrogen Sulfide Odor (C1)                    | <input type="checkbox"/> Dry-Season Water Table (C2)               |
| <input type="checkbox"/> Sediment Deposits (B2)                    | <input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3) | <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) |
| <input type="checkbox"/> Drift Deposits (B3)                       | <input type="checkbox"/> Presence of Reduced Iron (C4)                 | <input type="checkbox"/> Geomorphic Position (D2)                  |
| <input checked="" type="checkbox"/> Algal Mat or Crust (B4)        | <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)    | <input type="checkbox"/> Shallow Aquitard (D3)                     |
| <input type="checkbox"/> Iron Deposits (B5)                        | <input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)       | <input type="checkbox"/> Frost-Heave Hummocks (D4)                 |
| <input type="checkbox"/> Surface Soil Cracks (B6)                  | <input type="checkbox"/> Other (Explain in Remarks)                    | <input checked="" type="checkbox"/> FAC-Neutral Test (D5)          |
| <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) |  | <input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)            |

Field Observations:

Surface Water Present? Yes  No  Depth (inches): —  
 Water Table Present? Yes  No  Depth (inches): None to 24  
 Saturation Present? (includes capillary fringe) Yes  No  Depth (inches): None to 24  
 Wetland Hydrology Present? Yes  No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

BIOTIC CRUST SCATTERED THROUGHOUT WETLAND

**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region (DRAFT)**

Project/Site: RATNA LING RETREAT CTR. City/County: SUNOMA CO. Sampling Date: 4-25-08  
 Applicant/Owner: RATNA LING RETREAT CTR. State: CA Sampling Point: DP-15  
 Investigator(s): BUTTERWORTH Section, Township, Range: \_\_\_\_\_  
 Landform (hillslope, terrace, etc.): HILLSLOPE BENCH Local relief (concave, convex, none): PLANAR Slope (%): 2-3  
 Subregion (LRR): \_\_\_\_\_ Lat: \_\_\_\_\_ Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name: EMPIRE LOAM, 9-30% SLOPE (EME) NWI classification: \_\_\_\_\_  
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No \_\_\_\_\_ (If no, explain in Remarks.)  
 Are Vegetation \_\_\_\_\_, Soil \*, or Hydrology \_\_\_\_\_ significantly disturbed? Are "Normal Circumstances" present? Yes  No \_\_\_\_\_  
 Are Vegetation \_\_\_\_\_, Soil \*, or Hydrology \_\_\_\_\_ naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____ Hydric Soil Present? Yes _____ No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes _____ No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes _____ No <input checked="" type="checkbox"/>
Remarks: <p style="font-size: 1.2em; margin-left: 20px;">* ALL</p>	

**VEGETATION**

Tree Stratum (Use scientific names.)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:
1. _____	_____	_____	_____	Number of Dominant Species That Are OBL, FACW, or FAC: <u>1</u> (A)
2. _____	_____	_____	_____	Total Number of Dominant Species Across All Strata: <u>1</u> (B)
3. _____	_____	_____	_____	Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
4. _____	_____	_____	_____	
Total Cover: _____				
Sapling/Shrub Stratum				Prevalence Index worksheet:
1. _____	_____	_____	_____	Total % Cover of: _____ Multiply by: _____
2. _____	_____	_____	_____	OBL species _____ x 1 = _____
3. _____	_____	_____	_____	FACW species _____ x 2 = _____
4. _____	_____	_____	_____	FAC species _____ x 3 = _____
5. _____	_____	_____	_____	FACU species _____ x 4 = _____
Total Cover: _____				UPL species _____ x 5 = _____
				Column Totals: _____ (A) _____ (B)
				Prevalence Index = B/A = _____
Herb Stratum				Hydrophytic Vegetation Indicators:
1. <u>HOLCUS LANATUS</u>	<u>70</u>	<u>Y</u>	<u>FAC</u>	<input checked="" type="checkbox"/> Dominance Test is >50%
2. <u>MEDICAGO POLYMORPHA</u>	<u>10</u>	<u>N</u>	_____	<input type="checkbox"/> Prevalence Index is ≤3.0 <sup>1</sup>
3. <u>PLANTAGO LANCEOLATA</u>	<u>5</u>	<u>N</u>	_____	<input type="checkbox"/> Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet)
4. <u>GERANIUM DISSECTUM</u>	<u>25</u>	<u>N</u>	_____	<input type="checkbox"/> Wetland Non-Vascular Plants <sup>1</sup>
5. _____	_____	_____	_____	<input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)
6. _____	_____	_____	_____	<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present.
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
Total Cover: <u>~ 85</u>				
Woody Vine Stratum				Hydrophytic Vegetation Present?
1. _____	_____	_____	_____	Yes <input checked="" type="checkbox"/> No _____
2. _____	_____	_____	_____	
Total Cover: _____				
% Bare Ground in Herb Stratum <u>5</u>				
Remarks:				

SOIL

Sampling Point: DP-15

**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-9	VANGLASSED	—					GRCL	FILL

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix. <sup>2</sup>Location: PL=Pore Lining, RC=Root Channel, M=Matrix.

**Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)**

<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> 2 cm Muck (A10)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Red Parent Material (TF2)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)	
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)	
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)	
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Redox Depressions (F8)	

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present.

**Restrictive Layer (if present):** N/A

Type: \_\_\_\_\_

Depth (inches): \_\_\_\_\_

**Hydric Soil Present?** Yes \_\_\_\_\_ No

Remarks:

HYDROLOGY

**Wetland Hydrology Indicators:**

Primary Indicators (any one indicator is sufficient)

<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9) (except NW coast)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Salt Crust (B11)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Aquatic Invertebrates (B13)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	

Secondary Indicators (2 or more required)

<input type="checkbox"/> Water-Stained Leaves (B9) (NW coast)
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Frost-Heave Hummocks (D4)
<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)

**Field Observations:**

Surface Water Present? Yes \_\_\_\_\_ No  Depth (inches): \_\_\_\_\_

Water Table Present? Yes \_\_\_\_\_ No  Depth (inches): NONE TO 9"

Saturation Present? (includes capillary fringe) Yes \_\_\_\_\_ No  Depth (inches): NONE TO 9"

**Wetland Hydrology Present?** Yes \_\_\_\_\_ No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region (DRAFT)**

Project/Site: RATNA LINK RETREAT CTR. City/County: SUNOMA CO. Sampling Date: 5-2-08  
 Applicant/Owner: RATNA LINK RETREAT CTR. State: CA Sampling Point: DP-16  
 Investigator(s): BUTTERNORTH, VALERIUS Section, Township, Range: \_\_\_\_\_  
 Landform (hillslope, terrace, etc.): HILLSLOPE Local relief (concave, convex, none): CONVEX Slope (%): 5-8  
 Subregion (LRR): \_\_\_\_\_ Lat: \_\_\_\_\_ Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name: EMPIRE LOAM, 9-30% SLOPES (ENE) NWI classification: \_\_\_\_\_  
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No \_\_\_\_\_ (If no, explain in Remarks.)  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ significantly disturbed? NO Are "Normal Circumstances" present? Yes  No \_\_\_\_\_  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ naturally problematic? NO (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes _____ No <input checked="" type="checkbox"/> Hydric Soil Present? Yes _____ No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes _____ No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes _____ No <input checked="" type="checkbox"/>
Remarks: <p align="center"><i>DP located on slight "nose" between two wetlands.</i></p>	

**VEGETATION**

Tree Stratum (Use scientific names.)	Absolute % Cover	Dominant Species?	Indicator Status																					
1. <i>Pseudotsuga menziesii</i>	20	Y	NL	<b>Dominance Test worksheet:</b> Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>40</u> (A/B)																				
2. _____	_____	_____	_____																					
3. _____	_____	_____	_____																					
4. _____	_____	_____	_____																					
Total Cover: <u>20</u>				<b>Prevalence Index worksheet:</b> <table style="width:100%; border-collapse: collapse;"> <tr> <td align="center" colspan="2">Total % Cover of:</td> <td align="center" colspan="2">Multiply by:</td> </tr> <tr> <td>OBL species _____</td> <td align="center">x 1 = _____</td> <td>FACW species _____</td> <td align="center">x 2 = _____</td> </tr> <tr> <td>FAC species _____</td> <td align="center">x 3 = _____</td> <td>FACU species _____</td> <td align="center">x 4 = _____</td> </tr> <tr> <td>UPL species _____</td> <td align="center">x 5 = _____</td> <td>Column Totals: _____ (A)</td> <td align="center">_____ (B)</td> </tr> <tr> <td align="center" colspan="4">Prevalence Index = B/A = _____</td> </tr> </table>	Total % Cover of:		Multiply by:		OBL species _____	x 1 = _____	FACW species _____	x 2 = _____	FAC species _____	x 3 = _____	FACU species _____	x 4 = _____	UPL species _____	x 5 = _____	Column Totals: _____ (A)	_____ (B)	Prevalence Index = B/A = _____			
Total % Cover of:		Multiply by:																						
OBL species _____	x 1 = _____	FACW species _____	x 2 = _____																					
FAC species _____	x 3 = _____	FACU species _____	x 4 = _____																					
UPL species _____	x 5 = _____	Column Totals: _____ (A)	_____ (B)																					
Prevalence Index = B/A = _____																								
<b>Sapling/Shrub Stratum</b>																								
1. <i>Pseudotsuga menziesii</i>	10	Y	NL																					
2. <i>Rosa woodsii</i>	10	Y	FAC																					
3. _____	_____	_____	_____																					
4. _____	_____	_____	_____																					
5. _____	_____	_____	_____																					
Total Cover: <u>20</u>																								
<b>Herb Stratum</b>																								
1. <i>Pteridium aquilinum</i>	30	Y	FACU																					
2. <i>Holcus lanata</i>	60	Y	FAC																					
3. <i>Ranunculus californicus</i>	10	N	FAC																					
4. _____	_____	_____	_____																					
5. _____	_____	_____	_____																					
6. _____	_____	_____	_____																					
7. _____	_____	_____	_____																					
8. _____	_____	_____	_____																					
Total Cover: <u>100</u>																								
<b>Woody Vine Stratum</b>																								
1. _____	_____	_____	_____																					
2. _____	_____	_____	_____																					
Total Cover: _____																								
% Bare Ground in Herb Stratum <u>0</u>																								
Remarks:																								

**Hydrophytic Vegetation Present?** Yes \_\_\_\_\_ No

SOIL

Sampling Point: DP-16

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-3	10YR 3/2	100					L	A1
3-7	10YR 3/1	100					L	A2
7-20	10YR 3/2	70	7.5YR 3/3	30	C	M	L	A3

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix. <sup>2</sup>Location: PL=Pore Lining, RC=Root Channel, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

Indicators for Problematic Hydric Soils<sup>3</sup>:

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Histosol (A1)                     | <input type="checkbox"/> Sandy Redox (S5)                         | <input type="checkbox"/> 2 cm Muck (A10)            |
| <input type="checkbox"/> Histic Epipedon (A2)              | <input type="checkbox"/> Stripped Matrix (S6)                     | <input type="checkbox"/> Red Parent Material (TF2)  |
| <input type="checkbox"/> Black Histic (A3)                 | <input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1) | <input type="checkbox"/> Other (Explain in Remarks) |
| <input type="checkbox"/> Hydrogen Sulfide (A4)             | <input type="checkbox"/> Loamy Gleyed Matrix (F2)                 |   |
| <input type="checkbox"/> Depleted Below Dark Surface (A11) | <input type="checkbox"/> Depleted Matrix (F3)                     |   |
| <input type="checkbox"/> Thick Dark Surface (A12)          | <input type="checkbox"/> Redox Dark Surface (F6)                  |   |
| <input type="checkbox"/> Sandy Mucky Mineral (S1)          | <input type="checkbox"/> Depleted Dark Surface (F7)               |   |
| <input type="checkbox"/> Sandy Gleyed Matrix (S4)          | <input type="checkbox"/> Redox Depressions (F8)                   |   |

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present.

Restrictive Layer (if present): NONE  
 Type: \_\_\_\_\_  
 Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes \_\_\_\_\_ No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

Secondary Indicators (2 or more required)

Primary Indicators (any one indicator is sufficient)

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Surface Water (A1)                        | <input type="checkbox"/> Water-Stained Leaves (B9) (except NW coast)   | <input type="checkbox"/> Water-Stained Leaves (B9) (NW coast)      |
| <input type="checkbox"/> High Water Table (A2)                     | <input type="checkbox"/> Salt Crust (B11)                              | <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)   |
| <input type="checkbox"/> Saturation (A3)                           | <input type="checkbox"/> Aquatic Invertebrates (B13)                   | <input type="checkbox"/> Drainage Patterns (B10)                   |
| <input type="checkbox"/> Water Marks (B1)                          | <input type="checkbox"/> Hydrogen Sulfide Odor (C1)                    | <input type="checkbox"/> Dry-Season Water Table (C2)               |
| <input type="checkbox"/> Sediment Deposits (B2)                    | <input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3) | <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) |
| <input type="checkbox"/> Drift Deposits (B3)                       | <input type="checkbox"/> Presence of Reduced Iron (C4)                 | <input type="checkbox"/> Geomorphic Position (D2)                  |
| <input type="checkbox"/> Algal Mat or Crust (B4)                   | <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)    | <input type="checkbox"/> Shallow Aquitard (D3)                     |
| <input type="checkbox"/> Iron Deposits (B5)                        | <input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)       | <input type="checkbox"/> Frost-Heave Hummocks (D4)                 |
| <input type="checkbox"/> Surface Soil Cracks (B6)                  | <input type="checkbox"/> Other (Explain in Remarks)                    | <input type="checkbox"/> FAC-Neutral Test (D5)                     |
| <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) |  | <input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)            |

Field Observations:

Surface Water Present? Yes \_\_\_\_\_ No  Depth (inches): \_\_\_\_\_  
 Water Table Present? Yes \_\_\_\_\_ No  Depth (inches): none to 20  
 Saturation Present? Yes \_\_\_\_\_ No  Depth (inches): \_\_\_\_\_  
 (includes capillary fringe)

Wetland Hydrology Present? Yes \_\_\_\_\_ No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:



**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region (DRAFT)**

Project/Site: RATNA LING RETIREMENT CTR. City/County: SUNAMA CO. Sampling Date: 5-2-08  
 Applicant/Owner: RATNA LING RETIREMENT CTR. State: CA Sampling Point: DP-17  
 Investigator(s): BUTTERWORTH, VALDIVIA Section, Township, Range: \_\_\_\_\_  
 Landform (hillslope, terrace, etc.): HILL SLOPE Local relief (concave, convex, none): SUBTLE SWALE Slope (%): 5-10  
 Subregion (LRR): \_\_\_\_\_ Lat: \_\_\_\_\_ Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name: EMPIRE LOAM, 9-30% SLOPE (ENE) NWI classification: \_\_\_\_\_  
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No \_\_\_\_\_ (If no, explain in Remarks.)  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ significantly disturbed? NO Are "Normal Circumstances" present? Yes  No \_\_\_\_\_  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ naturally problematic? NO (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____ Hydric Soil Present? Yes <input checked="" type="checkbox"/> No _____ Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No _____	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No _____
Remarks:  <p align="center"><u>IN SEDGE MEADOW SM-1.</u></p>	

**VEGETATION**

Tree Stratum (Use scientific names.)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:
1. _____	_____	_____	_____	Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A)  Total Number of Dominant Species Across All Strata: <u>2</u> (B)  Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
Total Cover: _____				<b>Prevalence Index worksheet:</b> Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B)  Prevalence Index = B/A = _____
<b>Sapling/Shrub Stratum</b>				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	<b>Hydrophytic Vegetation Indicators:</b> <input checked="" type="checkbox"/> Dominance Test is >50% <input type="checkbox"/> Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Wetland Non-Vascular Plants <sup>1</sup> <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain) <sup>1</sup> Indicators of hydric soil and wetland hydrology must be present.
Total Cover: _____				
<b>Herb Stratum</b>				
1. <u>Carex densa</u>	<u>50</u>	<u>Y</u>	<u>OBL</u>	
2. <u>Carex lasiocoma (?)</u>	<u>10</u>	<u>N</u>	<u>OBL</u>	
3. <u>Festuca arundinacea</u>	<u>20</u>	<u>Y</u>	<u>FAC</u>	
4. <u>Elymus glaucus</u>	<u>10</u>	<u>N</u>	<u>FACU</u>	
5. <u>Pteridium aquilifolium</u>	<u>10</u>	<u>N</u>	<u>FACU</u>	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
Total Cover: <u>100</u>				
<b>Woody Vine Stratum</b>				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
Total Cover: _____				
% Bare Ground in Herb Stratum <u>0</u>				
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____				
Remarks:				

SOIL

Sampling Point: DP-17

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-14	10YR3/2	90	7.5YR4/6	10	C	m	L	A
14-21	10YR4/1	60	10YR4/6	40	C	M	C	Bt

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix. <sup>2</sup>Location: PL=Pore Lining, RC=Root Channel, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)	Indicators for Problematic Hydric Soils <sup>3</sup> :
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Redox (S5)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Stripped Matrix (S6)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input checked="" type="checkbox"/> Depleted Matrix (F3)
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Redox Depressions (F8)

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present.

Restrictive Layer (if present):  
 Type: ARGILLIC  
 Depth (inches): 14

Hydric Soil Present? Yes  No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:	Secondary Indicators (2 or more required)
<u>Primary Indicators (any one indicator is sufficient)</u>	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9) (NW coast)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input type="checkbox"/> Saturation (A3)	<input checked="" type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Geomorphic Position (D2)
<input checked="" type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Frost-Heave Hummocks (D4)
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)
<input type="checkbox"/> Water-Stained Leaves (B9) (except NW coast)	
<input type="checkbox"/> Salt Crust (B11)	
<input type="checkbox"/> Aquatic Invertebrates (B13)	
<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	
<input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3)	
<input type="checkbox"/> Presence of Reduced Iron (C4)	
<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	
<input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)	
<input type="checkbox"/> Other (Explain in Remarks)	

Field Observations:

Surface Water Present? Yes  No  Depth (inches):   

Water Table Present? Yes  No  Depth (inches): None to 21

Saturation Present? (includes capillary fringe) Yes  No  Depth (inches):   

Wetland Hydrology Present? Yes  No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

**WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys and Coast Region (DRAFT)**

Project/Site: RAINA LING RETREAT CTR. City/County: SUNOMA CO. Sampling Date: 5-2-08  
 Applicant/Owner: RAINA LING RETREAT CTR. State: CA Sampling Point: OP-18  
 Investigator(s): BUTTERWORTH, VALÉRIUS Section, Township, Range: \_\_\_\_\_  
 Landform (hillslope, terrace, etc.): HILL SLOPE Local relief (concave, convex, none): CONCAVE Slope (%): 5-8  
 Subregion (LRR): \_\_\_\_\_ Lat: \_\_\_\_\_ Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name: EMPIRE LOAM, 9-30% SLOPES (EME) NWI classification: \_\_\_\_\_  
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No \_\_\_\_\_ (If no, explain in Remarks.)  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ significantly disturbed? NO Are "Normal Circumstances" present? Yes  No \_\_\_\_\_  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ naturally problematic? NO (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____ Hydric Soil Present? Yes _____ No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes _____ No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes _____ No <input checked="" type="checkbox"/>
Remarks: _____ _____ _____	

**VEGETATION**

Tree Stratum (Use scientific names.)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:
1. _____	_____	_____	_____	Number of Dominant Species That Are OBL, FACW, or FAC: <u>3</u> (A)  Total Number of Dominant Species Across All Strata: <u>3</u> (B)  Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
Total Cover: _____				<b>Prevalence Index worksheet:</b> Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B)  Prevalence Index = B/A = _____
<u>Sapling/Shrub Stratum</u>				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	<b>Hydrophytic Vegetation Indicators:</b> <input checked="" type="checkbox"/> Dominance Test is >50% <input type="checkbox"/> Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Wetland Non-Vascular Plants <sup>1</sup> <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain) <sup>1</sup> Indicators of hydric soil and wetland hydrology must be present.
Total Cover: _____				
<u>Herb Stratum</u>				
1. <u>Poa densa</u>	<u>30</u>	<u>Y</u>	<u>OBL</u>	
2. <u>Festuca arundinacea</u>	<u>25</u>	<u>Y</u>	<u>FAC</u>	
3. <u>Holcus lanatus</u>	<u>25</u>	<u>Y</u>	<u>FAC</u>	
4. <u>Ranunculus californicus</u>	<u>10</u>	<u>N</u>	<u>FAC</u>	
5. <u>Carex lasiocarpa</u> (?)	<u>10</u>	<u>N</u>	<u>OBL</u>	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
Total Cover: <u>100</u>				
<u>Woody Vine Stratum</u>				
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
Total Cover: _____				
% Bare Ground in Herb Stratum <u>0</u>				
Remarks: _____ _____ _____				
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____				

SOIL

Sampling Point: DP-18

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-16	10YR 3/2	100					L A	
16-21	10YR 4/3	80	10YR 5/6	20	C	M	SC1 Bt	

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix. <sup>2</sup>Location: PL=Pore Lining, RC=Root Channel, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)	Indicators for Problematic Hydric Soils <sup>3</sup> :
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> 2 cm Muck (A10)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Red Parent Material (TF2)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> Hydrogen Sulfide (A4)	
<input type="checkbox"/> Depleted Below Dark Surface (A11)	
<input type="checkbox"/> Thick Dark Surface (A12)	
<input type="checkbox"/> Sandy Mucky Mineral (S1)	
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	
<input type="checkbox"/> Sandy Redox (S5)	
<input type="checkbox"/> Stripped Matrix (S6)	
<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	
<input type="checkbox"/> Loamy Gleyed Matrix (F2)	
<input type="checkbox"/> Depleted Matrix (F3)	
<input type="checkbox"/> Redox Dark Surface (F6)	
<input type="checkbox"/> Depleted Dark Surface (F7)	
<input type="checkbox"/> Redox Depressions (F8)	

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present.

Restrictive Layer (if present): NONE

Type: \_\_\_\_\_

Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes \_\_\_\_\_ No

Remarks:  
Sporadic redox conc. between depths of 4-6"

HYDROLOGY

Wetland Hydrology Indicators:	Secondary Indicators (2 or more required)
Primary Indicators (any one indicator is sufficient)	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9) (NW coast)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Frost-Heave Hummocks (D4)
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)
<input type="checkbox"/> Water-Stained Leaves (B9) (except NW coast)	
<input type="checkbox"/> Salt Crust (B11)	
<input type="checkbox"/> Aquatic Invertebrates (B13)	
<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	
<input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3)	
<input type="checkbox"/> Presence of Reduced Iron (C4)	
<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	
<input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)	
<input type="checkbox"/> Other (Explain in Remarks)	

Field Observations:

Surface Water Present? Yes \_\_\_\_\_ No  Depth (inches): \_\_\_\_\_

Water Table Present? Yes \_\_\_\_\_ No  Depth (inches): None to 2'

Saturation Present? Yes \_\_\_\_\_ No  Depth (inches): \_\_\_\_\_

(includes capillary fringe)

Wetland Hydrology Present? Yes \_\_\_\_\_ No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

Appendix B  
Approved Jurisdictional Determination Form

**APPROVED JURISDICTIONAL DETERMINATION FORM**  
**U.S. Army Corps of Engineers**

This form should be completed by following the instructions provided in Section IV of the JD Form Instructional Guidebook.

**SECTION I: BACKGROUND INFORMATION**

**A. REPORT COMPLETION DATE FOR APPROVED JURISDICTIONAL DETERMINATION (JD):**

**B. DISTRICT OFFICE, FILE NAME, AND NUMBER:** San Francisco District, Ratna Ling Retreat Center, File Number 400375N

**C. PROJECT LOCATION AND BACKGROUND INFORMATION:**

State: CA County/parish/borough: Sonoma City: Cazadero  
Center coordinates of site (lat/long in degree decimal format): Lat. 38.5808° N Long. 123.0305° W  
Universal Transverse Mercator:

Name of nearest waterbody: South Fork Gualala River

Name of nearest Traditional Navigable Water (TNW) into which the aquatic resource flows: Pacific Ocean

Name of watershed or Hydrologic Unit Code (HUC): Gualala River watershed

Check if map/diagram of review area and/or potential jurisdictional areas is/are available upon request.

Check if other sites (e.g., offsite mitigation sites, disposal sites, etc...) are associated with this action and are recorded on a different JD form.

**D. REVIEW PERFORMED FOR SITE EVALUATION (CHECK ALL THAT APPLY):**

Office (Desk) Determination. Date:

Field Determination. Date(s):

**SECTION II: SUMMARY OF FINDINGS**

**A. RHA SECTION 10 DETERMINATION OF JURISDICTION.**

There  **is** "navigable waters of the U.S." within Rivers and Harbors Act (RHA) jurisdiction (as defined by 33 CFR part 329) in the review area. [Required]

Waters subject to the ebb and flow of the tide.

Waters are presently used, or have been used in the past, or may be susceptible for use to transport interstate or foreign commerce.

Explain:

**B. CWA SECTION 404 DETERMINATION OF JURISDICTION.**

There  **is** "waters of the U.S." within Clean Water Act (CWA) jurisdiction (as defined by 33 CFR part 328) in the review area. [Required]

**1. Waters of the U.S.**

**a. Indicate presence of waters of U.S. in review area (check all that apply):<sup>1</sup>**

- TNWs, including territorial seas
- Wetlands adjacent to TNWs
- Relatively permanent waters<sup>2</sup> (RPWs) that flow directly or indirectly into TNWs
- Non-RPWs that flow directly or indirectly into TNWs
- Wetlands directly abutting RPWs that flow directly or indirectly into TNWs
- Wetlands adjacent to but not directly abutting RPWs that flow directly or indirectly into TNWs
- Wetlands adjacent to non-RPWs that flow directly or indirectly into TNWs
- Impoundments of jurisdictional waters
- Isolated (interstate or intrastate) waters, including isolated wetlands

**b. Identify (estimate) size of waters of the U.S. in the review area:**

Non-wetland waters: linear feet: width (ft) and/or acres.

Wetlands: acres.

**c. Limits (boundaries) of jurisdiction based on:  Pick List**

Elevation of established OHWM (if known): varies.

**2. Non-regulated waters/wetlands (check if applicable):<sup>3</sup>**

Potentially jurisdictional waters and/or wetlands were assessed within the review area and determined to be not jurisdictional.

Explain:

<sup>1</sup> Boxes checked below shall be supported by completing the appropriate sections in Section III below.

<sup>2</sup> For purposes of this form, an RPW is defined as a tributary that is not a TNW and that typically flows year-round or has continuous flow at least "seasonally" (e.g., typically 3 months).

<sup>3</sup> Supporting documentation is presented in Section III.F.

### SECTION III: CWA ANALYSIS

#### A. TNWs AND WETLANDS ADJACENT TO TNWs

The agencies will assert jurisdiction over TNWs and wetlands adjacent to TNWs. If the aquatic resource is a TNW, complete Section III.A.1 and Section III.D.1. only; if the aquatic resource is a wetland adjacent to a TNW, complete Sections III.A.1 and 2 and Section III.D.1.; otherwise, see Section III.B below.

1. TNW

Identify TNW: n/a.

Summarize rationale supporting determination:

2. Wetland adjacent to TNW

Summarize rationale supporting conclusion that wetland is "adjacent": n/a.

#### B. CHARACTERISTICS OF TRIBUTARY (THAT IS NOT A TNW) AND ITS ADJACENT WETLANDS (IF ANY):

This section summarizes information regarding characteristics of the tributary and its adjacent wetlands, if any, and it helps determine whether or not the standards for jurisdiction established under *Rapanos* have been met.

The agencies will assert jurisdiction over non-navigable tributaries of TNWs where the tributaries are "relatively permanent waters" (RPWs), i.e. tributaries that typically flow year-round or have continuous flow at least seasonally (e.g., typically 3 months). A wetland that directly abuts an RPW is also jurisdictional. If the aquatic resource is not a TNW, but has year-round (perennial) flow, skip to Section III.D.2. If the aquatic resource is a wetland directly abutting a tributary with perennial flow, skip to Section III.D.4.

A wetland that is adjacent to but that does not directly abut an RPW requires a significant nexus evaluation. Corps districts and EPA regions will include in the record any available information that documents the existence of a significant nexus between a relatively permanent tributary that is not perennial (and its adjacent wetlands if any) and a traditional navigable water, even though a significant nexus finding is not required as a matter of law.

If the waterbody<sup>4</sup> is not an RPW, or a wetland directly abutting an RPW, a JD will require additional data to determine if the waterbody has a significant nexus with a TNW. If the tributary has adjacent wetlands, the significant nexus evaluation must consider the tributary in combination with all of its adjacent wetlands. This significant nexus evaluation that combines, for analytical purposes, the tributary and all of its adjacent wetlands is used whether the review area identified in the JD request is the tributary, or its adjacent wetlands, or both. If the JD covers a tributary with adjacent wetlands, complete Section III.B.1 for the tributary, Section III.B.2 for any onsite wetlands, and Section III.B.3 for all wetlands adjacent to that tributary, both onsite and offsite. The determination whether a significant nexus exists is determined in Section III.C below.

1. Characteristics of non-TNWs that flow directly or indirectly into TNW

(i) General Area Conditions:

Watershed size: each tributary less than 10 acres

Drainage area: Prek List

Average annual rainfall: 38+ inches

Average annual snowfall: 0 inches

(ii) Physical Characteristics:

(a) Relationship with TNW:

Tributary flows directly into TNW.

Tributary flows through 3 tributaries before entering TNW.

Project waters are 15-20 river miles from TNW.

Project waters are 1 (or less) river miles from RPW.

Project waters are 2-5 aerial (straight) miles from TNW.

Project waters are 1 (or less) aerial (straight) miles from RPW.

Project waters cross or serve as state boundaries. Explain: No.

Identify flow route to TNW<sup>5</sup>: Unnamed tributaries to South Fork Gualala River to Gualala River, into Pacific Ocean.

Tributary stream order, if known: 1, 2, 3, and 4 to reach Pacific Ocean.

<sup>4</sup> Note that the Instructional Guidebook contains additional information regarding swales, ditches, washes, and erosional features generally and in the arid West.

<sup>5</sup> Flow route can be described by identifying, e.g., tributary a, which flows through the review area, to flow into tributary b, which then flows into TNW.

(b) General Tributary Characteristics (check all that apply):

Tributary is:  Natural  
 Artificial (man-made). Explain:  
 Manipulated (man-altered). Explain:

Tributary properties with respect to top of bank (estimate):

Average width: 2 feet  
Average depth: 1 feet  
Average side slopes: Vertical (1:1 or less).

Primary tributary substrate composition (check all that apply):

Silts  Sands  Concrete  
 Cobbles  Gravel  Muck  
 Bedrock  Vegetation. Type/% cover: unvegetated.  
 Other. Explain:

Tributary condition/stability [e.g., highly eroding, sloughing banks]. Explain: generally stable, but cut to bedrock; minor sloughing.

Presence of run/riffle/pool complexes. Explain: None, except for pockets of water in some tributaries.

Tributary geometry: Relatively straight

Tributary gradient (approximate average slope): 10 %

(c) Flow:

Tributary provides for: Intermittent but not seasonal flow

Estimate average number of flow events in review area/year: 6-10

Describe flow regime:

Other information on duration and volume: Inputs from in-channel springs on some tributaries.

Surface flow is: Confined. Characteristics:

Subsurface flow: No. Explain findings: Cut to bedrock; rock is too slowly permeable for subsurface flow under channel.

Dye (or other) test performed:

Tributary has (check all that apply):

Bed and banks  
 OHWM<sup>6</sup> (check all indicators that apply):  
 clear, natural line impressed on the bank  the presence of litter and debris  
 changes in the character of soil  destruction of terrestrial vegetation  
 shelving  the presence of wrack line  
 vegetation matted down, bent, or absent  sediment sorting  
 leaf litter disturbed or washed away  scour  
 sediment deposition  multiple observed or predicted flow events  
 water staining  abrupt change in plant community  
 other (list):

Discontinuous OHWM.<sup>7</sup> Explain: coarse woody debris and variable bed composition obliterates OHWM in places..

If factors other than the OHWM were used to determine lateral extent of CWA jurisdiction (check all that apply):

High Tide Line indicated by:  Mean High Water Mark indicated by:  
 oil or scum line along shore objects  survey to available datum;  
 fine shell or debris deposits (foreshore)  physical markings;  
 physical markings/characteristics  vegetation lines/changes in vegetation types.  
 tidal gauges  
 other (list):

(iii) Chemical Characteristics:

Characterize tributary (e.g., water color is clear, discolored, oily film; water quality; general watershed characteristics, etc.).

Explain: No known significant water quality problems, except for turbidity during high rainfall events..

Identify specific pollutants, if known: sediments.

<sup>6</sup>A natural or man-made discontinuity in the OHWM does not necessarily sever jurisdiction (e.g., where the stream temporarily flows underground, or where the OHWM has been removed by development or agricultural practices). Where there is a break in the OHWM that is unrelated to the waterbody's flow regime (e.g., flow over a rock outcrop or through a culvert), the agencies will look for indicators of flow above and below the break.

<sup>7</sup>Ibid.



(iv) **Biological Characteristics. Channel supports (check all that apply):**

- Riparian corridor. Characteristics (type, average width): No real shift to riparian species from adjoining mesic vegetation.
- Wetland fringe. Characteristics: n/a.
- Habitat for:
- Federally Listed species. Explain findings: none.
  - Fish/spawn areas. Explain findings: none.
  - Other environmentally-sensitive species. Explain findings: none.
  - Aquatic/wildlife diversity. Explain findings: probably low due to ephemeral/intermittent flow conditions and rock substrate.

2. **Characteristics of wetlands adjacent to non-TNW that flow directly or indirectly into TNW**

(i) **Physical Characteristics:**

(a) General Wetland Characteristics:

Properties:

Wetland size:        acres

Wetland type. Explain:

Wetland quality. Explain:

Project wetlands cross or serve as state boundaries. Explain:

(b) General Flow Relationship with Non-TNW:

Flow is: Pick List. Explain:

Surface flow is: Pick List

Characteristics:

Subsurface flow: Pick List. Explain findings:

Dye (or other) test performed:

(c) Wetland Adjacency Determination with Non-TNW:

Directly abutting

Not directly abutting

Discrete wetland hydrologic connection. Explain:

Ecological connection. Explain:

Separated by berm/barrier. Explain:

(d) Proximity (Relationship) to TNW

Project wetlands are Pick List river miles from TNW.

Project waters are Pick List aerial (straight) miles from TNW.

Flow is from: Pick List.

Estimate approximate location of wetland as within the Pick List floodplain.

(ii) **Chemical Characteristics:**

Characterize wetland system (e.g., water color is clear, brown, oil film on surface; water quality; general watershed characteristics; etc.). Explain:

Identify specific pollutants, if known:

(iii) **Biological Characteristics. Wetland supports (check all that apply):**

Riparian buffer. Characteristics (type, average width):

Vegetation type/percent cover. Explain:

Habitat for:

Federally Listed species. Explain findings:

Fish/spawn areas. Explain findings:

Other environmentally-sensitive species. Explain findings:

Aquatic/wildlife diversity. Explain findings:

3. **Characteristics of all wetlands adjacent to the tributary (if any)**

All wetland(s) being considered in the cumulative analysis: Pick List

Approximately (        ) acres in total are being considered in the cumulative analysis.

For each wetland, specify the following:

<u>Directly abuts? (Y/N)</u>	<u>Size (in acres)</u>	<u>Directly abuts? (Y/N)</u>	<u>Size (in acres)</u>
Rush Meadow RM-5 - No	0.092		
Sedge Meadow SM-1 - No	0.002		

Summarize overall biological, chemical and physical functions being performed: Rush Meadow RM-5 provides minor stormwater detention and nutrient degradation; provides food and cover for selected species. Sedge Meadow SM-1 provides no real function due to its small size and slope.

### C. SIGNIFICANT NEXUS DETERMINATION

A significant nexus analysis will assess the flow characteristics and functions of the tributary itself and the functions performed by any wetlands adjacent to the tributary to determine if they significantly affect the chemical, physical, and biological integrity of a TNW. For each of the following situations, a significant nexus exists if the tributary, in combination with all of its adjacent wetlands, has more than a speculative or insubstantial effect on the chemical, physical and/or biological integrity of a TNW. Considerations when evaluating significant nexus include, but are not limited to the volume, duration, and frequency of the flow of water in the tributary and its proximity to a TNW, and the functions performed by the tributary and all its adjacent wetlands. It is not appropriate to determine significant nexus based solely on any specific threshold of distance (e.g. between a tributary and its adjacent wetland or between a tributary and the TNW). Similarly, the fact an adjacent wetland lies within or outside of a floodplain is not solely determinative of significant nexus.

Draw connections between the features documented and the effects on the TNW, as identified in the *Rapanos* Guidance and discussed in the Instructional Guidebook. Factors to consider include, for example:

- Does the tributary, in combination with its adjacent wetlands (if any), have the capacity to carry pollutants or flood waters to TNWs, or to reduce the amount of pollutants or flood waters reaching a TNW?
- Does the tributary, in combination with its adjacent wetlands (if any), provide habitat and lifecycle support functions for fish and other species, such as feeding, nesting, spawning, or rearing young for species that are present in the TNW?
- Does the tributary, in combination with its adjacent wetlands (if any), have the capacity to transfer nutrients and organic carbon that support downstream foodwebs?
- Does the tributary, in combination with its adjacent wetlands (if any), have other relationships to the physical, chemical, or biological integrity of the TNW?

Note: the above list of considerations is not inclusive and other functions observed or known to occur should be documented below:

1. Significant nexus findings for non-RPW that has no adjacent wetlands and flows directly or indirectly into TNWs. Explain findings of presence or absence of significant nexus below, based on the tributary itself, then go to Section III.D: .
2. Significant nexus findings for non-RPW and its adjacent wetlands, where the non-RPW flows directly or indirectly into TNWs. Explain findings of presence or absence of significant nexus below, based on the tributary in combination with all of its adjacent wetlands, then go to Section III.D:
3. Significant nexus findings for wetlands adjacent to an RPW but that do not directly abut the RPW. Explain findings of presence or absence of significant nexus below, based on the tributary in combination with all of its adjacent wetlands, then go to Section III.D:

### D. DETERMINATIONS OF JURISDICTIONAL FINDINGS. THE SUBJECT WATERS/WETLANDS ARE (CHECK ALL THAT APPLY):

1. TNWs and Adjacent Wetlands. Check all that apply and provide size estimates in review area:  
 TNWs: linear feet width (ft), Or, acres.  
 Wetlands adjacent to TNWs: acres.
2. RPWs that flow directly or indirectly into TNWs.  
 Tributaries of TNWs where tributaries typically flow year-round are jurisdictional. Provide data and rationale indicating that tributary is perennial!  
 Tributaries of TNW where tributaries have continuous flow "seasonally" (e.g., typically three months each year) are jurisdictional. Data supporting this conclusion is provided at Section III.B. Provide rationale indicating that tributary flows seasonally:

Provide estimates for jurisdictional waters in the review area (check all that apply):

Tributary waters: linear feet width (ft).

Other non-wetland waters: acres.

Identify type(s) of waters:

3. **Non-RPWs<sup>8</sup> that flow directly or indirectly into TNWs.**

- Waterbody that is not a TNW or an RPW, but flows directly or indirectly into a TNW, and it has a significant nexus with a TNW is jurisdictional. Data supporting this conclusion is provided at Section III.C.

Provide estimates for jurisdictional waters within the review area (check all that apply):

Tributary waters: linear feet width (ft).

Other non-wetland waters: acres.

Identify type(s) of waters:

4. **Wetlands directly abutting an RPW that flow directly or indirectly into TNWs.**

- Wetlands directly abut RPW and thus are jurisdictional as adjacent wetlands.

Wetlands directly abutting an RPW where tributaries typically flow year-round. Provide data and rationale indicating that tributary is perennial in Section III.D.2, above. Provide rationale indicating that wetland is directly abutting an RPW:

Wetlands directly abutting an RPW where tributaries typically flow "seasonally." Provide data indicating that tributary is seasonal in Section III.B and rationale in Section III.D.2, above. Provide rationale indicating that wetland is directly abutting an RPW:

Provide acreage estimates for jurisdictional wetlands in the review area: acres.

5. **Wetlands adjacent to but not directly abutting an RPW that flow directly or indirectly into TNWs.**

- Wetlands that do not directly abut an RPW, but when considered in combination with the tributary to which they are adjacent and with similarly situated adjacent wetlands, have a significant nexus with a TNW are jurisdictional. Data supporting this conclusion is provided at Section III.C.

Provide acreage estimates for jurisdictional wetlands in the review area: acres.

6. **Wetlands adjacent to non-RPWs that flow directly or indirectly into TNWs.**

- Wetlands adjacent to such waters, and have when considered in combination with the tributary to which they are adjacent and with similarly situated adjacent wetlands, have a significant nexus with a TNW are jurisdictional. Data supporting this conclusion is provided at Section III.C.

Provide estimates for jurisdictional wetlands in the review area: acres.

7. **Impoundments of jurisdictional waters.<sup>9</sup>**

As a general rule, the impoundment of a jurisdictional tributary remains jurisdictional.

Demonstrate that impoundment was created from "waters of the U.S.," or

Demonstrate that water meets the criteria for one of the categories presented above (1-6), or

Demonstrate that water is isolated with a nexus to commerce (see E below).

E. **ISOLATED [INTERSTATE OR INTRA-STATE] WATERS, INCLUDING ISOLATED WETLANDS, THE USE, DEGRADATION OR DESTRUCTION OF WHICH COULD AFFECT INTERSTATE COMMERCE, INCLUDING ANY SUCH WATERS (CHECK ALL THAT APPLY):<sup>10</sup>**

which are or could be used by interstate or foreign travelers for recreational or other purposes.

from which fish or shellfish are or could be taken and sold in interstate or foreign commerce.

which are or could be used for industrial purposes by industries in interstate commerce.

Interstate isolated waters. Explain:

Other factors. Explain:

<sup>8</sup>See Footnote # 3.

<sup>9</sup>To complete the analysis refer to the key in Section III.D.6 of the Instructional Guidebook.

<sup>10</sup>Prior to asserting or declining CWA jurisdiction based solely on this category, Corps Districts will elevate the action to Corps and EPA HQ for review consistent with the process described in the Corps/EPA Memorandum Regarding CWA Act Jurisdiction Following Rapanos.

**Identify water body and summarize rationale supporting determination:**

Provide estimates for jurisdictional waters in the review area (check all that apply):

Tributary waters: linear feet width (ft).

Other non-wetland waters: acres.

Identify type(s) of waters:

Wetlands: acres.

**F. NON-JURISDICTIONAL WATERS, INCLUDING WETLANDS (CHECK ALL THAT APPLY):**

If potential wetlands were assessed within the review area, these areas did not meet the criteria in the 1987 Corps of Engineers Wetland Delineation Manual and/or appropriate Regional Supplements.

Review area included isolated waters with no substantial nexus to interstate (or foreign) commerce.

Prior to the Jan 2001 Supreme Court decision in "SWANCC," the review area would have been regulated based solely on the "Migratory Bird Rule" (MBR).

Waters do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction. Explain:

Other: (explain, if not covered above):

Provide acreage estimates for non-jurisdictional waters in the review area, where the sole potential basis of jurisdiction is the MBR factors (i.e., presence of migratory birds, presence of endangered species, use of water for irrigated agriculture), using best professional judgment (check all that apply):

Non-wetland waters (i.e., rivers, streams): linear feet width (ft).

Lakes/ponds: acres.

Other non-wetland waters: acres. List type of aquatic resource:

Wetlands: acres.

Provide acreage estimates for non-jurisdictional waters in the review area that do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction (check all that apply):

Non-wetland waters (i.e., rivers, streams): linear feet width (ft).

Lakes/ponds: acres.

Other non-wetland waters: acres. List type of aquatic resource:

Wetlands: acres.

**SECTION IV: DATA SOURCES.**

**A. SUPPORTING DATA. Data reviewed for JD (check all that apply - checked items shall be included in case file and, where checked and requested, appropriately reference sources below):**

Maps, plans, plots or plat submitted by or on behalf of the applicant/consultant:

Data sheets prepared/submitted by or on behalf of the applicant/consultant.

Office concurs with data sheets/delineation report.

Office does not concur with data sheets/delineation report.

Data sheets prepared by the Corps:

Corps navigable waters' study:

U.S. Geological Survey Hydrologic Atlas:

USGS NHD data.

USGS 8 and 12 digit HUC maps.

U.S. Geological Survey map(s). Cite scale & quad name:

USDA Natural Resources Conservation Service Soil Survey. Citation:

National wetlands inventory map(s). Cite name:

State/Local wetland inventory map(s):

FEMA/FIRM maps:

100-year Floodplain Elevation is: (National Geodetic Vertical Datum of 1929)

Photographs:  Aerial (Name & Date):

or  Other (Name & Date):

Previous determination(s). File no. and date of response letter:

Applicable/supporting case law:

Applicable/supporting scientific literature:

Other information (please specify):

**B. ADDITIONAL COMMENTS TO SUPPORT JD:**

**BOTANICAL AND WILDLIFE REVIEW  
OF THE RATNA LING PROPERTY,  
35755 HAUSER BRIDGE ROAD, CAZADERO,  
SONOMA COUNTY, CA.**

**Prepared for:**

**Head Lama of the Tibetan Nyingma Meditation Center  
c/o Jack Petranker  
2425 Hillside Avenue  
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**Prepared by:**

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**And**

**Trish Tatarian  
Wildlife Research Associates  
1119 Burbank Avenue  
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**June 7, 2004**

**Botanical and Wildlife Review of the Ratna Ling Property  
35755 Hauser Bridge Road, Cazadero, Sonoma County, CA  
June 7, 2004**

## **INTRODUCTION**

The Ratna Ling property, owned by the Head Lama of the Tibetan Nyingma Meditation Center, is located at 35755 Hauser Bridge Road, Cazadero, Sonoma County, California. It is situated approximately 4.1 miles north of Fort Ross School. This parcel was formerly known as the Timberhill Ranch. The Assessor Parcel Number (APN) is 109-230-024 and the property is approximately 108 acres in size. The area proposed for development includes a printing facility on the west side of Hauser Bridge Road; library, healing resource center, and 19 cottages on the east side of Hauser Bridge Road (Figure 1). Only the areas proposed for development were surveyed for the presence of any potential special status plants or animals. The survey was conducted by Jane Valerius, botanist, and Trish Tatarian, wildlife biologist. The results of the survey are presented in the following sections.

## **METHODS**

A one-time site visit was conducted for the proposed development area on the Ratna Ling property. Surveys for special status plants were conducted in accordance with California Department of Fish and Game guidelines that require that surveys be conducted when special status plant that could potentially occur on the project area plants are flowering. A review of the California Natural Diversity Data Base (CNDDB 2004) for the Plantation, Annapolis, Tombs Creek and Fort Ross USGS 7.5-minute quadrangles was conducted. A list of potential special status plants that could occur within the area was developed prior to the site visit (Attachment A). Based on the list of potential special status plants within the area, it was determined that most of the potential special status plants that could occur in the area would be identifiable in May. Jane Valerius, botanist, conducted a survey on May 21, 2004. A list of plant species noted during the survey was also prepared and is included as part of Attachment A.

Focused surveys for special-status wildlife species were not conducted as part of this effort. Information on special-status species was compiled through a review of the CNDDB for the Plantation, Annapolis, Tombs Creek and Fort Ross 7.5-minute topographic quadrangles, the CDFG's *Special Animals List* (CDFG 2002a), *State and Federally Listed Endangered and Threatened Animals of California* (CDFG 2002b) and the USFWS list of special-status animals (USFWS 2004).

Trish Tatarian of Wildlife Research Associates conducted a one-day habitat assessment on May 21, 2004 which was intended only as an initial evaluation of on-site and adjacent habitat types of the areas proposed for expansion, including; A) the religious printing facility in the western portion of the site (comprising one building), B) the northeastern retreat housing (6 buildings), C) the eastern retreat housing (3 buildings), and D) the southeastern retreat housing (10 buildings) shown on Figure 1.

Areas of potentially suitable habitat for special-status species such as amphibians were noted. Particularly, the pond (#1) near Area A and the pond (#2) near Area B were surveyed for potential predators and/or amphibian competitors.

## RESULTS AND DISCUSSION

### Vegetation Communities and Wildlife Habitats

Several vegetation communities and wildlife habitats, which include anthropogenic structures, occur within the ±108-acre property. The descriptions below pertain to those habitats that are adjacent to the proposed project areas, including native and non-native grasslands, mixed hardwood forest, aquatic features (ponds) and anthropogenic (man-made) structures.

**Grasslands:** The grassland within the surveyed area is comprised of a mixture of native and non-native grasslands. These grasslands occur in the open areas of the proposed area of the printing facility, the eastern and southeastern retreat housing. Native grasses noted during the survey are purple needlegrass (*Nasella pulchra*), California oatgrass (*Danthonia californica*), blue wildrye (*Elymus glaucus*), Idaho fescue (*Festuca idahoensis*), and California brome (*Bromus carinatus*). The overall cover of the native grasses is not sufficient to call this type out as native perennial grassland. Mixed in with the natives are the non-native grasses such as annual wildrye (*Lolium multiflorum*), hare barley (*Hordeum murinum* ssp. *leporinum*), soft chess (*Bromus hordeaceus*), ripgut brome (*Bromus diandrus*), dogtail grass (*Cynosurus echinatus*), orchard grass (*Dactylis glomerata*), and Harding grass (*Phalaris aquatica*). A variety of native and non-native forb species also occur in the grasslands. See Attachment A for a list of plant species noted on the site.

Grassland habitat, including native and non-native grasslands, attract reptiles and amphibians, such as western fence lizard (*Sceloporus occidentalis*), and Pacific slender salamander (*Batrachoseps attenuatus*), which feed on invertebrates found within and beneath fallen logs within the habitat. This habitat also attracts seed-eating and insect-eating species of birds and mammals. California quail (*Callipepla californica*), mourning dove (*Zenaidura macroura*), and meadowlark (*Sturnella neglecta*) are a few seed-eaters that nest and forage in grasslands. Insect-eaters such as scrub jay (*Aphelocoma coerulescens*) use the habitat for foraging only. Grasslands are important foraging grounds for many aerial and ground foraging insect-eating bat species, including myotis (*Myotis* spp.) and pallid bat (*Antrozous pallidus*), a California Special Concern species. A large number of other mammal species such as California vole (*Microtus californicus*), Botta's pocket gopher (*Thomomys bottae*), California ground squirrel (*Spermophilus beecheyi*) and brush rabbit (*Sylvilagus bachmani*) also forage and nest within grasslands. Small rodents attract raptors (birds of prey) such as owls that hunt at night, as well as diurnal raptors such as red-tailed hawk (*Buteo jamaicensis*) and red-shouldered hawk (*Buteo lineatus*), among others. Larger mammals, such as black-tailed deer (*Odocoileus hemionus californicus*) use grasslands for grazing, while coyotes (*Canis latrans*) will hunt small mammals in the grasslands.

**Mixed Evergreen forest:** The mixed evergreen forest community is the dominant vegetation within the entire ±108-acre Ratna Ling property. Within the survey area this community occurs at the edges of the grassland area and the edges of the area proposed for development. This community type is comprised of coast live oak (*Quercus agrifolia*), Douglas fir (*Pseudotsuga menziesii*), madrone (*Arbutus menziesii*) and coast redwood (*Sequoia sempervirens*). Understory shrubs include poison oak (*Toxicodendron diversilobum*), coffeeberry (*Rhamnus californica*), snowberry (*Symphoricarpos mollis*), and rose (*Rosa gymnocarpa*).

Mixed evergreen forests contain food for species such as black-capped chickadee (*Poecile atricapilla*), Stellar's jay (*Cyanocitta stelleri*), and pygmy nuthatch (*Sitta carolinensis*). These species are bark gleaners, eating insects that are in the bark of trees, as well as catching insects in flight. The spotted towhee (*Pipilo maculatus*), and California towhee (*Pipilo crissalis*) glean insects from the ground and on foliage, such as under leaf litter and plants. California quail (*Callipepla californica*), mourning dove (*Zenaidura macroura*) and band-tailed pigeon (*Patagioenas fasciata*) forage on seeds within this habitat.

Rufous hummingbirds (*Selasphorus rufus*) use vines growing around trees for nectar and for insects that are attracted to the nectar. Other species, such as the great horned owl (*Bubo virginianus*) and Cooper's hawk (*Accipiter cooperi*), use the tall trees for nesting and perches when hunting small mammals, such as Botta's pocket gophers (*Thomomys bottae*), California vole (*Microtus californicus*) and deer mice (*Peromyscus maniculatus*). Along the coast of California and Oregon, the red tree vole (*Phenacomys longicaudus*) can be seen in the canopy of Douglas fir where it builds its nests and stores its food. Often this species has been seen nesting in old squirrel, woodrat or birds nests. The western gray squirrel (*Sciurus griseus*) and gray fox (*Urocyon cinereoargenteus*) both feed on truffles, mushrooms, fruits, and nuts within the forest. Dusky-footed woodrat (*Neotoma fuscipes*) nests, often large conical shaped structures of twigs, branches and leaves, can be seen throughout the forest. Mature oaks and snags are important features within this habitat as they provide nesting and roosting areas for a variety of special-status species of bats that occur in this region, including pallid bat, long-legged myotis (*Myotis volans*), Yuma myotis (*Myotis yumanensis*) and long-eared myotis (*Myotis evotis*), both Federal Species of Concern (Whittaker 1997). Bobcat (*Lynx rufus*) can be seen hunting small birds and mammals along the forest edge.

**Aquatic features/Potential Wetlands:** Two permanent ponds occur within the area proposed for development (Figure 1). These ponds appear to be man-made ponds and have some emergent vegetation around the edges of the ponds with open water in the middle of the pond. Emergent vegetation includes cattails (*Typha* spp.), rushes (*Juncus* spp.) and sedges (*Carex* spp.). Pond #2 also has a floating aquatic identified as common waterweed (*Elodea canadensis*).

Both ponds appear to be located at the top of a drainage channel. Because of the connection to a potential waters of the U.S., these ponds would potentially be considered as jurisdictional waters of the U.S. as defined by the U. S. Army Corps of Engineers (Corps). The ponds would qualify as waters of the state and therefore subject to rules and regulations governed by the State Regional Water Quality Control Board. No other wetlands were noted on the site.

Three dry, ephemeral drainages occur within the study area (Figure 1). Two of the drainages are associated with the ponds and the third drainage occurs on the north side of Area D. These are narrow, incised drainage channels with no wetland vegetation. The channel varies in width from less than one foot wide to three to five feet wide. These drainage channels would qualify as waters of the U.S. and be subject to the Corps and Regional Board's jurisdiction under the Clean Water Act. These drainages do not support a riparian cover or fisheries resource but they may also fall under the jurisdiction of the California Department of Fish and Game under Section 1603 of the Fish and Game Code.

The two permanent ponds on site provide important water and foraging habitat for a variety of wildlife species. Wildlife species typically found in this habitat include amphibians and reptiles, such as California tree frog (*Hyla regilla*), aquatic garter snake (*Thamnophis couchii*) and western pond turtle (*Emys marmorata*), among others. The high diversity of invertebrate species provides foraging opportunities for a variety of avian species, including snowy egret (*Leucophoyx thula*), black crowned night heron (*Nycticorax nycticorax*), and red-winged blackbird (*Agelaius phoeniceus*). Mallard (*Anas platyrhynchos*) may also forage and nest in this habitat. Small mammals, such as meadow vole (*Microtus californicus*) and Botta's pocket gopher, occupy the upland edges of the pond area. Raccoon (*Procyon lotor*) forage on amphibians and fish within the pond, and striped skunk (*Mephitis mephitis*) and gray fox (*Urocyon cinereoargenteus*) may forage on eggs, invertebrates and small mammals along the edges of the pond. This habitat provides important foraging and drinking areas for many species of bats.



At both ponds at Areas A and B, bullfrogs (*Rana catesbeiana*) of all life stages were observed, as well as fish, including mosquitofish (*Gambusia affinis*) and green sunfish (*Lepomis cyanellus*). These species reduce the likelihood of special-status amphibian species occurring on site. See below for further discussion.

**Anthropogenic structures:** Anthropogenic structures such as the building located on the western portion of the site study area provide potential roosting habitat for various wildlife species, including birds and bats. Bird species that use anthropogenic structures include passerines, such as barn swallows (*Hirundo rustica*) and black phoebe (*Sayornis nigricans*), and raptors, such as barn owls (*Tyto alba*). These species have adapted to the disturbances associated with human settlements and will nest and forage in close proximity to humans. In general, the nesting season for both passerines and raptors typically begins at the end of February and may last to mid-August. The conclusion of the nesting season is variable, as female barn swallows and black phoebe, for example, may produce 2-3 broods each year (Alsop 2001).

Statewide, buildings provide significant bat roosting habitat, and it appears that large bat populations are supported by the availability of buildings. Because bats show high roost fidelity, older structures may have provided roost habitat for generations. However, not all buildings available to bats provide the temperature, humidity and other requirements for bats; such factors vary by building design, materials, location, human activity patterns, and by bat species. As a result, not all buildings provide suitable roost habitat.

### **Wildlife Movement Corridors**

Wildlife movement includes migration (*i.e.*, usually one way per season), inter-population movement (*i.e.*, long-term genetic flow) and small travel pathways (*i.e.*, daily movement corridors within an animal's territory). While small travel pathways usually facilitate movement for daily home range activities such as foraging or escape from predators, they also provide connection between outlying populations and the main corridor, permitting an increase in gene flow between populations.

These linkages between habitat types can extend for miles between primary habitat areas and occur on a large scale throughout California. Habitat linkages facilitate movement between populations located in discrete areas and populations located within larger habitat areas. The mosaic of habitats found within a large-scale landscape results in wildlife populations that consist of discrete sub-populations comprising a large single population, often referred to as a meta-population. Even where patches of pristine habitat are fragmented, such as occurs with coastal scrub, the movement between wildlife populations is facilitated through habitat linkages, migration corridors and movement corridors. Depending on the condition of the corridor, genetic flow between populations may be high in frequency, thus allowing high genetic diversity within the population, or may be low in frequency. Potentially low frequency genetic flow may lead to complete isolation and, if pressures are strong, potential extinction (McCullough 1996; Whittaker 1998).

Movement corridors within the study area include the open grassland areas that provide corridors for deer and coyote. The more densely canopied woodland provides movement corridors for small species such as bobcat, skunks, and raccoon. Movement between the various creeks and drainages in the area more than likely occurs over this ridge top.

## Special-Status Species

### Special Status Plants:

Appendix A provides a list of potential special status plants that could occur in the area based on known records for the Plantation, Annapolis, Fort Ross and Tombs Creek U.S. 7.5-minute quadrangles using the CNDDDB. No special status plants were found within the study/survey area for the Ratna Ling project area. Many native plants were found, but none were special status. In general the areas to be developed are already disturbed and include many non-native species. Based on the site review it is unlikely that any special status plants occur within the area proposed for development.

### Special Status Wildlife

Special-status animal species include those protected under the Federal Endangered Species Act (FESA), the California Endangered Species Act (CESA) and Section 15380(d) of the California Environmental Quality Act (CEQA). The U.S. Fish and Wildlife Service (USFWS) officially lists species as either Threatened, Endangered, or as candidates for listing. Additional species receive federal protection under the Bald Eagle Protection Act (*e.g.*, bald eagle, golden eagle), and the Migratory Bird Treaty Act (MBTA). In addition, many other species are considered by the CDFG to be Special Concern species; these are listed in Remsen (1978), Williams (1986), and Jennings and Hayes (1994). Although such species are afforded no official legal status, they may receive special consideration during the planning stages of certain development projects. The CDFG further classifies some species under the following categories: "fully protected", "protected fur-bearer", "protected amphibian", and "protected reptile". The designation "protected" indicates that a species may not be taken or possessed except under special permit from the CDFG; "fully protected" indicates that a species can be taken for scientific purposes by permit only. Other protections for passerines (perching birds) and raptors (birds of prey), in general, falls under California Code 3503 and 3503.5, which prohibits the taking or destroying of nests or eggs of any bird and prohibits the taking or destroying of any bird or nest in the order of Falconiformes (falcons, kites, and hawks) and Strigiformes (owls).

A total of 30 special-status animal species have either been recorded in the region or may be present within the project area. A complete list of wildlife species, including their potential to occur on site, their legal status and habitat affinities, is included in Appendix B. Of these, 16 species are considered to have a moderate potential to occur adjacent to the site, and 3 species are considered to have a low potential to occur adjacent to the site, based on habitats present, proximity of known populations within the region and/or the observed presence on site. No special-status species have potential to occur within the proposed project areas.

The following is a discussion of species having potential to occur on site and/or are species that are prominent in today's regulatory environment, such as the California red-legged frog (*Rana aurora draytonii*). This document does not address impacts to species that may occur in the region but for which no habitat occurs on site.

### *Federal and State Threatened and Endangered Wildlife Species:*

**California red-legged frog** (*Rana aurora draytonii*) (CRF) is listed by the USFWS as Threatened and is classified by the CDFG as a California Special Concern species. It breeds primarily in ponds, but will also breed in slow moving streams, or deep pools in intermittent streams. The breeding period begins during heavy rains, from early to late winter, usually November through early May. Non-breeding CRF has been found in both aquatic and upland habitats. Aestivation habitat includes areas up to 300 feet from a stream

corridor and includes natural features, such as boulders, rocks, trees, shrubs, and logs (Tatarian, in preparation). Northern Marin County represents the dividing line between *R. a. draytonii* and northern red-legged frog (*Rana aurora aurora*), a federal species of concern, along the coast range. Red-legged frogs found in the intervening area (southern Del Norte County to northern Marin County) exhibit intergrade characteristics of both *R. a. aurora* and *R. a. draytonii* (USFWS 1996).

Declines in CRF populations throughout California have been attributed mainly to non-native fish such as largemouth bass (*Micropterus salmoides*), green sunfish, and bluegill (*Lepomis macrochirus*) and amphibians such as bullfrog (*Rana catesbeiana*) (Jennings 1988; Hayes and Jennings 1986; Lawler *et al.* 1999; Goodsell and Kats 1999; Moyle 1973). Non-native fish, of which 17 out of 50 species introduced have become naturalized, play a detrimental role in the ecology of CRF affecting ranid breeding success, distribution patterns and foraging abilities (Hayes and Jennings 1986). The preference for warmer waters is similar to those used by ranid tadpoles, and non-native fish are usually present in ponded areas year round. Co-evolution with native anadromous fish species, such as salmon and rainbow trout, resulted in resource partitioning, whereby frogs typically inhabit areas in intermittent streams or oxbow pools where anadromous fish are not present year round.

The ponds located on the site do not provide habitat for this species, due to the presence of predatory fish and bullfrogs.

**Northern spotted owl** (*Strix occidentalis caurina*), a federally Threatened species, is an uncommon permanent resident in heavily forested areas in the northwestern portion of California and in the Sierra Nevada, west of the Cascade Range. Typical habitats for this species include dense, old-growth, multi-layered mixed conifer, redwood, and Douglas-fir habitats. Summer roosts in California have been noted on northwest or northeast inclinations, on slopes over 35%, and in stands with tall (65 foot) conifer canopy (Laymon, *et al.* 1985). Prey species include flying squirrels, woodrats, mice and voles as well as small birds and bats. It is thought that the northern spotted owl relieves heat stress through bathing and therefore requires a permanent water source (Zeiner, *et al.* 1990). Spotted owls nest in platforms built by other animals, requiring a minimum area ranging from 81 to 121 hectares for a nest stand (Laymon, *et al.* 1985). An understory vegetation layer is important for young fledglings as they leave the nest before they can fly and perch on small trees and shrubs. The majority of foraging occurs within 3.2 km radius of the nest site.

No occurrences of this species have been reported in this region (CNDDB 2004). It is unlikely that the young age stand on the steep sided, east-facing canyons above the south fork of the Gualala River provides suitable habitat for this species.

#### ***Other Special-Status Wildlife Species:***

**Cooper's hawk** (*Accipiter cooperi*), a California Special Concern species, are small bird hunters, hunting on the edges of forests in broken forest and grassland habitats where passerines forage for seeds and insects. Nests occur in heavily forested areas near a water source. Research sites on nesting Cooper's hawks rarely show the nests more than a quarter of a mile away from water, whether it is a cattle tank, stream or seep (Snyder 1975). Trees typically used by Cooper's hawks include cottonwoods, coast live oaks and black oaks (Call 1978). This species also nests in second growth conifer stands or deciduous riparian areas. The breeding season occurs in late March-June, depending on the climate, with young fledging by mid-July. This species is a breeding resident throughout most of the state in wooded habitats along the coastal ranges and Cascade Mountains. Nesting sites are predominantly in riparian growths of deciduous trees, as in canyon bottoms and on river flood-plains, although live oaks are often used (Grinnell and Miller 1986).

This species may nest in the hardwood forest that surrounds the proposed project areas. No suitable nesting habitat occurs within the proposed project areas.

**Sharp-shinned hawks** (*Accipiter striatus*), a California Special Concern species, are small bird hunters, using forested areas and forest edges along grassland areas for hunting. In the higher elevations, this species prefers to nest in trees with a minimum diameter at breast height of 8-15 inches, usually in species such as Douglas fir, lodgepole pine, Jeffrey pine and ponderosa pine, as well as mixed conifer. If nesting in a canyon or valley a preference of nesting sites 50-100 yards upslope from the valley floor has been observed (Call 1978). North facing slopes, with plucking perches is another critical habitat requirement for sharp-shinned hawks (Polite 1982). Along the coastal ranges sharp-shins will nest in coastal scrub and riparian areas. The breeding season occurs in April-July with the young being fledged by mid-July.

This species may nest in the hardwood forest that surrounds the proposed project areas. No suitable nesting habitat occurs within the proposed project areas.

**Passerines** (perching birds) are protected under the MBTA and CDFG code 3503, which protects the nest and eggs of any passerine. In early February, passerines begin courtship and once paired, they begin nest building. Nest structures vary in shapes, sizes and composition and can include stick nests, mud nests, matted reeds and cavity nests. For example, black phoebes may build a stick nest under the eaves of a building. Depending on environmental conditions, young birds may fledge from the nest as early as April and, if the prey base is large, the adults may lay a second clutch of eggs.

The buildings on site may provide suitable nesting habitat for barn swallows or black phoebes. The areas around the ponds provide suitable nesting habitat for red-winged blackbirds and American coots. A third area of potential nesting is the trees surrounding areas B, C and D.

Protected under Fish and Game Code 4150, and 15382, many **bat species** such as big brown bat (*Eptesicus fuscus*), little brown bat (*Myotis lucifugus*), Yuma myotis, Brazilian free-tailed bat (*Tadarida brasiliensis*), and to some extent, pallid bat, evolved to roost in rock crevices and caves, but have adapted quite well to using man-made structures such as buildings and bridges.

The building on site west of Area A proposed for removal may provide suitable roosting habitat for the above-mentioned species.

## IMPACT AND MITIGATION MEASURES

No special status plants were found during the May 21, 2004 survey and none are expected to occur within the area proposed for development. The proposed project would not directly impact any potential wetlands or waters of the U.S. The property owners, or applicant, will avoid impacts to the ponds and drainages. However, it is recommended that silt fencing be installed around the ponds and at the edges of the drainages to ensure that construction activities do not occur in these areas and that no silts or sediments get deposited into these areas. A minimum of a 25-foot buffer zone should be kept around the ponds and edges of drainages to ensure that there will be no impacts to these sensitive areas.

It should be noted that any impacts to either ponds or the drainages would require permits from the Corps, Regional Water Quality Control Board, and potentially the California Department of Fish and Game (CDFG). A CDFG permit would be a Streambed Alteration Agreement under Section 1603 of the Fish and Game code.

*Potential Impact 1:* The proposed projects could result in the disturbance of nesting passerines and raptors protected under the MBTA and Fish and Game Code during the breeding season. Disturbance during the nesting season may result in the potential nest abandonment and mortality of young. Disturbance includes noise and vibrations near an occupied nest, and removal of potential passerine nesting sites in the non-native grasslands, although no focused surveys for nesting passerines have been conducted within the project area. Disturbance during the nesting season may result in the potential nest abandonment and mortality of young.

*Mitigation Measure 1:* To avoid "take" and/or further evaluate presence or absence of passerines, the following measures are recommended:

- Grading and removal of nesting trees should be conducted outside the nesting season, which occurs between approximately February 15 and August 15.
- If grading before February 15 is infeasible and groundbreaking must occur within the breeding season, a pre-construction nesting bird survey of the grasslands and adjacent trees shall be performed by a qualified biologist. If no nesting birds are observed no further action is required and grading shall occur within one week of the survey to prevent "take" of individual birds that could begin nesting after the survey.
- If birds are observed on site after February 15 it will be assumed that they are nesting on site or adjacent to the site and ground breaking should be delayed until after the young have fledged, as determined by bird surveys by a qualified biologist, or after the nesting season.

The CDFG Central Coast Regional office does not object to grading that occurs when nesting birds are observed on-site, providing that a 100-150 foot buffer zone is created around the observed passerine nest and 200-500 feet around an observed raptor nest. However, given the relatively small size of the site, this method may not be practical if active nests are found in the central portion of the site.

*Implementation of the above mitigation measures will reduce impacts to nesting passerines and raptors to less-than-significant levels.*

*Potential Impact 2:* There is a low potential that small numbers of special-status bats may be roosting in the building located to the west of Area A. Demolition of the structure may result in "take" of individuals. *This is a less-than-significant impact with the following mitigation measures incorporated.*

*Mitigation Measure 2:* To avoid “take” and/or further evaluate presence or absence of bats, the following measures are recommended:

- A bat habitat assessment should be conducted by a qualified bat biologist 45 days prior to demolition to determine presence or absence.
- If occupancy is observed, the qualified bat biologist shall provide direction on how to make the structures less suitable for roosting by bats, such as either by sealing all entry points, or by creating unfavorable roost conditions.

*Implementation of the above mitigation measures will reduce impacts to bats to less-than-significant levels.*

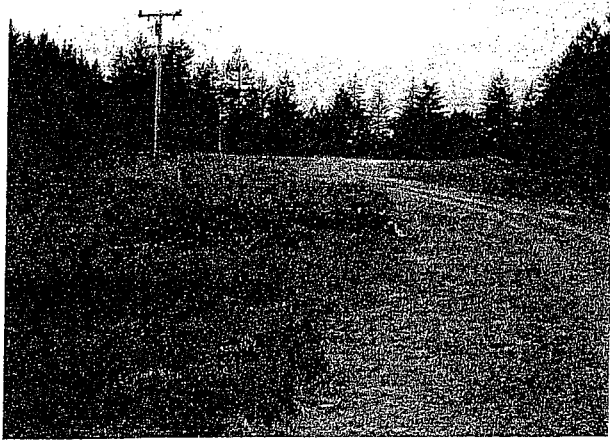


Fig. 2. Area A looking west



Fig. 3. Area A looking east



Fig. 4. Area B looking north

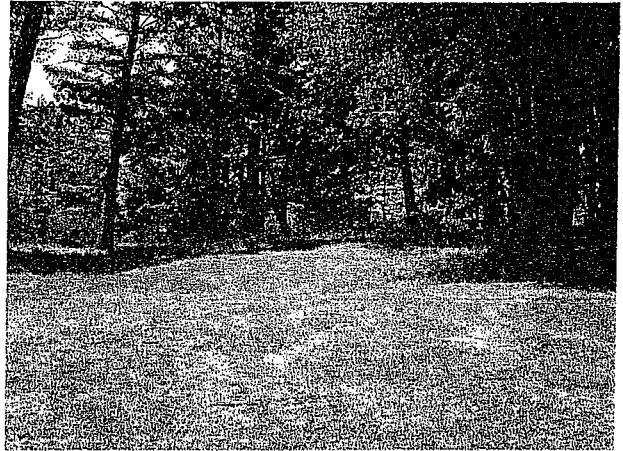


Fig. 5. Area B looking south



Fig. 6. Pond #1 looking south



Fig. 7. Pond #1 looking southwest

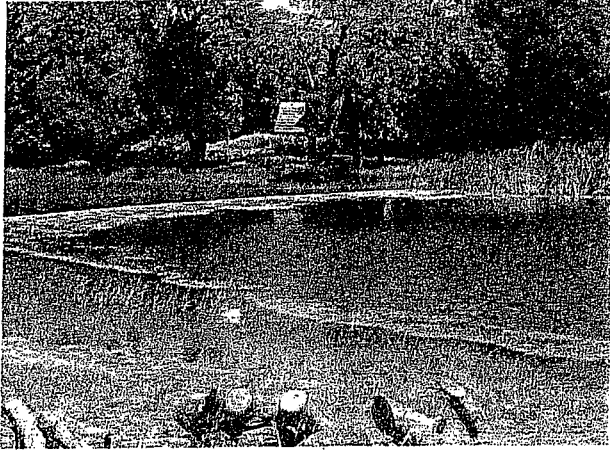


Fig. 8. Pond #2 looking north

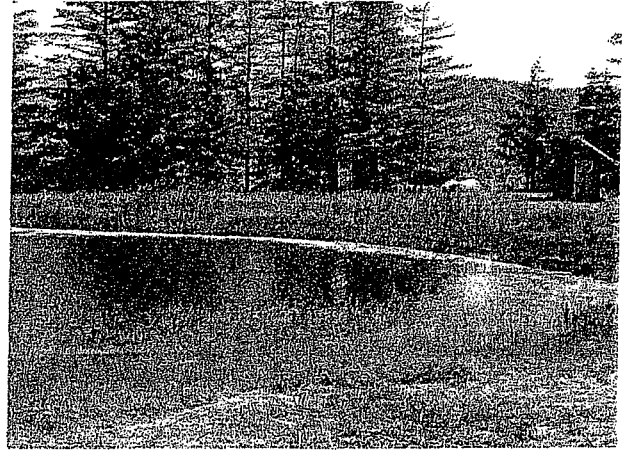


Fig. 9. Pond #2 looking east



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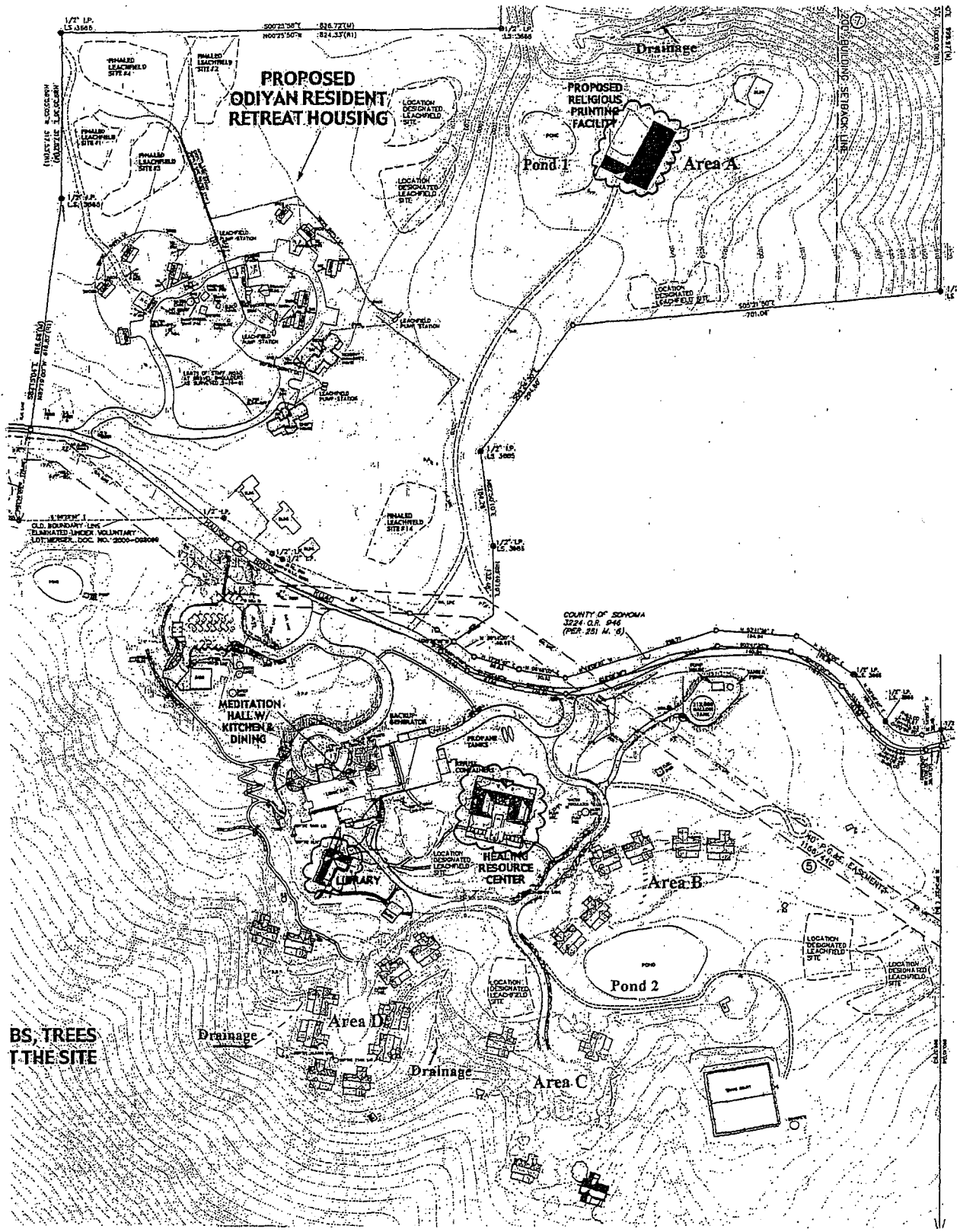


Figure 1: Ratna Ling Proposed Project Locations A-D

**ATTACHMENT A**

**SPECIAL STATUS PLANTS LIST**

**And**

**PLANT SPECIES OBSERVED ON THE SITE**

**ATTACHMENT A**  
**POTENTIALLY-OCCURRING SPECIAL-STATUS PLANT SPECIES**  
**IN THE RATNA LING PROJECT AREA.**

<i>Scientific Name</i> Common Name	Status: Federal/ State/CNPS	Flowering Period	Habitat and Notes
<i>Agrostis blasdalei</i> Blasdale's bent grass	-/-/L1B	May-July	Coastal scrub, coastal dunes, coastal prairie. Not seen during survey.
<i>Amorpha californica</i> var. <i>napensis</i> Napa false indigo	-/-/L1B	April-June	Broad-leaved upland forest, chaparral, cismontane woodland. Not seen during survey.
<i>Arctostaphylos bakeri</i> ssp. <i>sublaevis</i> Baker's manzanita	-/-/L1B	February-May	Closed cone coniferous forests, chaparral on serpentinite seeps. Not seen during survey. Habitat not present in project area.
<i>Calochortus raichei</i> The Cedars fairy-lantern	-/-/L1B	May-August	Closed cone coniferous forest, chaparral/serpentinite. Not seen during survey. Habitat not present in project area.
<i>Calystegia purpurata</i> ssp. <i>saxicola</i> Coastal bluff morning-glory	-/-/L1B	May-August	Coastal dunes, coastal scrub. Not seen during surveys. Habitat not present in project area.
<i>Campanula californica</i> Swamp harebell	-/-/L1B	June-October	Bogs and fens, closed cone coniferous forest, coastal prairie, meadows, freshwater marshes and swamps. Not seen during survey. Not likely to occur in impact area.
<i>Ceanothus purpureus</i> Holly-leaved ceanothus	-/-/L1B	February-June	Chaparral, rocky, volcanic soils. Not seen during survey. Habitat not present in project area.
<i>Chorizanthe valida</i> Sonoma spineflower	FE/CE/L1B	June-August	Coastal prairie (sandy). Not seen during survey. Habitat not present in project area.
<i>Cupressus goveniana</i> ssp. <i>pigmaea</i> Pigmy cypress	-/-/L1B	N/A	Closed cone coniferous forests with podzol like soil. Not seen during survey. Habitat not present in project area.
<i>Erigeron serpentinus</i> Serpentine daisy	-/-/L1B	May-August	Chaparral (serpentinite seeps). Not seen during survey. Habitat not present in project area.
<i>Erigeron supplex</i> Supple daisy	-/-/L1B	May-July	Coastal bluff scrub, coastal prairie. Not seen during survey.
<i>Eriogonum nervulosum</i> Snow Mountain buckwheat	-/-/L1B	June-September	Chaparral (serpentinite). Not seen during survey. Habitat not present in project area.
<i>Gilia capitata</i> ssp. <i>tomentosa</i> Woolly-headed gilia	-/-/L1B	May-July	Coastal bluff scrub (rocky, outcrops). Not seen during survey. Habitat not present in project area.

**ATTACHMENT A**  
**POTENTIALLY-OCCURRING SPECIAL-STATUS PLANT SPECIES**  
**IN THE RATNA LING PROJECT AREA.**

<i>Scientific Name</i> Common Name	Status: Federal/ State/CNPS	Flowering Period	Habitat and Notes
<i>Lasthenia macrantha</i> ssp. <i>bakeri</i> Baker's goldfields	-/-/L1B	April-October	Closed cone coniferous forest (openings), coastal scrub. Not seen during survey. Habitat not present in project area.
<i>Lilium maritimum</i> Coast lily	-/-/L1B	May-July	Broad-leaved upland forest, closed cone coniferous forest, coastal prairie, coastal scrub, freshwater marshes and swamps, north coast coniferous forest. Not seen during survey.
<i>Linanthus rosaceus</i> Rose linanthus	-/-/L1B	April-June	Coastal bluff scrub. Not seen during survey. Habitat not present in project area.
<i>Sidalcea malviflora</i> ssp. <i>purpurea</i> Purple-stemmed checkerbloom	-/-/L1B	May	Broad-leaved upland forest, coastal prairie. Not seen during survey.
<i>Streptanthus morrisonii</i> various ssp Morrison's jewelflower	-/-/L1B	April-September	Chaparral (serpentine). Not seen during survey. Habitat not present in project area.

Status: FE: Federally listed as endangered.

CE: State listed as endangered.

L1B: CNPS list of plants rare, threatened, or endangered in California and elsewhere.

## ATTACHMENT A

List of plant species noted during surveys conducted on May 21, 2004 at the Ratna  
Ling Project Area, Sonoma County, CA.

Scientific Name	Common Name
<i>Acer macrophyllum</i>	Big leaf maple
<i>Aesculus californica</i>	California buckeye
<i>Aira caryophyllea</i>	Silver European hairgrass
<i>Alisma plantago-aquatica</i>	Water plantain
<i>Anagallis arvensis</i>	Scarlet pimpernel
<i>Arbutus menziesii</i>	Madrone
<i>Avena barbata</i>	Slender wild oats
<i>Briza maxima</i>	Large quaking grass
<i>Briza minor</i>	Small quaking grass
<i>Brodiaea elegans</i>	Harvest brodiaea
<i>Bromus carinatus</i>	California brome
<i>Bromus diandrus</i>	Ripgut brome
<i>Bromus hordeaceus</i>	Soft chess
<i>Bromus laevipes</i>	Brome
<i>Carduus pycnocephalus</i>	Italian thistle
<i>Carex brevicaulis</i>	Upland sedge
<i>Carex densa</i>	Dense sedge
<i>Carex</i> sp.	Sedge
<i>Cerastium glomeratum</i>	Chickweed
<i>Chloragalum pomeridianum</i>	Soaproot
<i>Claytonia perfoliata</i>	Miner's lettuce
<i>Cynosurus echinatus</i>	Dogtail grass
<i>Cyperus eragrostis</i>	Umbrella sedge
<i>Dactylis glomerata</i>	Orchard grass
<i>Danthonia californica</i>	California oat grass
<i>Dichelostemma capitatum</i>	Blue dicks
<i>Eleocharis macrostachya</i>	Spike rush
<i>Elodea canadensis</i>	Common waterweed
<i>Elymus glaucus</i>	Blue wildrye
<i>Erigeron</i> sp.	Garden/non-native species
<i>Erodium botrys</i>	Long-beaked filaree
<i>Erodium cicutarium</i>	Red-stemmed filaree
<i>Eryngium</i> sp.	Coyote thistle
<i>Festuca arundinacea</i>	Tall fescue
<i>Festuca idahoensis</i>	Idaho fescue
<i>Filago gallica</i>	Filago
<i>Galium aparine</i>	Bedstraw
<i>Geranium dissectum</i>	Cut-leaf geranium
<i>Heteromeles arbutifolia</i>	Toyon
<i>Holcus lanatus</i>	Velvet grass

ATTACHMENT A

List of plant species noted during surveys conducted on May 21, 2004 at the Ratna  
Ling Project Area, Sonoma County, CA.

Scientific Name	Common Name
<i>Hordeum brachyantherum</i>	Meadow barley
<i>Hordeum marinum</i> ssp. <i>gussoneanum</i>	Mediterranean barley
<i>Hordeum murinum</i> ssp. <i>leporinum</i>	Hare barley
<i>Hypochaeris glabra</i>	Smooth cat's ear
<i>Hypochaeris radicata</i>	Hairy cat's ear
<i>Iris</i> sp.	Iris
<i>Juncus bufonius</i>	Toad rush
<i>Juncus capitatus</i>	Capitate rush
<i>Juncus occidentalis</i>	Western rush
<i>Juncus xiphioides</i>	Iris leaved rush
<i>Linum bienne</i>	Flax
<i>Lolium multiflorum</i>	Annual ryegrass
<i>Lotus corniculatus</i>	Bird's-foot trefoil
<i>Lotus humistratus</i>	Lotus
<i>Lotus</i> sp.	Lotus
<i>Madia</i> sp.	Madia
<i>Medicago polymorpha</i>	Bur clover
<i>Mentha pulegium</i>	Pennyroyal
<i>Nasella pulchra</i>	Purple needlegrass
<i>Navarretia squarrosa</i>	Skunkweed
<i>Phalaris aquatica</i>	Harding grass
<i>Plantago lanceolata</i>	English plantain
<i>Polygala californica</i>	California milkwort
<i>Polypogon monspeliensis</i>	Rabbits-foot grass
<i>Pseudotsuga menziesii</i>	Douglas fir
<i>Pteridium aquilinum</i>	Bracken fern
<i>Quercus agrifolia</i>	Coast live oak
<i>Ranunculus pusillus</i> .	Buttercup
<i>Rhamnus californica</i>	California coffeeberry
<i>Rosa gymnocarpa</i>	Wood rose
<i>Rubus discolor</i>	Himalayan blackberry
<i>Rumex acetosella</i>	Sheep sorrel
<i>Rumex crispus</i>	Curly dock
<i>Rumex pulcher</i>	Fiddle dock
<i>Sanicula crassicaulis</i>	Snakeroot
<i>Sequoia sempervirens</i>	Coast redwood
<i>Silybum marinum</i>	Milk thistle
<i>Sisyrinchium bellum</i>	Blue-eyed grass
<i>Sonchus asper</i>	Prickly sow thistle
<i>Stachys ajugoides</i>	Hedge nettle
<i>Symphoricarpos mollis</i>	Creeping snowberry

## ATTACHMENT A

List of plant species noted during surveys conducted on May 21, 2004 at the Ratna Ling Project Area, Sonoma County, CA.

Scientific Name	Common Name
<i>Thermopsis macrophylla</i>	False-lupine
<i>Torilis arvensis</i>	Hedge parsley
<i>Toxicodendron diversilobum</i>	Poison oak
<i>Trifolium dubium</i>	Clover
<i>Trifolium hirtum</i>	Rose clover
<i>Trifolium repens</i>	White clover
<i>Triteleia hyacinthina</i>	White brodiaea
<i>Triteleia laxa</i>	Ithuriels' spear
<i>Typha</i> spp.	Cattails
<i>Umbellularia californica</i>	California bay laurel
<i>Vicia disperma</i>	Small-flowered vetch
<i>Vicia sativa</i>	Spring vetch
<i>Vulpia myuros</i>	Rattail fescue



**ATTACHMENT B**

**SPECIAL STATUS ANIMALS LIST**

**APPENDIX B**

**POTENTIALLY-OCCURRING SPECIAL-STATUS WILDLIFE SPECIES  
IN THE RATNA LING PROJECT AREA**

<b>Common Name Scientific Name</b>	<b>Status USFWS/ CDFG</b>	<b>Habitat Affinities and Reported Localities in the Project Area</b>	<b>Occurrence Potential</b>
<b>Invertebrates</b>			
<b>monarch butterfly</b> <i>Danaus plexippus</i>	-/*	Roosts during winter migration in dense stands of large trees such as eucalyptus and Monterey pines that provide shelter from the wind. Roosts in groves close to nectar and water sources.	<b>None:</b> no suitable larval or nectar plants in project area
<b>Smith's blue butterfly</b> <i>Euphilotes enoptes smithi</i>	FE/-	Requires with two species of buckwheat plants, <i>Eriogonum parviflorum</i> for larval feeding, and <i>E. nudum</i> for the adult feeding	<b>None:</b> no suitable larval or nectar plants in project area
<b>Myrtles silverspot butterfly</b> <i>Speyeria zerene myrtilae</i>	FE	Restricted to the foggy, coastal dunes of the Point Reyes peninsula. Larval food plant is <i>Viola adunca</i> , with nectar sources of thistles and gum weed ( <i>Grindelia rubicaulis</i> ).	<b>None:</b> no suitable larval or nectar plants in project area
<b>Fish</b>			
<b>Coho salmon - Central California Coast ESU</b> <i>Onchorhynchus kisutch</i>	FT/SE	Occurs from Punta Gorda, in northern California, to the San Lorenzo River, in Santa Cruz County, and includes coho salmon populations from several tributaries of San Francisco Bay (e.g., Corte Madera and Mill Valley Creek).	<b>None:</b> No connectivity to Gualala River
<b>steelhead - Central California Coast ESU</b> <i>Onchorhynchus mykiss</i>	FT/-	Requires beds of loose, silt-free, coarse gravel for spawning. Also needs cover, cool water and sufficient dissolved oxygen. Occurs in 3 tributaries to Monterey Bay (Pajaro, Salinas and Carmel Rivers), in the small streams of the Big Sur Coast and small intermittent streams in San Luis Obispo County, south to Point Conception.	<b>None:</b> No connectivity to Gualala River
<b>Amphibians</b>			
<b>Northern red-legged frog</b> <i>Rana aurora aurora</i>		Range occurs from northern Sonoma County to British Columbia. Inhabit perennial and ephemeral streams with quiet waters and dense emergent vegetation.	<b>None:</b> Presence of predators in ponds
<b>California red-legged frog</b> <i>Rana aurora draytonii</i>	FT/CSC	Prefers semi-permanent and permanent stream pools, ponds and creeks with emergent and/or riparian vegetation. Occupies upland habitat especially during the wet winter months.	<b>None:</b> Presence of predators in ponds
<b>foothill yellow-legged frog</b> <i>Rana boylei</i>	SC/CSC	Inhabits permanent, flowing stream courses with a cobble substrate and a mixture of open canopy riparian vegetation.	<b>None:</b> No connectivity to Gualala River
<b>Reptiles</b>			
<b>western pond turtle</b> <i>Emys marmorata marmorata</i>	SC/CSC	Prefers permanent, slow-moving creeks, streams, ponds, rivers, marshes and irrigation ditches with basking sites and a vegetated shoreline. Requires upland sites for egg-laying.	<b>None:</b> none observed

**APPENDIX B**

**POTENTIALLY-OCCURRING SPECIAL-STATUS SPECIES IN THE RATNA LING PROJECT AREA**

<b>Birds</b>			
<b>Cooper's hawk</b> <i>Accipiter cooperi</i>	MB/CSC	Nests primarily in deciduous riparian forests. May also occupy dense canopied forests from gray pine-oak woodland to ponderosa pine. Forages in open woodlands.	<b>Moderate:</b> suitable nesting habitat
<b>sharp-shinned hawk</b> <i>Accipiter striatus</i>	MB/CSC	Dense canopy pine or mixed conifer forest and riparian habitats. Water within one mile required.	<b>Moderate:</b> suitable nesting habitat
<b>long-eared owl</b> <i>Asio otus</i>	MB/CSC	Breeds mainly in dense coniferous or mixed woodland, including riverine woodland belt. Nests in large previously used nest of another bird species or squirrel. Nests up to 10-29 ft in height, more rarely on ground or among shrubby growth.	<b>Low:</b> suitable nesting habitat outside 500 feet of project area
<b>marbled murrelet</b> <i>Brachyramphus marmoratus</i>	FT/SE	Nests in old growth forests and can migrate up to 20 miles inland. This species nests in mature conifer forests with open crown canopies or slopes to provide easy access, and large limbs in trees such as Douglas-fir, western hemlock, Sitka spruce, coastal redwood and mountain hemlock.	<b>None:</b> no suitable nesting habitat
<b>northern harrier</b> <i>Circus cyaneus</i>	MB/CSC	Nests and forages in grasslands and open marshland, both salt and fresh. Nests consist of a thin to thick layer of small sticks and reeds, lined with grasses.	<b>None:</b> no suitable nesting habitat
<b>olive-sided flycatcher</b> <i>Contopus borealis</i>	MB/CSC	Nests in open conifer or mixed oak woodland. Nests on horizontal branches, among a cluster of twigs and needles.	<b>Moderate:</b> suitable nesting habitat
<b>Pacific-slope flycatcher</b> <i>Empidonax difficilis</i>	SC, MB/CSC	Found in a variety of habitats including cliff, conifer, forest, hardwood, mixed, and woodland. Nests along streams, in tree cavities, in cliffs, crotch of branch, earth banks, or buildings.	<b>Moderate:</b> suitable nesting habitat
<b>barn swallows</b> <i>Hirundo rustica</i>	MB/-	Nests in anthropogenic structures stuck against a vertical surface. Nest made of mud pellets mixed with vegetable fibers and plant fibers.	<b>Moderate:</b> suitable nesting habitat
<b>black phoebe</b> <i>Sayornis nigricans</i>	MB/-	Nests in anthropogenic structures on ledges. Nest made of mud pellets, dry grasses, weed stems, plant fibers and hair.	<b>Moderate:</b> suitable nesting habitat
<b>rufous hummingbird</b> <i>Selasphorus rufus</i>	SC, MB/-	Nests in chaparral, coniferous forest, scrub habitats and riparian habitats. Nests are placed on a downward drooping structure.	<b>Moderate:</b> suitable nesting habitat
<b>red-breasted sapsucker</b> <i>Sphyrapicus ruber</i>	SC, MB/none	Nests in self-made cavities in aspen-pine, hardwood, mixed, suburban/orchard and coniferous forest, including humid coastal lowlands. Winters also in open woodland and parks.	<b>Moderate:</b> suitable nesting habitat
<b>northern spotted owl</b> <i>Strix occidentalis caurina</i>	FT, MB/-	Dense coniferous and hardwood forest, shaded, steep sided canyons.	<b>Low:</b> suitable nesting habitat in area
<b>Mammals</b>			
<b>red tree vole</b> <i>Arborimus pomo</i>	SC/CSC	Inhabits old growth, North Coast coniferous forests, redwood forests, and montane hardwood coniferous forests. Is found in the North Coast fog belt from Oregon to Sonoma County. Feeds almost exclusively on Douglas fir needles.	<b>Low:</b> suitable roosting habitat
<b>pallid bat</b> <i>Antrozous pallidus</i>	-/CSC	Day roosts include rock outcrops, mines, caves, hollow trees, buildings and bridges. Recent research suggests high reliance on tree roosts	<b>Moderate:</b> suitable roosting habitat

**APPENDIX B**

**POTENTIALLY-OCCURRING SPECIAL-STATUS SPECIES IN THE RATNA LING PROJECT AREA**

<b>ringtail</b> <i>Bassaricus astutus</i>	SC/CSC	Most commonly found in riparian habitats, but also in canyon and rocky slopes and chaparral. Nests in downed logs, hollow trees, snags, cavities and rocky areas. Usually not further than 0.5 miles from permanent water.	<b>Moderate:</b> suitable roosting habitat
<b>Townsend's big-eared bat</b> <i>Corynorhinus townsendii townsendii</i>	-/CSC	Roosting sites include caves, mine tunnels, abandoned buildings and other structures. Forages in a variety of plant communities including coastal conifer and broad-leaf forests, oak and conifer woodlands, arid grasslands and deserts. Most commonly associates with mesic sites. Highly sensitive to human disturbances; a single visit by humans can cause bats to abandon roosts.	<b>Moderate:</b> suitable roosting habitat
<b>small-footed myotis bat</b> <i>Myotis ciliolabrum</i>	SC/-	Roosts in caves, mine tunnels, crevices in rocks and buildings, generally near forested areas. Feeds low among trees or over shrubs.	<b>Moderate:</b> suitable roosting habitat
<b>long-eared bat</b> <i>Myotis evotis</i>	SC/-	Day roosts in hollow trees under exfoliating bark, and crevices in rock outcrops. Found roosting under bark of small black oaks in northern California. Found throughout California	<b>Moderate:</b> suitable roosting habitat
<b>fringed myotis bat</b> <i>Myotis thysanodes</i>	SC/-	Roosts in colonies in caves, cliffs and attics of old buildings. Will also use trees as day roosts.	<b>Moderate:</b> suitable roosting habitat
<b>long-legged myotis</b> <i>Myotis volans</i>	SC/-	Day roosts in hollow trees, particularly large diameter snags or live trees with lightning scars. Habitat usually defined by montane coniferous forests, pinyon-juniper, and Joshua tree woodland habitats.	<b>Moderate:</b> suitable roosting habitat
<b>Yuma myotis bat</b> <i>Myotis yumanensis</i>	SC/-	Roosts colonially in caves, tunnels and buildings. Inhabits arid regions.	<b>Moderate:</b> suitable roosting habitat

**U.S. FISH AND WILDLIFE SERVICE**

- FE = listed as Endangered by the Federal Government
- FT = listed as Threatened by the Federal Government
- FPE = proposed as Endangered by the Federal Government
- FPT = proposed as Threatened by the Federal Government
- FSS = federal sensitive species, as listed by BLM and USFS
- C<sup>1</sup> = Candidate; sufficient biological information to support a proposal to list as Endangered or Threatened.
- SC<sup>1</sup> = Species of Concern
- MB = migratory non-game birds protected under the Migratory Bird Treaty Act.

**CALIFORNIA DEPT. OF FISH AND GAME**

- CE = Listed as Endangered by the State of California
- CR = Listed as Rare by the State of California
- CT = Listed as Threatened by the State of California
- CPE = Proposed for listing as Endangered
- CSC = California Special Concern species
- CFP = Fully protected under the Cal. Fish and Game Code.
- CP = Protected Species under Cal. Code of Regulations.

**BOTANICAL AND WILDLIFE REVIEW  
OF THE RATNA LING PROPERTY  
35755 HAUSER BRIDGE ROAD, CAZADERO  
SONOMA COUNTY, CA  
JUNE 2007**

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**Botanical and Wildlife Review of the Ratna Ling Property  
35755 Hauser Bridge Road, Cazadero, Sonoma County, CA  
June 2007**

**TABLE OF CONTENTS**

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INTRODUCTION .....	2
2007 Survey Area .....	2
Reservoir Study Area .....	2
Southern Roadway and Cabins .....	3
METHODS .....	4
RESULTS AND DISCUSSION .....	5
Vegetation Communities and Wildlife Habitats .....	5
Grasslands .....	5
Mixed Evergreen forest.....	5
Ponds.....	6
Anthropogenic structures .....	7
Wildlife Movement Corridors.....	7
Special-Status Species Surveys.....	7
Special Status Plant Surveys for 2007 .....	7
Special Status Wildlife Surveys for 2007 .....	8
Nesting Birds .....	8
Reservoir Study Area.....	8
Southern Roadway and Cabins .....	8
Bat Roosting Trees.....	9
CONCLUSIONS AND RECOMMENDATIONS .....	10
Reservoir Study Area:.....	10
Southern Road and Cabins.....	10
LITERATURE CITED .....	11

**Tables:**

Table 1: Avian Species Observed at the Ratna Ling Development Areas – June 2007	9
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**Appendices**

Appendix A: List of Plant Species Observed

Appendix B: List of Special Status Plant Species

**Botanical and Wildlife Review of the Ratna Ling Property**  
**35755 Hauser Bridge Road, Cazadero, Sonoma County, CA**  
**June 2007**

**INTRODUCTION**

The Ratna Ling property, referred to in this report as the Ratna Ling Retreat Center, owned by the Head Lama of the Tibetan Nyingma Meditation Center, is located at 35755 Hauser Bridge Road, Cazadero, Sonoma County, California. It is situated approximately 4.1 miles north of Fort Ross School. This parcel was formerly known as the Timberhill Ranch. The Assessor Parcel Number (APN) is 109-230-024 and the property is approximately 108 acres in size.

This report focuses on the results of surveys conducted on June 18, 2007 for the two proposed areas of development in the northwestern and southeastern portion of the Ratna Ling property. These two areas are also referred to as the Reservoir Study Area and the Southern Roadway, respectively. Other areas within the Ratna Ling property were surveyed in 2004 to 2006. Exhibit A, attached at the back of this report, shows the areas that were surveyed from 2004-2007. There is some overlap in the survey areas within the survey years.

**2007 Survey Area**

Wildlife surveys conducted on June 18, 2007 focused on nesting birds and evaluating the survey area for the potential for roosting bats in trees adjacent to the Reservoir Study Area and the South Road. These surveys were conducted to fulfill requirements of the California Environmental Quality Act (CEQA). Migratory birds are protected under Fish and Game Codes 3503, and 3503.5 and include passerines (perching birds) and raptors (birds of prey). Roosting bats are protected under Fish and Game Code 4150. This survey evaluated the potential for occupancy by these species within the remaining trees and shrubs that are currently within 100 feet of the proposed development areas. This report provides measures that will prevent "take", which is described as "harm, harass, injure through nest/roost abandonment" of any individuals.

Plant surveys conducted in 2007 focused on presence of potential habitat as well as presence of any populations of special status plants within the survey area. Surveys were floristic with all plant species that were identifiable at the time survey being recorded and added to the previous plant species lists for the property (Appendix A). The June 18, 2007 survey was conducted within the flowering period for special status plants that could potentially occur on the property based on the presence of potential habitat.

**Reservoir Study Area**

The proposed reservoir is to be located east of the existing press building and south of Pond 1 (Exhibit A). The proposed reservoir will be excavated in an area that previously received fill from the creation of the press building. A foot path connects the existing cabins located to the south and east of the proposed reservoir development area to the press building. As part of the reservoir development, the existing paved access road, running west from Hauser Bridge Road to the press building, will be relocated approximately 20 feet north.

### **Southern Roadway and Cabins**

The southern roadway is proposed to be located on the east side of Hauser Bridge Road and south of the Main Hall and Lodge. The road was cleared and trees removed prior to a May 2007 site visit conducted by Greg and Trish Tatarian. The road winds through mixed evergreen forest and will provide access to four cabins. Grading of the road and removal of potential nesting trees was conducted by Ratna Ling contractors prior to the beginning of the nesting season, which in this portion of Sonoma County, begins after February 1 and may continue until August 31. These activities resulted in continuous daily disturbance (i.e., felling, wood chipping, and log moving) once work was started, and this disturbance continued until May.



## METHODS

A single survey was conducted of the Reservoir Study Area and the Southern Roadway on June 18, 2007 by Trish Tatarian and Jane Valerius. Surveys of the southern road were previously conducted by Greg and Trish Tatarian of Wildlife Research Associates (WRA) on May 1, 2007 after the roadway was cleared and trees were removed. During the May 1, 2007 site visit, transect surveys were conducted throughout the proposed access road and adjacent 100-foot area. WRA surveyed the trees and adjacent shrubs for existing stick and cavity nests. WRA also surveyed for signs of bird courtship, territorial displays, and food transfer. Passerine numbers were noted. In addition to surveys for bird nests and nesting activity, we surveyed trees for potential bat roosting habitat (bark crevices, cavities in limbs or trunks).

The nearby trees were assessed for their potential to support roosting individuals or colonies of bats using 8 x 42 and 10 x 24 roof-prism binoculars. Crevices, cavities, and holes were noted. No night emergence surveys were conducted.

Wildlife surveys conducted in 2004 to 2006 included a review of the CNDDDB for the Plantation, Annapolis, Tombs Creek and Fort Ross 7.5-minute topographic quadrangles, the CDFG's *Special Animals List, State and Federally Listed Endangered and Threatened Animals of California*, and the USFWS list of special-status animals (USFWS 2004). Trish Tatarian of WRA conducted one-day habitat assessment in 2004, 2005 and 2006 to survey for nesting birds and bats within the areas proposed for development. Areas of potentially suitable habitat for special-status species such as amphibians were noted at ponds 1 and 2. Pond 3 was surveyed in 2007.

Surveys for special status plants were conducted in accordance with California Department of Fish and Game guidelines that require that surveys be conducted when special status plant that could potentially occur on the project area plants are flowering. A review of the California Natural Diversity Data Base (CNDDDB 2007) for the Plantation, Annapolis, Tombs Creek and Fort Ross USGS 7.5-minute quadrangles was conducted. A list of potential special status plants that could occur within the area was developed prior to the site visit (Appendix B). Based on the list of potential special status plants within the area, it was determined that most of the potential special status plants that could occur in the area would be identifiable in May. Jane Valerius, botanist, conducted a surveys in May 2004, 2005 and 2006 and most recently on June 18, 2007. A list of plant species noted during the survey was also prepared and is included as Appendix A.

## RESULTS AND DISCUSSION

### Vegetation Communities and Wildlife Habitats

Several vegetation communities and wildlife habitats, which include anthropogenic structures, occur within the ±108-acre property. The descriptions below pertain to those habitats that are adjacent to the proposed project areas, including native and non-native grasslands, mixed hardwood forest, aquatic features (ponds) and anthropogenic (man-made) structures.

#### Grasslands

The grassland within the surveyed area is comprised of a mixture of native and non-native grasslands. These grasslands occur in the open areas of the proposed area of the printing facility and the proposed reservoir. Native grasses noted during the 2004 to 2007 plant surveys include purple needlegrass (*Nasella pulchra*), California oatgrass (*Danthonia californica*), blue wildrye (*Elymus glaucus*), Idaho fescue (*Festuca idahoensis*), and California brome (*Bromus carinatus*). The overall cover of the native grasses is not sufficient to call this type out as native perennial grassland. Mixed in with the natives are the non-native grasses such as annual wildrye (*Lolium multiflorum*), hare barley (*Hordeum murinum* ssp. *leporinum*), soft chess (*Bromus hordeaceus*), ripgut brome (*Bromus diandrus*), dogtail grass (*Cynosurus echinatus*), orchard grass (*Dactylis glomerata*), and Harding grass (*Phalaris aquatica*). A variety of native and non-native forb species also occur in the grasslands.

Grassland habitat, including native and non-native grasslands, attract reptiles and amphibians, such as western fence lizard (*Sceloporus occidentalis*), and Pacific slender salamander (*Batrachoseps attenuatus*), which feed on invertebrates found within and beneath fallen logs within the habitat. This habitat also attracts seed-eating and insect-eating species of birds and mammals. California quail (*Callipepla californica*), mourning dove (*Zenaidura macroura*), and meadowlark (*Sturnella neglecta*) are a few seed-eaters that nest and forage in grasslands. Insect-eaters such as scrub jay (*Aphelocoma coerulescens*) use the habitat for foraging only. Grasslands are important foraging grounds for many aerial and ground foraging insect-eating bat species, including myotis (*Myotis* spp.) and pallid bat (*Antrozous pallidus*), a California Special Concern species. A large number of other mammal species such as California vole (*Microtus californicus*), Botta's pocket gopher (*Thomomys bottae*), California ground squirrel (*Spermophilus beecheyi*) and brush rabbit (*Sylvilagus bachmani*) also forage and nest within grasslands. Small rodents attract raptors (birds of prey) such as owls that hunt at night, as well as diurnal raptors such as red-tailed hawk (*Buteo jamaicensis*) and red-shouldered hawk (*Buteo lineatus*), among others. Larger mammals, such as black-tailed deer (*Odocoileus hemionus californicus*) use grasslands for grazing, while coyotes (*Canis latrans*) will hunt small mammals in the grasslands.

#### Mixed Evergreen forest

The mixed evergreen forest community is the dominant vegetation within the entire ±108-acre Ratna Ling property. Within the survey area this community occurs at the edges of the grassland area and the edges of the area proposed for development. This community type is comprised of coast live oak (*Quercus agrifolia*), Douglas fir (*Pseudotsuga menziesii*), madrone (*Arbutus menziesii*), tan oak (*Lithocarpus densiflorus* var. *densiflorus*) and coast redwood (*Sequoia sempervirens*). Within the mixed evergreen forest are groves or clusters of redwood trees. Understory shrubs include poison oak (*Toxicodendron diversilobum*), coffeeberry (*Rhamnus californica*), snowberry (*Symphoricarpos mollis*), toyon (*Heteromeles arbutifolia*), California huckleberry (*Vaccinium ovatum*) and rose (*Rosa gymnocarpa*).

Mixed evergreen forests contain food for species such as black-capped chickadee (*Poecile atricapilla*), Stellar's jay (*Cyanocitta stelleri*), and pygmy nuthatch (*Sitta carolinensis*). These species are bark gleaners, eating insects that are in the bark of trees, as well as catching insects in flight. The spotted towhee (*Pipilo maculatus*), and California towhee (*Pipilo crissalis*) glean insects from the ground and on foliage, such as under leaf litter and plants. California quail (*Callipepla californica*), mourning dove (*Zenaidura macroura*) and band-tailed pigeon (*Patagioenas fasciata*) forage on seeds within this habitat. Rufous hummingbirds (*Selasphorus rufus*) use vines growing around trees for nectar and for insects that are attracted to the nectar. Other species, such as the great horned owl (*Bubo virginianus*) and Cooper's hawk (*Accipiter cooperi*), use the tall trees for nesting and perches when hunting small mammals, such as Botta's pocket gophers (*Thomomys bottae*), California vole (*Microtus californicus*) and deer mice (*Peromyscus maniculatus*). Along the coast of California and Oregon, the red tree vole (*Phenacomys longicaudus*) can be seen in the canopy of Douglas fir where it builds its nests and stores its food. Often this species has been seen nesting in old squirrel, woodrat or birds nests. The western gray squirrel (*Sciurus griseus*) and gray fox (*Urocyon cinereoargenteus*) both feed on truffles, mushrooms, fruits, and nuts within the forest. Dusky-footed woodrat (*Neotoma fuscipes*) nests, often large conical shaped structures of twigs, branches and leaves, can be seen throughout the forest. Mature oaks and snags are important features within this habitat as they provide nesting and roosting areas for a variety of special-status species of bats that occur in this region, including pallid bat, long-legged myotis (*Myotis volans*), Yuma myotis (*Myotis yumanensis*) and long-eared myotis (*Myotis evotis*), both Federal Species of Concern (Whittaker 1997). Bobcat (*Lynx rufus*) can be seen hunting small birds and mammals along the forest edge.

### **Ponds**

Three permanent ponds occur within the areas surveyed from 2004 to 2007 (Exhibit A). Pond 1 is located on the western portion of the property (west of Hauser Bridge Road) near the existing press building. Pond 2 is located on the east side of Hauser Bridge Road, north of the lodge and west of the existing tennis courts. Pond 3 is located at the end of the southern roadway (Exhibit A) and was surveyed in 2007. These ponds appear to be man-made ponds and have some emergent vegetation around the edges of the ponds with open water in the middle of the pond. Emergent vegetation includes cattails (*Typha* spp.), rushes (*Juncus* spp.) and sedges (*Carex* spp.). Pond 1 also had broad-leaved pondweed (*Potamogeton natans*) and Pond 2 had common waterweed (*Elodea canadensis*), which are floating aquatic plants.

The ponds on site provide important water and foraging habitat for a variety of wildlife species. Wildlife species typically found in this habitat include amphibians and reptiles, such as California tree frog (*Hyla regilla*), aquatic garter snake (*Thamnophis couchii*) and western pond turtle (*Emys marmorata*), among others. The high diversity of invertebrate species provides foraging opportunities for a variety of avian species, including snowy egret (*Leucophaea thula*), black crowned night heron (*Nycticorax nycticorax*), and red-winged blackbird (*Agelaius phoeniceus*). Mallard (*Anas platyrhynchos*) may also forage and nest in this habitat. Small mammals, such as meadow vole (*Microtus californicus*) and Botta's pocket gopher, occupy the upland edges of the pond area. Raccoon (*Procyon lotor*) forage on amphibians and fish within the pond, and striped skunk (*Mephitis mephitis*) and gray fox (*Urocyon cinereoargenteus*) may forage on eggs, invertebrates and small mammals along the edges of the pond. This habitat provides important foraging and drinking areas for many species of bats.

During the surveys bullfrogs (*Rana catesbeiana*) of all life stages were observed, as well as fish, including mosquitofish (*Gambusia affinis*) and green sunfish (*Lepomis cyanellus*) at Ponds 1 and 2. These species reduce the likelihood of special-status amphibian species occurring on site.

### **Anthropogenic structures**

Anthropogenic structures such as the buildings located in the survey study areas provide potential roosting habitat for various wildlife species, including birds and bats. Bird species that use anthropogenic structures include passerines, such as barn swallows (*Hirundo rustica*) and black phoebe (*Sayornis nigricans*), and raptors, such as barn owls (*Tyto alba*). These species have adapted to the disturbances associated with human settlements and will nest and forage in close proximity to humans. In general, the nesting season for both passerines and raptors typically begins at the end of February and may last to mid-August. The conclusion of the nesting season is variable, as female barn swallows and black phoebe, for example, may produce 2-3 broods each year (Alsop 2001).

Statewide, buildings provide significant bat roosting habitat, and it appears that large bat populations are supported by the availability of buildings. Because bats show high roost fidelity, older structures may have provided roost habitat for generations. However, not all buildings available to bats provide the temperature, humidity and other requirements for bats; such factors vary by building design, materials, location, human activity patterns, and by bat species. As a result, not all buildings provide suitable roost habitat.

### **Wildlife Movement Corridors**

Wildlife movement includes migration (*i.e.*, usually one way per season), inter-population movement (*i.e.*, long-term genetic flow) and small travel pathways (*i.e.*, daily movement corridors within an animal's territory). While small travel pathways usually facilitate movement for daily home range activities such as foraging or escape from predators, they also provide connection between outlying populations and the main corridor, permitting an increase in gene flow between populations.

These linkages between habitat types can extend for miles between primary habitat areas and occur on a large scale throughout California. Habitat linkages facilitate movement between populations located in discrete areas and populations located within larger habitat areas. The mosaic of habitats found within a large-scale landscape results in wildlife populations that consist of discrete sub-populations comprising a large single population, often referred to as a meta-population. Even where patches of pristine habitat are fragmented, such as occurs with coastal scrub, the movement between wildlife populations is facilitated through habitat linkages, migration corridors and movement corridors. Depending on the condition of the corridor, genetic flow between populations may be high in frequency, thus allowing high genetic diversity within the population, or may be low in frequency. Potentially low frequency genetic flow may lead to complete isolation and, if pressures are strong, potential extinction (McCullough 1996; Whittaker 1998).

Movement corridors within the study area include the open grassland areas that provide corridors for deer and coyote. The more densely canopied woodland provides movement corridors for small species such as bobcat, skunks, and raccoon. Movement between the various creeks and drainages in the area more than likely occurs over this ridge top.

### **Special-Status Species Surveys**

#### **Special Status Plant Surveys for 2007**

Appendix B provides a list of potential special status plants that could potentially occur in the area based on known records for the Plantation, Annapolis, Fort Ross and Tombs Creek U.S. 7.5-minute quadrangles using the CNDDDB. No special status plants were found within the 2004 to 2007 survey areas for the Ratna Ling property. Many native plants were found, but none were special status. In general the areas to be developed are already disturbed and include many non-native species. Based on the 2004 to 2007 site reviews it is unlikely that any special status plants occur within the area proposed for development.

### **Special Status Wildlife Surveys for 2007**

The vegetation community within the areas located east and south of the existing Reservoir Study Area and Pond 1 is non-native grassland. Areas surrounding the Reservoir Study Area and the Southern Roadway support mixed evergreen forest. Trees species typically found in mixed evergreen forest include coast live oak (*Quercus agrifolia*), tanbark oak (*Lithocarpus densiflorus*), Douglas fir (*Pseudotsuga menziesii*), madrone (*Arbutus menziesii*), California bay laurel (*Umbellularia californica*) and coast redwood (*Sequoia sempervirens*).

### **Nesting Birds**

#### **Reservoir Study Area**

No ground-nesting birds were observed in the proposed press building reservoir area. A foot path connects the existing cabins to the press building and appears to be actively used by people, thus reducing the suitability of the grasslands for nesting birds. The mixed evergreen forest located southwest of the proposed reservoir did not support nesting raptors and on-going disturbance that may preclude nesting raptors was observed under the trees; a new cabin was being built at the time of the June survey. Many of the trees in this area are located outside the 100 foot buffer zone of the reservoir for passerines. However, two pairs of birds, spotted towhee (*Pipilo maculatus*) and white-breasted nuthatch (*Sitta carolinensis*), were observed displaying territorial behavior in the area, showing that they were either protecting a nest with eggs or with chicks that have not fledged.

The mixed evergreen forest located north of the proposed reservoir supported several trees that contained cavities that were suitable for nesting birds and/or roosting bats. These trees are located within 20 feet of the existing paved road. Although large trucks use the road to the press building, this disturbance is sporadic and would not hinder passerines nesting or bats roosting in the trees adjacent to the roadway. Although the trees are within 100 feet from the edge of the proposed berm area of the reservoir, construction of the reservoir would not disturb nesting birds based on the sporadic disturbance and the distance of the excavation.

Relocation of the roadway 20 feet north would impact nesting birds and roosting bats if construction occurred during the nesting season (February 1 through August 31).

#### **Southern Roadway and Cabins**

Several stick nests were observed in California bay laurel trees and madrone trees located adjacent to the proposed access road. Although these nests were unoccupied in May (based on a lack of fresh white-wash on the nest, lower branches and ground beneath, and no fresh vegetation or feathers were integrated into the nests) and appeared to be unoccupied in June, they may be occupied within 3 days of the June survey due to the construction inactivity in the area.

Grey squirrel (*Sciurus griseus*) nests were observed in several trees. Squirrel stick nests differ from bird nests in that they often have constituents on the outside of their nests, such as leaves, surveyors tape, plastic, that are not part of the structure of the nest. In addition, the nest is located on a limb closer to the branches of a tree rather than at the trunk, and are often less tightly constructed than are raptor nests.

A total of 9 bird species were observed during this survey. Table 1 presents the species and the type of nesting habitat required.

## Bat Roosting Trees

No suitable cavities or crevices were observed in trees located within 100 feet of the Reservoir Study Area or the southern roadway and cabin construction area.

**Table 1: Avian Species Observed at the Ratna Ling Development Areas – June 2007**

Species	Nesting Habitat
Western scrub jay ( <i>Aphelocoma californica</i> )	Stick nest
California quail ( <i>Callipepla californica</i> )	Ground
Steller's jay ( <i>Cyanocitta stelleri</i> )	Stick nest in conifer cavity or hollow
Common raven ( <i>Corvus corax</i> )	Large stick nest
Spotted towhee ( <i>Pipilo maculatus</i> )	Stick nest
California towhee ( <i>Pipilo crissalis</i> )	Stick nest
Chestnut-backed chickadee ( <i>Poecile rufescens</i> )	Cavity in trees or nest box
Wild turkey ( <i>Meleagris gallopavo</i> )	ground
White-breasted nuthatch ( <i>Sitta carolinensis</i> )	Cavity in trees

## CONCLUSIONS AND RECOMMENDATIONS

### Reservoir Study Area:

Several snags and trees with cavities are located north of the paved access road to the press building. Based on the high suitability of this habitat we recommend that relocation of the access road be delayed until after August 31. Trees containing suitable cavities for roosting bats located along the access road to the press building should not be removed. If that is not possible, removal must occur under consultation and supervision of a qualified bat biologist, only during seasonal periods of bat activity (about Feb. 15 – April 15, and Aug. 31 – about Oct. 15).

### Southern Road and Cabins

Although no active nests were observed in the May survey, a period of inactivity occurred between our May survey and our June survey. As a result, birds may have moved into the area during this inactivity and birds observed elsewhere on the property are showing signs of nesting. The prior removal of the trees along the proposed roadway has reduced the habitat suitability along the roadway. For example, trees that were once buffered from the edge of a clearing by other trees have become those edge trees. Trees along the edges of openings are typically avoided by nesting birds due to easy accessibility by predators and the increased weather conditions. However, the period of inactivity has allowed the birds to become used to the new habitat and they may have begun nesting within 100 feet of the roadway under these new conditions.

The southern area where three cabins are proposed to be built has been stripped of trees and does not provide suitable nesting habitat. As a result, construction of the cabins may begin during the nesting season. Access to the southern area of cabins will be from the existing graveled logging road that connects to the lodge area.

The lack of continuous noise and disturbance along the roadway provides suitable nesting habitat that birds may use. As a result, we do not recommend construction of the road until after the nesting season.

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**APPENDIX A**

**LIST OF PLANT SPECIES OBSERVED ON THE  
RATNA LING SURVEY AREAS 2004-2007**

**Appendix A**  
**List of plant species observed on the Ratna Ling survey areas 2004 to 2007.**

<i>Scientific Name</i>	<b>Common Name</b>
<i>Acer macrophyllum</i>	Big leaf maple
<i>Achillea millefolium</i>	Yarrow
<i>Aesculus californica</i>	California buckeye
<i>Aira caryophylla</i> *	Silver European hairgrass
<i>Alisma plantago-aquatica</i>	Water plantain
<i>Anagallis arvensis</i> *	Scarlet pimpernel
<i>Arbutus menziesii</i>	Madrone
<i>Artemisia douglasiana</i>	Mugwort
<i>Avena barbata</i> *	Slender wild oats
<i>Briza maxima</i> *	Large quaking grass
<i>Briza minor</i> *	Small quaking grass
<i>Brodiaea elegans</i>	Harvest brodiaea
<i>Bromus carinatus</i>	California brome
<i>Bromus diandrus</i> *	Rippgut brome
<i>Bromus hordeaceus</i> *	Soft chess
<i>Bromus laevipes</i>	Brome
<i>Carduus pycnocephalus</i> *	Italian thistle
<i>Carex brevicaulis</i>	Upland sedge
<i>Carex densa</i>	Dense sedge
<i>Carex</i> sp.	Sedge
<i>Cerastium glomeratum</i> *	Chickweed
<i>Chloragalum pomeridianum</i>	Soaproot
<i>Cirsium vulgare</i> *	Bull thistle
<i>Claytonia perfoliata</i>	Miner's lettuce
<i>Convolvulus arvensis</i> *	Bindweed
<i>Cynosurus echinatus</i> *	Dogtail grass
<i>Cyperus eragrostis</i>	Umbrella sedge
<i>Dactylis glomerata</i> *	Orchard grass
<i>Danthonia californica</i>	California oat grass
<i>Dichelostemma capitatum</i>	Blue dicks
<i>Eleocharis macrostachya</i>	Spike rush
<i>Elodea Canadensis</i> *	Common waterweed
<i>Elymus glaucus</i>	Blue wildrye
<i>Erigeron</i> sp.*	Garden/non-native species
<i>Erodium botrys</i> *	Long-beaked filaree
<i>Erodium cicutarium</i> *	Red-stemmed filaree
<i>Eryngium</i> sp.	Coyote thistle
<i>Festuca arundinacea</i>	Tall fescue
<i>Festuca idahoensis</i>	Idaho fescue
<i>Filago gallica</i> *	Filago
<i>Galium aparine</i> *	Bedstraw
<i>Geranium dissectum</i> *	Cut-leaf geranium
<i>Heteromeles arbutifolia</i>	Toyon
<i>Holcus lanatus</i> *	Velvet grass
<i>Hordeum brachyantherum</i>	Meadow barley
<i>Hordeum marinum</i> ssp. <i>gussoneanum</i> *	Mediterranean barley

**Appendix A**  
**List of plant species observed on the Ratna Ling survey areas 2004 to 2007.**

<i>Scientific Name</i>	<i>Common Name</i>
<i>Hordeum murinum</i> ssp. <i>leporinum</i> *	Hare barley
<i>Hypochaeris glabra</i> *	Smooth cat's ear
<i>Hypochaeris radicata</i> *	Hairy cat's ear
<i>Iris</i> sp.	Iris
<i>Juncus bufonius</i>	Toad rush
<i>Juncus capitatus</i>	Capitate rush
<i>Juncus occidentalis</i>	Western rush
<i>Juncus xiphioides</i>	Iris leaved rush
<i>Lathyrus vestitus</i> ssp. <i>bolanderi</i>	Hillside pea
<i>Layia platyglossa</i> ssp. <i>campestris</i>	Layia
<i>Linum bienne</i> *	Flax
<i>Lithocarpus densiflorus</i> var. <i>densiflorus</i>	Tan oak
<i>Lolium multiflorum</i> *	Annual ryegrass
<i>Lotus corniculatus</i> *	Bird's-foot trefoil
<i>Lotus humistratus</i> *	Hill lotus
<i>Lotus oblongifolius</i> (?)	Narrow-leaved lotus
<i>Lythrum hyssopifolium</i> *	Hyssop loosestrife
<i>Madia exigua</i>	Little tarweed
<i>Madia madioides</i>	Tarweed
<i>Medicago polymorpha</i> *	Bur clover
<i>Mentha pulegium</i> *	Pennyroyal
<i>Nasella pulchra</i>	Purple needlegrass
<i>Navarretia squarrosa</i>	Skunkweed
<i>Oxalis oregana</i>	Redwood sorrel
<i>Phalaris aquatica</i> *	Harding grass
<i>Plantago lanceolata</i> *	English plantain
<i>Polygala californica</i>	California milkwort
<i>Polygona monspeliensis</i> *	Rabbits-foot grass
<i>Potamogeton natans</i>	Broad-leaved pondweed
<i>Prunus</i> sp.*	Fruit tree
<i>Pseudotsuga menziesii</i>	Douglas fir
<i>Pteridium aquilinum</i>	Bracken fern
<i>Quercus agrifolia</i>	Coast live oak
<i>Ranunculus pusillus</i>	Buttercup
<i>Rhamnus californica</i>	California coffeeberry
<i>Rosa gymnocarpa</i>	Wood rose
<i>Rubus discolor</i> *	Himalayan blackberry
<i>Rubus spectabilis</i> var. <i>franciscanus</i>	Salmonberry
<i>Rumex acetosella</i>	Sheep sorrel
<i>Rumex crispus</i> *	Curly dock
<i>Rumex pulcher</i> *	Fiddle dock
<i>Sanicula crassicaulis</i>	Snakeroot
<i>Satureja douglasii</i>	Yerba Buena
<i>Sequoia sempervirens</i>	Coast redwood
<i>Silybum maritimum</i> *	Milk thistle
<i>Sisyrinchium bellum</i>	Blue-eyed grass
<i>Smilacina stellata</i>	Solomon's seal

**Appendix A**  
**List of plant species observed on the Ratna Ling survey areas 2004 to 2007.**

<i>Scientific Name</i>	<i>Common Name</i>
<i>Sonchus asper</i> *	Prickly sow thistle
<i>Spergula arvensis</i> *	Corn spurrey
<i>Stachys ajugoides</i>	Hedge nettle
<i>Symphoricarpos mollis</i>	Creeping snowberry
<i>Thermopsis macrophylla</i>	False-lupine
<i>Torilis arvensis</i> *	Hedge parsley
<i>Toxicodendron diversilobum</i>	Poison oak
<i>Trifolium dubium</i> *	Clover
<i>Trifolium hirtum</i> *	Rose clover
<i>Trifolium incarnatum</i> *	Scarlet clover
<i>Trifolium subterraneum</i>	Subterranean clover
<i>Triteleia hyacinthina</i>	White brodiaea
<i>Triteleia laxa</i>	Ithuriel's spear
<i>Typha angustifolia</i>	Narrow-leaved cattail
<i>Typha latifolia</i>	Broad-leaved cattail
<i>Umbellularia californica</i>	California bay laurel
<i>Vaccinium ovatum</i>	California huckleberry
<i>Vicia disperma</i>	Small-flowered vetch
<i>Vicia sativa</i> *	Spring vetch
<i>Vulpia myuros</i> *	Rattail fescue

- = Non-native species

## APPENDIX B

### List of Special Status Plant Species that could potentially occur in the Ratna Ling Project Area

**Appendix B**  
**List of Special Status Plant Species that could potentially**  
**occur in the Ratna Ling Project Area**

Scientific Name Common Name	Status: Federal/ State/CNPS	Flowering Period	Habitat and Notes
<i>Agrostis blasdalei</i> Blasdale's bent grass	-/-/L1B	May-July	Coastal scrub, coastal dunes, coastal prairie. Not seen during surveys.
<i>Amorpha californica</i> var. <i>napensis</i> Napa false indigo	-/-/L1B	April-June	Broad-leaved upland forest, chaparral, cismontane woodland. Habitat not present on site. Not seen during surveys.
<i>Arctostaphylos bakeri</i> ssp. <i>sublaevis</i> Baker's manzanita	-/-/L1B	February-May	Closed cone coniferous forests, chaparral on serpentinite seeps. Not seen during survey. Habitat not present in project area.
<i>Calochortus raichei</i> The Cedars fairy-lantern	-/-/L1B	May-August	Closed cone coniferous forest, chaparral/serpentinite. Not seen during survey. Habitat not present in project area.
<i>Calystegia purpurata</i> ssp. <i>saxicola</i> Coastal bluff morning-glory	-/-/L1B	May-August	Coastal dunes, coastal scrub. Not seen during surveys. Habitat not present in project area.
<i>Campanula californica</i> Swamp harebell	-/-/L1B	June-October	Bogs and fens, closed cone coniferous forest, coastal prairie, meadows, freshwater marshes and swamps. Not seen during surveys. Not likely to occur.
<i>Ceanothus purpureus</i> Holly-leaved ceanothus	-/-/L1B	February-June	Chaparral, rocky, volcanic soils. Not seen during survey. Habitat not present in project area.
<i>Chorizanthe valida</i> Sonoma spineflower	FE/CE/L1B	June-August	Coastal prairie (sandy). Not seen during survey. Habitat not present in project area.
<i>Cupressus goveniana</i> ssp. <i>pigmaea</i> Pigmy cypress	-/-/L1B	N/A	Closed cone coniferous forests with podzol like soil. Not seen during survey. Habitat not present in project area.
<i>Erigeron serpentinus</i> Serpentine daisy	-/-/L1B	May-August	Chaparral (serpentinite seeps). Not seen during survey. Habitat not present in project area.
<i>Erigeron supplex</i> Supple daisy	-/-/L1B	May-July	Coastal bluff scrub, coastal prairie. Not seen during surveys.
<i>Eriogonum nervulosum</i> Snow Mountain buckwheat	-/-/L1B	June-September	Chaparral (serpentinite). Not seen during survey. Habitat not present in project area.
<i>Gilia capitata</i> ssp. <i>tomentosa</i> Woolly-headed gilia	-/-/L1B	May-July	Coastal bluff scrub (rocky, outcrops). Not seen during survey. Habitat not present in project area.

**Appendix B**  
**List of Special Status Plant Species that could potentially**  
**occur in the Ratna Ling Project Area**

Scientific Name Common Name	Status: Federal/ State/CNPS	Flowering Period	Habitat and Notes
<i>Lasthenia macrantha</i> ssp. <i>bakeri</i> Baker's goldfields	-/-/L1B	April-October	Closed cone coniferous forest (openings), coastal scrub. Not seen during survey.
<i>Lilium maritimum</i> Coast lily	-/-/L1B	May-July	Broad-leaved upland forest, closed cone coniferous forest, coastal prairie, coastal scrub, freshwater marshes and swamps, north coast coniferous forest. Not seen during surveys.
<i>Linanthus rosaceus</i> Rose linanthus	-/-/L1B	April-June	Coastal bluff scrub. Not seen during survey. Habitat not present in project area.
<i>Sidalcea malviflora</i> ssp. <i>purpurea</i> Purple-stemmed checkerbloom	-/-/L1B	May	Broad-leaved upland forest, coastal prairie. Not seen during surveys. Typical habitat not present on site.
<i>Streptanthus morrisonii</i> various ssp Morrison's jewelflower	-/-/L1B	April- September	Chaparral (serpentinite). Not seen during survey. Habitat not present in project area.

Status: FE: Federally listed as endangered.

CE: State listed as endangered.

L1B: CNPS list of plants rare, threatened, or endangered in California and elsewhere.

**BOTANICAL AND WILDLIFE REVIEW OF THE  
RATNA LING RETREAT CENTER  
WESTERN AND EASTERN CAVES AND  
FILL DISPOSAL SITES  
JUNE 2008**

**Prepared for:**

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**June 2008**



**Botanical and Wildlife Review of the Ratna Ling Property  
35755 Hauser Bridge Road, Cazadero, Sonoma County, CA  
Western and Eastern Caves and Fill Disposal Sites  
June 2008**

**TABLE OF CONTENTS**

---

EXECUTIVE SUMMARY .....	2
INTRODUCTION .....	3
METHODS .....	6
RESULTS .....	7
Vegetation Communities and Wildlife Habitats .....	7
Grasslands and Meadows.....	7
Mixed Evergreen Forest.....	8
Ponds.....	8
Anthropogenic Structures .....	9
Wildlife Movement Corridors.....	10
Vegetation Communities Per Area .....	10
SPECIAL-STATUS SPECIES BIOLOGICAL RESOURCES.....	13
Special Status Plants .....	13
Sensitive Plant Communities .....	13
Wetlands and Waters of the U.S. ....	14
Special Status Wildlife Surveys for 2008 .....	15
IMPACT ASSESSMENT AND MITIGATION RECOMMENDATIONS.....	16
LITERATURE CITED .....	20

**Tables**

Table 1: Surface Acreage of Cave Areas and Fill Site Locations

Table 2: Communities and Habitat Areas of Cave Areas and Fill Site Locations

**Figures**

Exhibit A: Biological Survey Areas

Exhibit B: Preliminary Spoils Disposal Plan for the Exhibition Hall, Eastern Cave and Western Cave

**Appendices**

Appendix A: Special Status Plant Species List

Appendix B: Special Status Animal Species List

Appendix C: Plant Species Observed

## EXECUTIVE SUMMARY

An initial one-day habitat assessment was conducted by Jane Valerius, botanist, and Trish Tatarian, wildlife biologist, on March 13, 2008 for the proposed western and eastern cave sites, exhibition hall and fill disposal sites. The former Dixie property located north of the Rátna Ling property on the west side of Hauser Bridge Road was added to the survey area in April. Consequently, a second wildlife survey was conducted on May 1, 2008 by Trish Tatarian and a second botanical survey was conducted on May 22, 2008 by Jane Valerius to cover the newly added former Dixie property.

The purpose of the site visits was to evaluate the proposed western and eastern caves sites, exhibition hall and the associated fill disposal sites based on information provided by Sherwood Design Engineers. Areas surveyed for 2008 were the western and eastern cave sites, access roads and fill sites 1, 2 and 3. Some of these areas overlapped with areas that had been surveyed in previous years. The survey areas were walked and plant and animal species observed on the site were recorded. The sites were evaluated to determine whether any special status plants or animals or their habitats were present on the site or had the potential to be adversely impacted by the proposed project, as depicted in the June 23, 2008 *Preliminary Spoils Disposal Plan for the Exhibition Hall, Eastern Cave and Western Cave (Exhibit B)*.

The summaries of findings of this report are:

- Habitats at the western and eastern cave sites and the fill disposal sites are similar to those surveyed in previous years. No special status plant species were found during appropriately timed surveys. Most of the areas surveyed have either been previously disturbed and the forested areas generally lack understory, herbaceous plants because of shading by the trees.
- A total of 9.0 acres of mostly Douglas-fir forest will be impacted by the construction of the cave sites, access roads and fill disposal sites. The fill disposal sites will be re-planted with a similar mix of tree, shrub and herbaceous plants to off-set the loss of this plant community and habitat type.
- Some of the fill sites are in close proximity to drainages and ponds. An appropriate setback, as required by the County of Sonoma, should be maintained to protect these sensitive areas. In addition, erosion and sediment control measures as provided by Sherwood Design Engineers and as recommended by Joel Butterworth with Valley Environmental Consulting, LLC should also be implemented. These measures are discussed within this report.
- A certified arborist conducted a tree inventory of the proposed cave and fill sites and has provided an inventory of the number and types of trees that will be removed (Denise Kelly personal communication). Recommendations by the arborist for revegetation of the fill sites to reestablish the habitats that will be impacted by the placement of fill in these areas should be followed. .
- Because numerous trees will be removed, mitigation measures to avoid potential "take" of passerines and for bats are also provided.

**INTRODUCTION**

The Ratna Ling property, owned by the Head Lama of the Tibetan Nyingma Meditation Center, is located at 35755 Hauser Bridge Road, Cazadero, Sonoma County, California. Situated approximately 4.1 miles north of Fort Ross School, this parcel was formerly known as the Timberhill Ranch. The Assessor Parcel Number (APN) is 109-230-024 and the property is approximately 120 acres in size, including the newly added former Dixie property on the northwest side of the original Ratna Ling property. The former Dixie property is approximately 13.7 acres in size. Drainages on the parcel flow into the South Fork Gualala River, located 1,700 feet east and north of the site.

This report focuses on the results of surveys and analysis of the areas proposed for cave excavation and soils deposition as depicted in the preliminary drawings for the *Western Cave Conceptual Grading Plan* (Sherwood Design Engineers 2008A), the *Western Cave Conceptual Demolition Plan* (Sherwood Design Engineers 2008B), the *Eastern Cave Conceptual Grading Plan* (Sherwood Design Engineers 2008C) and the *Soil Deposition Areas* (Sherwood Design Engineers 2008D). This analysis is also based on emails and discussions with Mr. Barr Rosenberg with the Ratna Ling Retreat Center, Joel Butterworth with Valley Environmental Consulting, LLC, Shauna Farr, Sherwood Design Engineers and Denise Kelly, certified arborist.

Surveys conducted address botanical and wildlife issues only. Issues related to potential impacts to wetlands and waters of the U. S., as defined by the U. S. Army Corps of Engineers (Corps), are not analyzed as part of this report. However, a delineation of wetlands and waters of the U. S. has been conducted for all of the proposed project components. Ratna Ling has requested verification of the delineation of these areas from the Corps (VEC 2008). In addition, a tree inventory has been conducted by Denise Kelly, certified arborist which summarizes the number of trees per species that will be impacted by the proposed project. Ms. Kelly has also provided recommendations for tree reestablishment that includes tree, shrub and herbaceous plant species to be used in the revegetation effort (Kelly 2008).

Background information from previous reports (see Methods for further details) has been included in this 2008 report, with areas previously surveyed from 2004-2008 shown in Exhibit A. There is some overlap in the survey areas within the survey years. Areas assessed in 2008 that were new for this year were the western cave and access roads and fill site #1 on the former Dixie property. Portions of the eastern cave and fill sites 2 and 3 had been surveyed in previous years.

Five areas proposed for cave excavation and soils deposition (Exhibit B) were analyzed for this report and are as follows:

**Table 1: Surface Acreage of Cave Areas and Fill Site Locations**

<b>Name</b>	<b>Location</b>	<b>Surface Area (Acres)</b>
Western Cave and access roads	Northeast side of Press House	1.3
Fill Site #1 (former Dixie Property)	West of Hauser Bridge Road, North of Western Cave Access Road	3.6
Fill Site #2	West of Reflection Pond	0.9
Eastern Cave and access roads	East of Reflection Pond	2.8
Fill Site #3	East of Reflection Pond	0.4
<b>Total Area</b>		<b>9.0</b>



LEGEND	
	2004 SURVEY AREA
	2005 SURVEY AREA
	2004 & 2005 SURVEY AREA
	2006 SURVEY AREA
	2007 SURVEY AREA
	2008 SURVEY AREA

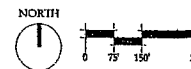
**SHERWOOD**  
Design Engineers  
One Union Street  
San Francisco, CA 94111  
415.774.7700  
www.sherwoodeng.com

CLIENT: HEAD LAMA OF TNMC

**EXHIBIT A:**  
**BIOLOGICAL SURVEY AREAS, 2004 TO 2008**

RATNA LING  
CAZADERO, CALIFORNIA

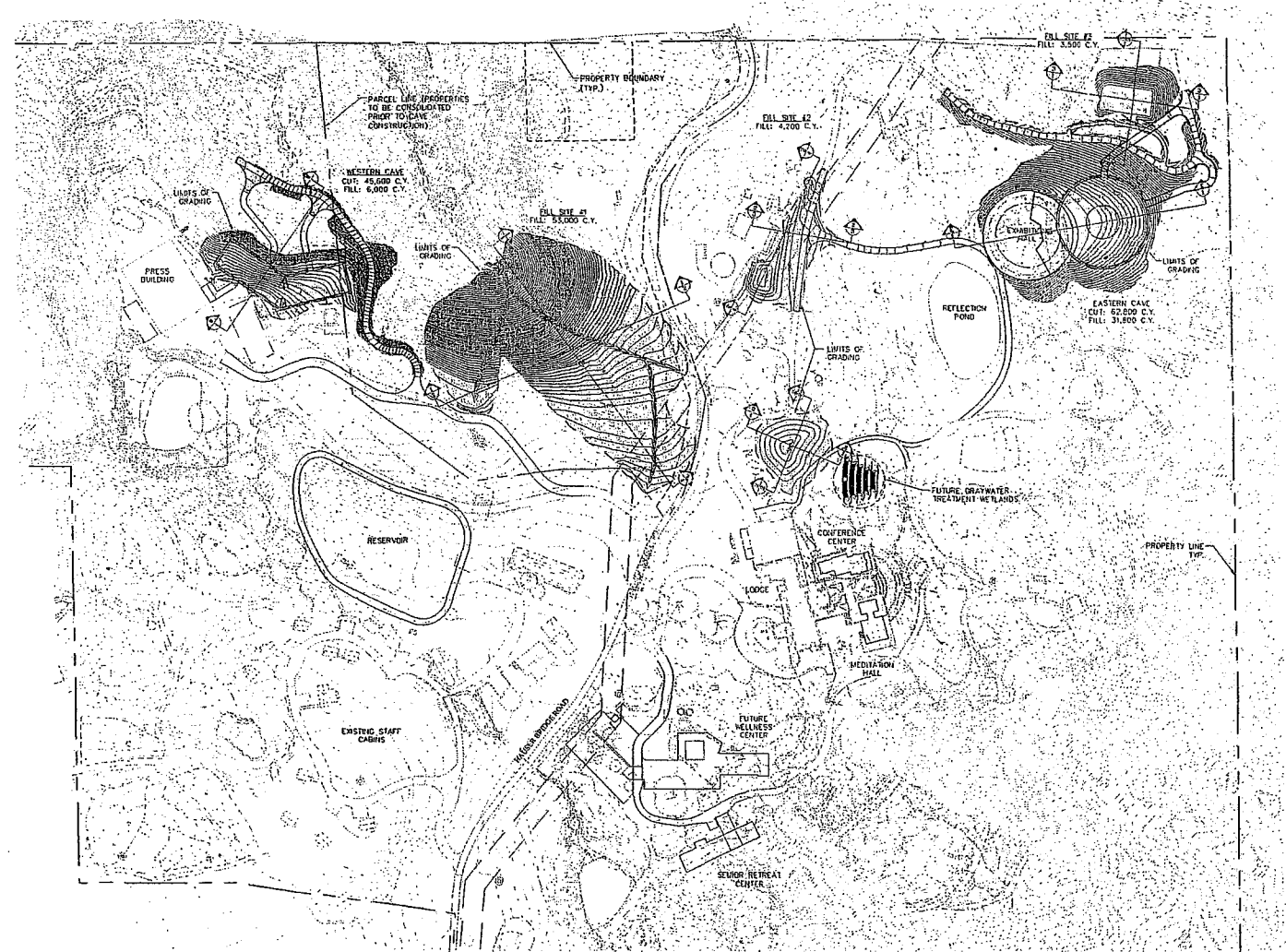
JUNE 18, 2008



PRELIMINARY EARTHWORK SUMMARY  
FOR EXHIBITION HALL, EASTERN CAVE & WESTERN CAVE

	CUT	FILL
WESTERN CAVE	45,600 C.Y.	6,000 C.Y.
EASTERN CAVE	62,800 C.Y.	31,800 C.Y.
FILL SITE #1	-	53,000 C.Y.
FILL SITE #2	-	4,200 C.Y.
FILL SITE #3	-	3,500 C.Y.
SUBTOTAL	108,400 C.Y.	98,500 C.Y.
SHRINKAGE (15% ASSUMED) *	-16,300 C.Y.	-
TOTAL	92,100 C.Y.	98,500 C.Y.

\* GEOLOGICAL ENGINEER (A/E/C ASSOCIATES) PREDICTS  
15% - 20% SHRINKAGE OF EXCAVATED DIRT WHEN COMPACTED.



PRELIMINARY SPOILS DISPOSAL PLAN FOR EXHIBITION  
HALL, EASTERN CAVE AND WESTERN CAVE



**SHERWOOD**  
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CLIENT: HEAD LAMA OF TNMC

RATNA LING  
CAZADERO, CALIFORNIA

DATE: JUNE 23, 2008

SHEET 1 OF 2

EXHIBIT B

## **METHODS**

Prior to conducting field surveys, the California Natural Diversity Data Base (CNDDB 2008) was reviewed for plant and animal occurrences for the Plantation, Annapolis, Tombs Creek and Fort Ross 7.5-minute topographic quadrangles along with the California Department of Fish and Game's (CDFG) *Special Animals List, State and Federally Listed Endangered and Threatened Animals of California*, and the U. S. Fish and Wildlife Service (USFWS) list of special-status species (USFWS 2008). In addition, the California Native Plant Society's (CNPS) on-line inventory of rare and endangered plants of California was reviewed for the quadrangles mentioned. .

An initial one-day habitat assessment was conducted by Jane Valerius, botanist, and Trish Tatarian, wildlife biologist, on March 13, 2008, which evaluated the proposed cave and fill sites and adjacent habitat types. A second one-day wildlife habitat assessment was conducted on May 1, 2008 of the Dixie property and a second one-day botanical survey was conducted by Jane Valerius for the former Dixie property on May 22, 2008. No focused wildlife surveys were conducted as part of this effort. Plant surveys were timed to coincide with the flowering of special status plants that could occur in the area.

Areas surveyed for 2008 were the western and eastern cave sites, access roads and fill sites 1-3. Some of these areas overlapped with areas that had been surveyed in previous years. The survey areas were walked and plant and animal species observed on the site were recorded. The sites were evaluated to determine whether any special status plants or animals or their habitats were present on the site or had the potential to be adversely impacted by the proposed project, as depicted in the February 26, 2008 and June 23, 2008 *Preliminary Spoils Disposal Plan for the Exhibition Hall, Eastern Cave and Western Cave* dated (Sherwood Design Engineers 2008D).

Appendix A provides a list of potential special status plants that could potentially occur in the area based on known records for the Plantation, Annapolis, Fort Ross and Tombs Creek U.S. 7.5-minute quadrangles using the CNDDB. Appendix B presents a list of special status animal species that may occur on the site based on the habitats present and recorded occurrences from the CNDDB. Appendix C provides a list of plant species observed during the 2008 and previous surveys for the Ratna Ling site. A separate plant list for fill site #1, the former Dixie property, is also provided. The updated plant species lists are included as Appendix C

Previous surveys for Ratna Ling include botanical surveys by Jane Valerius in specific locations at Ratna Ling between May and June, which was within the flowering time period for the majority of plants that could potentially occur on the site based on the presence of potential habitat. The timing of the May and June surveys were conducted in accordance with the CDFG guidelines for special status plant surveys which require that surveys for special status plants be conducted at the time of year when they are most identifiable, which is typically when they are in flower. Nesting bird and roosting bat surveys were conducted by Trish and Greg Tatarian in 2005 and 2007. Please refer to the *Botanical and Wildlife Review of the Ratna Ling Property 35755 Hauser Bridge Road, Cazadero, Sonoma County, CA*. (Jane Valerius Environmental Consulting. 2004), *Bird Surveys – Ratna Ling, Cazadero, Sonoma County* (Wildlife Research Associates 2005), *Bat and Bird Surveys – Ratna Ling, Cazadero, Sonoma County* (Wildlife Research Associates 2007a), *Surveys of Proposed Press Building Pond and Southern Road – Ratna Ling, Cazadero, Sonoma County* (Wildlife Research Associates 2007b), for the results of these surveys.

## RESULTS

### Vegetation Communities and Wildlife Habitats

Several vegetation communities and wildlife habitats, which include anthropogenic structures, occur within the ±120-acre property, which includes the newly added former Dixie property. The descriptions below pertain to those habitats that are adjacent to the proposed project areas, including native and non-native grasslands, mixed hardwood forest, aquatic features (ponds) and anthropogenic (man-made) structures.

### Grasslands and Meadows

The grassland within the surveyed area is comprised of a mixture of native and non-native grasslands. These grasslands occur in the open areas of the area of the press building and the proposed reservoir and openings within the forested areas. Native grass species noted during the 2004 to 2008 plant surveys include purple needlegrass (*Nasella pulchra*), California oatgrass (*Danthonia californica*), blue wildrye (*Elymus glaucus*), Idaho fescue (*Festuca idahoensis*), and California brome (*Bromus carinatus*). The overall cover of the native grasses is not sufficient to call this type out as native perennial grassland. Non-native grasses dominate the grassland areas and include species such as annual wildrye (*Lolium multiflorum*), wild oats (*Avena barbata*), hare barley (*Hordeum murinum* ssp. *leporinum*), soft chess (*Bromus hordeaceus*), ripgut brome (*Bromus diandrus*), dogtail grass (*Cynosurus echinatus*), orchard grass (*Dactylis glomerata*), and Harding grass (*Phalaris aquatica*). A variety of native and non-native forb species also occur in the grasslands.

An open meadow type grassland located below the future Wellness Center site (Exhibits A & B) supports a grassland meadow area that is unique and different from the other grassland areas surveyed on the property. This area will not be impacted by the project and was originally surveyed because this area was initially identified as a potential disposal site. This area is no longer being considered for a disposal site. This grassland occurs as an open meadow area surrounded by mixed evergreen forest (described below) and is in a relatively undisturbed area is surrounded and in some ways protected by the surrounding forest community. The meadow is an herbaceous community dominated by a mixture of native and non-native grasses and forbs, similar to the other grassland areas, but also includes some mesic species such as rushes (*Juncus* spp.) and a larger percentage of native forbs. Grasses noted in this area included native grasses such as blue wildrye, Idaho fescue and California brome and non-native species such as dogtail grass orchard grass and soft chess. Native forbs include hedge parsley (*Stachys* sp.), yampa (*Perideridia* sp.), Douglas iris (*Iris douglasii*), and lomatium (*Lomatium* sp.).

Wildlife attracted to grassland habitat, include reptiles and amphibians, such as western fence lizard (*Sceloporus occidentalis*), and Pacific slender salamander (*Batrachoseps attenuatus*), which feed on invertebrates found within and beneath fallen logs within the habitat. Although the open meadow type grassland located below the future Wellness Center site is relatively small this area provides foraging habitat for seed-eating and insect-eating species of birds and mammals, such as California quail (*Callipepla californica*), mourning dove (*Zenaidura macroura*), and meadowlark (*Sturnella neglecta*). Insect-eaters such as scrub jay (*Aphelocoma coerulescens*) use the habitat for foraging only. Grasslands are important foraging grounds for many aerial and ground foraging insect-eating bat species, including myotis (*Myotis* spp.) and pallid bat (*Antrozous pallidus*). Other mammal species such as California vole (*Microtus californicus*), Botta's pocket gopher (*Thomomys bottae*), and brush rabbit (*Sylvilagus bachmani*), evidence of which were observed on the site, also forage and nest within grasslands. Small rodents attract raptors (birds of prey) such as owls that hunt at night, as well as diurnal raptors such as red-tailed hawk (*Buteo jamaicensis*) and red-shouldered hawk (*Buteo lineatus*), among others. Larger

mammals, such as black-tailed deer (*Odocoileus hemionus californicus*) use grasslands for grazing, while coyotes (*Canis latrans*) will hunt small mammals in the grasslands.

### Mixed Evergreen Forest

The mixed evergreen forest community (Holland 1986) is the dominant vegetation within the entire ±120-acre Ratna Ling property. This vegetation type corresponds to the Douglas-fir-tanoak series described in *A Manual of California Vegetation* (Sawyer and Keeler-Wolf 1995). Within the survey area this community occurs at the edges of the grassland area and the edges of the area proposed for development. This community type is comprised of predominantly of Douglas fir (*Pseudotsuga menziesii*), with coast live oak (*Quercus agrifolia*), madrone (*Arbutus menziesii*), tan oak (*Lithocarpus densiflorus* var. *densiflorus*) and coast redwood (*Sequoia sempervirens*) also co-occurring. Within the mixed evergreen forest are groves or clusters of redwood trees. Understory shrubs include poison oak (*Toxicodendron diversilobum*), coffeeberry (*Rhamnus californica*), snowberry (*Symphoricarpos mollis*), toyon (*Heteromeles arbutifolia*), California huckleberry (*Vaccinium ovatum*) and rose (*Rosa gymnocarpa*). At the various fill sites, this community ranges in the level of disturbance from mostly relatively undisturbed (e.g. fill site #1) to areas that have been impacted by past land management practices such as logging or construction (file sites 2 and 3).

Mixed evergreen forests contain food for species such as black-capped chickadee (*Poecile atricapilla*), Stellar's jay (*Cyanocitta stelleri*), and white-breasted nuthatch (*Sitta carolinensis*). These species are bark gleaners, eating insects that are in the bark of trees, as well as catching insects in flight. The spotted towhee (*Pipilo maculatus*), and California towhee (*Pipilo crissalis*) glean insects from the ground and on foliage, such as under leaf litter and plants. California quail (*Callipepla californica*), mourning dove (*Zenaidura macroura*) and band-tailed pigeon (*Patagioenas fasciata*) forage on seeds within this habitat. Rufus hummingbirds (*Selasphorus rufus*) use vines growing around trees for nectar and for insects that are attracted to the nectar. Other species, such as the great horned owl (*Bubo virginianus*) and Cooper's hawk (*Accipiter cooperi*), use the tall trees for nesting and perches when hunting small mammals, such as Botta's pocket gophers (*Thomomys bottae*), and deer mice (*Peromyscus maniculatus*). Along the coast of California and Oregon, the red tree vole (*Phenacomys longicaudus*) can be seen in the canopy of Douglas fir where it builds its nests and stores its food. Often this species has been seen nesting in old squirrel, woodrat or birds nests. Dusky-footed woodrat (*Neotoma fuscipes*) nests, often large conical shaped structures of twigs, branches and leaves, can be seen throughout the forest. Mature oaks and snags are important features within this habitat as they provide nesting and roosting areas for a variety of special-status species of bats that occur in this region, including pallid bat, long-legged myotis (*Myotis volans*), Yuma myotis (*Myotis yumanensis*) and long-eared myotis (*Myotis evotis*), both Federal Species of Concern (Whittaker 1997). Bobcat (*Lynx rufus*) can be seen hunting small birds and mammals along the forest edge.

### Ponds

Three permanent ponds occur within the areas surveyed between 2004 and 2008 (Exhibit A). Pond 1 is located on the western portion of the property (west of Hauser Bridge Road) near the existing press building and is also referred to as the Press Pond. Pond 2 is located on the east side of Hauser Bridge Road, north of the lodge and west of the existing tennis courts and is also referred to as the Reflection Pond. Pond 3 is located at the end of the southern roadway (Exhibit A) and was surveyed in 2007. These ponds appear to be man-made ponds and have some emergent vegetation around the edges of the ponds with open water in the middle of the pond. Emergent vegetation includes cattails (*Typha* spp.), rushes (*Juncus* spp.) and sedges (*Carex* spp.). Pond 1, or the Press Pond, also had broad-leaved pondweed (*Potamogeton natans*) and Pond 2, or the Reflection Pond, had common waterweed (*Elodea canadensis*), which are floating aquatic plants. A fourth pond does occur on the property south and west of the Senior



## Ratna Ling Retreat Center Botanical and Wildlife Review

Retreat Center. This area has not been formally surveyed except as part of the original delineation of wetlands and waters of the U. S. conducted in 2007.

The ponds on site provide important water and foraging habitat for a variety of wildlife species. Wildlife species typically found in this habitat include amphibians and reptiles, such as California tree frog (*Hyla regilla*), aquatic garter snake (*Thamnophis couchii*) and western pond turtle (*Emys marmorata*), among others. The high diversity of invertebrate species provides foraging opportunities for a variety of avian species, including snowy egret (*Leucophox thula*), black crowned night heron (*Nycticorax nycticorax*), and red-winged blackbird (*Agelaius phoeniceus*). Mallard (*Anas platyrhynchos*) may also forage and nest in this habitat. Small mammals, such as meadow vole (*Microtus californicus*) and Botta's pocket gopher, occupy the upland edges of the pond area. Raccoon (*Procyon lotor*) forage on amphibians and fish within the pond, and striped skunk (*Mephitis mephitis*) and gray fox (*Urocyon cinereoargenteus*) may forage on eggs, invertebrates and small mammals along the edges of the pond. This habitat provides important foraging and drinking areas for many species of bats.

In previous surveys, bullfrogs (*Rana catesbeiana*) of all life stages were observed at Ponds 1, 2 and 3 and likely occur throughout the Ratna Ling property. Fish, including mosquitofish (*Gambusia affinis*) and green sunfish (*Lepomis cyanellus*) were also observed in Ponds 1 and 2. These non-native species reduce the likelihood of special-status amphibian species occurring on site.

### Seasonal wetlands

A sedge meadow wetland and a rush meadow wetland were mapped as part of the 2008 delineation of waters of the United States, including wetlands (VEC 2008). The sedge meadow occurs on the western edge of the Ratna Ling property west of the existing staff cabins. The dominant wetland plants in this area were dense sedge (*Carex densa*) and tall fescue (*Festuca arundinacea*). The wetland is located in a nearly level area and is mostly surrounded by woodland or forest. It appears to be supported mostly by incident precipitation, but may receive some sheetflow and subsurface seepage inputs from its small surrounding watershed.

The rush meadow occurs east of the sedge meadow and west of the existing staff cabins (VEC 2008). This wetland type is dominated by spreading rush (*Juncus patens*) and soft rush (*Juncus effusus*). Spreading rush extends beyond the mapped boundary of the wetland, where no indicators of wetland hydrology were observed. Spreading rush occurs throughout the project area as individual specimens or small clusters in relatively mesic areas that do not have hydric soils or wetland hydrology and therefore do not qualify as jurisdictional wetlands, as defined by the U. S. Army Corps of Engineers (Corps).

Seasonal wetlands present on the site support nesting and foraging habitat for passerines, such as the dark-eyed junco (*Junco hyemalis*) that was observed nesting in the area. When water is at the surface tree frogs will forage in the habitat while being hunted by aquatic garter snakes. As the wetland dries up small mammals, such as Botta's pocket gopher and meadow vole will move into the area. .

### Anthropogenic Structures

Anthropogenic structures such as the buildings located in the survey study areas provide potential roosting habitat for various wildlife species, including birds and bats. Bird species that use anthropogenic structures include passerines, such as barn swallows (*Hirundo rustica*) and black phoebe (*Sayornis nigricans*), and raptors, such as barn owls (*Tyto alba*). These species have adapted to the disturbances associated with human settlements and will nest and forage in close proximity to humans. In general, the nesting season for both passerines and raptors typically begins at the end of February and may last to mid-

August. The conclusion of the nesting season is variable, as female barn swallows and black phoebe, for example, may produce 2-3 broods each year (Alsop 2001).

Statewide, buildings provide significant bat roosting habitat, and it appears that large bat populations are supported by the availability of buildings. Because bats show high roost fidelity, older structures may have provided roost habitat for generations. However, not all buildings available to bats provide the temperature, humidity and other requirements for bats; such factors vary by building design, materials, location, human activity patterns, and by bat species. As a result, not all buildings provide suitable roost habitat.

### **Wildlife Movement Corridors**

Wildlife movement includes migration (*i.e.*, usually one way per season), inter-population movement (*i.e.*, long-term genetic flow) and small travel pathways (*i.e.*, daily movement corridors within an animal's territory). While small travel pathways usually facilitate movement for daily home range activities such as foraging or escape from predators, they also provide connection between outlying populations and the main corridor, permitting an increase in gene flow between populations.

These linkages between habitat types can extend for miles between primary habitat areas and occur on a large scale throughout California. Habitat linkages facilitate movement between populations located in discrete areas and populations located within larger habitat areas. The mosaic of habitats found within a large-scale landscape results in wildlife populations that consist of discrete sub-populations comprising a large single population, often referred to as a meta-population. Even where patches of pristine habitat are fragmented, such as occurs with coastal scrub, the movement between wildlife populations is facilitated through habitat linkages, migration corridors and movement corridors. Depending on the condition of the corridor, genetic flow between populations may be high in frequency, thus allowing high genetic diversity within the population, or may be low in frequency. Potentially low frequency genetic flow may lead to complete isolation and, if pressures are strong, potential extinction (McCullough 1996; Whittaker 1998).

Movement corridors within the study area include the open grassland areas that provide corridors for deer and coyote. The more densely canopied woodland provides movement corridors for small species such as bobcat, skunks, and raccoon. Movement between the various creeks and drainages in the area more than likely occurs over this ridge top.

### **Vegetation Communities Per Area**

The vegetation communities and wildlife habitats described above, while occurring throughout the Ratna Ling parcel, occur in various levels of disturbance at each of the seven project sites. Below is a description of the communities per site, with Table 2 displaying the Communities and Habitat Areas of Cave Area and Fill Site Locations.

**Table 2: Communities and Habitat Areas of Cave Areas and Fill Site Locations**

Name	Location	Communities and Habitats Present
Western Cave and access roads	North and east of Press Building	grassland and mixed evergreen forest
Fill Site #1 (former Dixie Property)	West of Hauser Bridge Road, north of Western Cave Access Road	mixed evergreen forest with ephemeral drainages
Fill Site #2	West of Reflection Pond	mixed evergreen forest (disturbed)
Eastern Cave and access road	East of Reflection Pond	Anthropogenic (tennis court and dirt access roads)
Fill Site #3	East of Reflection Pond	grassland and mixed evergreen forest

**Western Cave and Access Roads:** A total of seven trees are identified on the conceptual plan for removal, all Douglas firs ranging in dbh between 25 inches and 28 inches. A cluster of four bay trees are also identified for removal (Sherwood Design Engineers 2008A).

**Fill Site #1:** This 3.6-acre fill site has steep slopes with small ravines and ephemeral drainages. This site has many downed trees of varying sizes and states of decay (Kelly 2008). The predominant species are Douglas fir and California bay laurel with scattered coast live oak in the forest openings where there is more light. Most of the Douglas fir trees are tall but not yet mature and the bays are comparatively smaller, young, multi-trunked trees growing beneath the firs. The forest floor is shaded because of the dense tree canopy which results in almost no shrub or herbaceous understory and there is a thick layer of fallen and downed branches, small fallen trees, and duff. Understory vegetation does occur in the more open and filtered shade areas and includes wild rose (*Rosa* sp.), yerba buena (*Satureja douglasii*), Western sword fern (*Polystichum munitum*), wood strawberry (*Fragaria vesca*), poison oak (*Toxicodendron diversilobum*) and a single elderberry (*Sambucus mexicana*) thicket (Kelly 2008).

The site supports two drainages that qualify as waters of the U.S. that are proposed to be filled (VEC 2008). At the time of the surveys the drainages were dry and it appears that the easternmost drainage supports only surface flow. However, downstream of the project site the drainage is live and intermittent and supports a riparian canopy along the drainage. These unnamed drainages flow north into the Gualala River.

The arborist's report (Kelley2008) reported that several of the oaks and some of the bays have bleeding and cracked bark on the trunks, symptoms associated with sudden oak death (*Phytophthora ramorum*) and that many of the bays have signs of internal decay as well as white external shelf-like growths associated with the artist's conk (*Ganoderma* sp.) fungus, a relatively slow-growing wood rotter that is present in many native bays throughout the County. Another decay/wood rotting fungus was evident on fir slash but also potentially present in the roots of live trees is the velvet-top fungus (*Gomphus floccosus* -Schweinitz) (Kelly 2008). Both of these fungi eventually lead to the failure and toppling of the main stem. Several trees next to the old road cut have soil covering the base of the trunk (no root flare evident), a condition that eventually leads to decay and failure. The arborists report identified a total of 382 trees greater than 9 inches diameter at breast height (dbh). This includes 185 Douglas fir, 39 coast live oak and 158 bay laurel trees (Kelly 2008).

## Ratna Ling Retreat Center Botanical and Wildlife Review

**Fill Site #2:** This 0.9-acre fill site is located in an already disturbed mixed evergreen forest vegetation community. An access road borders the north and west sides of the space, with current construction activities and materials storage at the edge of the stand. The site is fairly open, with the trees well spaced and straight trunked. Douglas fir is the dominant species. Douglas fir trees growing within a stand tend to shed lower limbs as they mature and grow taller and several of the trees at this site have these characteristic dead branches along the shaded trunks below the canopy. The trees are of varying size, height, and age (Kelly 2008). The health and vigor of the trees are fair (Kelly 2008). The structural character of several trees is poor, however; many trees have double trunks that tend to split apart as they grow larger. This site appears to have had a history of fire and either grazing or human intervention to reduce understory plant cover. There are scattered re-sprouting stumps of tan oak, and one large old bay laurel with fire scars and extensive decay (Kelly 2008). The understory vegetation is composed of non-native grasses and forbs that are tended as landscaping. This area has been surveyed in previous years for special status plant species (Valerius Environmental Consulting 2004). Because of the disturbed nature of this site it is considered to be one of the less sensitive sites with respect to potential impacts on natural communities. The arborist report (Kelly 2008) identified a total of 46 trees with a dbh greater than 9 inches for this site. This includes 37 Douglas fir, 3 coast live oak, 5 bay laurel and one (1) madrone (*Arbutus menziesii*) trees.

**Eastern Cave, Exhibition Hall and Fill Site 3:** Most of this area had been previously surveyed during surveys conducted from 2004 to 2006 (Exhibit A) (Valerius 2004 and 2006). Vegetation in this area is a mixture of mixed evergreen forest with Douglas-fir, coast live oak and California bay as common tree species and disturbed annual grassland in the open areas. No special status plant species were noted in this area from previous surveys and none are likely to occur.

A verified delineation of wetlands and waters of the U.S. has been conducted for this area and there are several ephemeral drainages and also a potential wetland (J. Butterworth, pers. comm.) that have been identified. The plans provided by Sherwood Engineers for review for this report do not show the delineated wetlands and waters for this area so it is not possible to analyze potential impacts based on the information provided. However, any potential impacts to wetlands or waters of the U.S. should be considered and addressed in the environmental review for the project.

Fill Site 3 is composed of mostly young specimens of Douglas fir, bay, and coast live oak. This is a young stand of trees with trees relatively close together and beginning to shade and suppress each other as they mature (Kelly 2008). There are also several old tree stumps and fallen branches and the southern edge borders a debris pile. The trees are of fair to poor health and vigor due to natural suppression of smaller trees as the more vigorous specimens that overtop them (Kelly 2008). The understory plant community is beginning to develop through the thick duff and includes huckleberry (*Vaccinium ovatum*), Western sword fern, California fescue grass (*Festuca californica*), hound's tongue (*Cynoglossum grande*) and yerba buena. The arborist report (Kelly 2008) identified a total of 47 trees greater than 9 inches in dbh for the proposed fill site. This includes 27 Douglas fir, 7 coast live oak and 13 bay laurel trees.

## SPECIAL-STATUS SPECIES BIOLOGICAL RESOURCES

Surveys conducted address botanical and wildlife issues only. Issues related to potential impacts to wetlands and waters of the U. S., as defined by the U. S. Army Corps of Engineers, are not analyzed as part of this report. A delineation has been conducted for portions of the project (VEC 2007 and VEC 2008). Wetland issues discussed below relate to the comments made by the County of Sonoma Permit Resource Management Department (PRMD) staff related to setbacks to wetlands and stream courses provided in the County's General Plan.

### Special Status Plants

No special status plant species have been identified for the surveys areas to date. Surveys for special status plants were conducted on March 13 and May 22, 2008. Portions of the study area had been surveyed in previous years and no special status plants were found during previous surveys. The March survey was too early for most of the special status plants but the May survey was timed when special status plants that could occur on the property would be in flower and therefore identifiable if present on the site. Most of the areas on the Ratna Ling property, including the newly added Dixie property, have been disturbed by past land management practices including logging and construction. The dense canopy cover in most of these areas by trees inhibits growth of understory, herbaceous plants which makes these habitats unlikely to support any special status plants.

### Sensitive Plant Communities

Two sensitive plant communities show up on the CNDDDB. These are Coastal Terrace Prairie and Mendocino Pygmy Cypress Forest. Neither of these plant community types occur on the Ratna Ling property. The grassland areas on the property have some native perennial grasses, however the cover provided by these natives is low and the grassland areas, in general, would not qualify as native perennial grasslands.

Mixed evergreen forest does not show up as a sensitive plant community and it is the dominant vegetation type within the study area. However, the California Department of Fish and Game (CDFG) does identify several Douglas Fir alliances or associations as being communities that are either known or believed to be of high priority for inventory in the CNDDDB (CDFG 2003). These include Douglas-fir - California Bay / Poison-oak [*Pseudotsuga menziesii-Umbellularia californica/ Toxicodendron diversilobum*], Douglas-fir - California Bay [*Pseudotsuga menziesii-Umbellularia californica*], and Douglas-fir - Tanoak / Poison-oak - Hairy Honeysuckle [*Pseudotsuga menziesii-Lithocarpus densiflora/Toxicodendron diversilobum-Lonicera hispidula*]. The forest community on the project site has been identified as a mixed evergreen forest which follows the Holland (1986) classification system and this vegetation type best corresponds to the Douglas-fir-tanoak series described in *A Manual of California Vegetation* (Sawyer and Keeler-Wolf 1995). The alliances or associations identified in the CDFG 2003 list as of high priority for inventory in the CNDDDB do occur on the Ratna Ling site and at the proposed cave and fill disposal sites. However, due to the disturbed nature of these communities, the past logging practices, and the degraded nature of some of the areas, such as Fill Site #1 (which may have sudden oak death syndrome), these communities would not likely be considered sensitive given that they have been disturbed and degraded.

Wetlands and riparian communities are generally considered to be sensitive communities by various agencies including the California Department of Fish & Game (CDFG), the state Regional Water Quality Control Board (RWQCB) and the U. S. Army Corps of Engineers (Corps). The state and the federal government both have a no net loss of wetlands policy and impacts to wetlands or stream courses must be considered in any environmental review. The Sonoma County General Plan, page 4.6-30, defines

**Ratna Ling Retreat Center  
Botanical and Wildlife Review**

sensitive natural communities as "... areas of native grasslands, marshlands, coastal terrace prairie, central dune scrub, and northern vernal pool. Designated Streams, which encompass perennial and intermittent streams, are also generally considered to support riparian habitat, a sensitive natural community type." No special status plants or animal species have been noted on the site as a result of current and past surveys. However, the ponds, wetlands and drainages on the site are by definition sensitive areas and these areas have been mostly avoided except for minor impacts related to roadway improvements.

The County of Sonoma General Plan has several policies related to setbacks to wetlands and waters of the U.S. The following analysis is general in nature. No specific information is provided regarding impacts since, with the exception of the press pond area, no information was provided regarding wetlands or waters.

**Wetlands and Waters of the U.S.**

The Sonoma County General Plan identifies wetlands, marshes and vernal pools as important critical habitat areas and are defined as the following (page 4.6-20 of the Sonoma County General Plan), "Designated Critical Habitat Areas include tidal marshes and estuaries near the Sonoma Creek, Petaluma River, San Antonio Creek, Estero Americano and the mouth of the Russian River; freshwater marshes such as Pitkin, Petaluma and Kenwood marshes; some locations supporting vernal pools, native grassland and oak savanna, special coastal areas (e.g., dunes, pygmy forest and cypress forest); and preserves owned by the Sonoma County Land Trust, Audubon Society, Academy of Sciences, and Nature Conservancy." Using this definition from the General Plan, the drainages and wetlands on the Ratna Ling property do not meet the County's definition of a "critical habitat area".

It is also important to note that the critical habitat definition used by the Sonoma County General Plan is not the definition of critical habitat as used by the U. S. Fish & Wildlife Service (USFWS) or the California Department of Fish & Game (CDFG). The USFWS and CDFG use of critical habitat relates to a federal or state listed endangered or threatened species and is not limited to wetland areas. No federal or state listed threatened or endangered species have been identified for the Ratna Ling property based on surveys conducted most recently in March 2008 and during previous surveys in 2004 to 2007.

There are several ponds, drainages and potential wetlands areas within the study area. Ponds, drainages and wetlands on the property, including those in proximity to the proposed cave sites, access roads, and fill disposal sites, would be considered sensitive natural communities. The Sonoma County General Plan, page 4.6-35, defines wetlands as: "... wetland-related sensitive natural community types described above, as well as areas of open water, degraded and modified streams and channels, unvegetated waters, and isolated seasonal wetlands now dominated by nonnative species." Wetlands and waters of the U. S. and the state are also considered to be sensitive areas by the Corps, the USFWS, the RWQCB and CDFG, and are protected to provide wildlife habitat along with other wetland functions and values.

A 10 to 20 foot setback from wetland and drainages has been provided for the fill and disposal sites, with the exception of Fill Site #1 which will directly impact two ephemeral drainages. Stringent erosion control measures will be implemented for all of the construction sites and fill disposal sites to ensure that no sediment will erode into downstream areas or to adjacent sensitive communities. All of the fill sites will be revegetated and the forest communities will be reestablished using the same number and types of trees currently at the sites. Native shrub and herbaceous plants will also be added for diversity and to stabilize the sites.

**Special Status Wildlife Surveys for 2008**

No focused wildlife surveys were conducted during the habitat assessment in 2008. However, a one-time reconnaissance level survey was conducted on March 13 for the western and eastern cave site and fill sites 2 and 3. A second site visit was conducted on May 1, 2008 for fill site, which is located on the former Dixie property. The loss of trees at the fill sites reduces the potential for nesting birds and bats to use the Ratna Ling parcel.

## IMPACT ASSESSMENT AND MITIGATION RECOMMENDATIONS

The erosion and sediment control best management practices (BMPs) proposed in the Ratna Ling Reservoir bid set, and which will be applied to the cave and fill sites, appear to be appropriate and generally capable of controlling excessive erosion. However, the following modifications are recommended to mitigate potential sedimentation impacts to a less-than-significant level:

- Install one or two (depending on the setback distance) biodegradable fiber rolls along the contour in the setback zone. Abandon these in place.
- Provide specifications for inspecting and maintaining the sediment barriers, including removal and disposal of accumulated sediment.
- Add one or more native grasses to the seed mix, such as California brome (*Bromus carinatus*), Idaho fescue (*Festuca idahoensis*), and blue wildrye (*Elymus glaucus*), to increase the likelihood of adequate seed germination and to enhance the habitat value of revegetated areas, especially the outboard dam face.
- Reduce the rate of straw mulch application by 1,000 pounds. This will better ensure emergence of the grass shoots.
- Require the project proponent to have a Professional Engineer (civil) or a qualified erosion control specialist periodically inspect the BMP installation work. This will better ensure than the BMPs perform as intended, since many erosion and sediment problems are the result of improper BMP installation.

**Impact 1:** The placement of the fill sites are in areas that are adjacent to drainages and man-made ponds. Sedimentation may flow into the drainages and into the South Fork Gualala River. Unless properly protected, the fill sites could be subject to erosion rates that are higher than that of the existing condition. Sediment could leave the fill and enter the drainageway and wetlands, where it would be trapped in the wetland or would downstream. The sedimentation could degrade the water quality and adversely affect aquatic organisms. Suspended fine sediment could pass beyond the pond to downstream receiving waters, including the South Fork Gualala River.

**Mitigation Measure 1:** The fill areas would be constructed and stabilized according the following parameters with respect to the potential for erosion and sedimentation (Shauna Farr, Sherwood Design Engineers, pers. comm.):

- The maximum slope would be 2:1.
- An unspecified thickness of topsoil strippings would be applied to the subgrade of the piles to facilitate revegetation.
- The piles would be seeded with an undetermined cover crop and trees would be planted. Preliminarily, the trees would consist of coast redwood (*Sequoia sempervirens*) in the shaded protected areas of the fill area and Douglas fir (*Pseudotsuga menziesii*) and coast live oak (*Quercus agrifolia*) on the more exposed areas. We would also recommend that several shrub species be included such as coyote bush (*Baccharis pilularis*), manzanita (*Artostaphylos manzanita*), huckleberry (*Vaccinium ovatum*), and rhododendrons (*Rhododendron occidentale* and *R. macorphyllum*). Please refer to the arborist report and recommendations for mitigation.



**Ratna Ling Retreat Center  
Botanical and Wildlife Review**

- There would be more than a 10 to 20-foot minimum setback from drainageways and wetlands.

Additional BMP measures have been provided by Joel Butterworth, for the fill sites and are as follows:

Proposed erosion and sediment control BMPs include seeding, mulching, erosion control blankets, and sediment retention devices. In particular, the dam face would be subject to a three-step process of seed and fertilizer application, broadcasting of straw, and application of a tackifier. A biodegradable straw erosion control blanket would be applied over the broadcasted straw. The seed mix would consist of Blando brome (*Bromus hordeaceus*) (a non-native annual grass commonly used for erosion control) and rose clover (*Trifolium hirtum*), a non-native nitrogen-fixing forb, also widely used for erosion control. The straw would be applied at the rate of 4,000 pounds per acre. Two or three Ertec ProWattles would be installed on the outboard dam face along the contour. Check dams would be installed at other critical water discharge points.

Unless properly protected, the slopes of the fill sites could be subject to erosion rates that are significantly higher than that of the existing condition, which in wooded areas, is probably very low because of the duff layer present and because of rainfall interception by the tree canopy. The fill slopes could erode and the resulting sediment could enter the drainageways and wetlands, where it could eventually reach downstream receiving waters, including the South Fork Gualala River. The sediment could degrade the quality of receiving waters and adversely affect aquatic organisms.

We recommend that the same erosion and sediment control BMPs proposed to be implemented for the reservoir slope in the Ratna Ling Reservoir bid set also be applied to the fill sites, with the following additions and revisions:

- Install biodegradable fiber rolls on contour in the stream/wetland setback zones as appropriate to the slope gradient. Abandon these in place.
- Before placement of the spoil/fill material and before stripping of the (mineral) topsoil, strip and stockpile the duff later from the fill site area and reapply it to the finish grade of the fill.
- Apply the maximum thickness of stockpiled topsoil allowable by geotechnical constraints, but no less than 6 inches. Incorporate this material at least 3 inches into the subgrade using a ripper shank or similar device.
- Instead of the mix of native and non-native grasses described above, formulate and apply a mix that will be conducive to tree growth.

**Impact 2:** Approximately 4.9 acres of mixed evergreen forest will be impacted by the placement of fill material at the three disposal sites and an additional almost 4 acres will be impacted by the construction of the western and eastern caves and access roads.

**Mitigation Measure 2:** Revegetation of the fill sites should reestablish the habitats that will be impacted by the placement of fill in these areas. Recommendations for revegetation and reestablishment of the forest community made by the arborist should be followed. Revegetation should include the same tree species and in the same numbers or greater to compensate for temporal loss.

**Ratna Ling Retreat Center  
Botanical and Wildlife Review**

**Impact 3:** Removal of trees for fill sites 1, 2 and 3 reduces the habitat for nesting birds. Bird species not protected under CESA or FESA, such as some passerines (including mourning dove and scrub jays) are protected under the Fish and Game Code 3503 and the MBTA. These aforementioned species may potentially be impacted by the removal of potential nesting habitat in the trees within the project area. Disturbance during the nesting season (February 15- August 15) may result in the potential nest abandonment and mortality of young, which is considered a "take" of an individual.

**Mitigation Measure 3:** To avoid potential "take" of passerines, the following measures are recommended:

- Grading or removal of nesting trees should be conducted outside the nesting season, which occurs between approximately February 15 and August 15.
- If grading between August 15 and February 15 is infeasible and groundbreaking must occur within the breeding season, a pre-construction nesting bird survey of the grasslands and adjacent trees shall be performed by a qualified biologist within 7 days of ground breaking. If no nesting birds are observed no further action is required and grading shall occur within one week of the survey to prevent "take" of individual birds that could begin nesting after the survey.
- If bird nests are observed during the pre-construction survey, a disturbance-free buffer zone shall be established around the nest tree(s) until the young have fledged, as determined by a qualified biologist.
- The radius of the required buffer zone can vary depending on the species, (i.e., 75-100 feet for passerines), with the dimensions of any required buffer zones to be determined by a qualified biologist in consultation with CDFG.
- To delineate the buffer zone around a nesting tree, orange construction fencing shall be placed at the specified radius from the base of the tree within which no machinery or workers shall intrude.
- After the fencing is in place there will be no restrictions on grading or construction activities outside the prescribed buffer zones.

Following these mitigation measures will reduce take to nesting birds to less-than-significant.

**Impact 4:** Several trees may contain cavities that may provide suitable roosting habitat for individuals of several species of bats, for example, hoary bat and Yuma myotis. As a result, impacts to roosting bats may occur if trees supporting potential roosting habitat are removed.

**Mitigation Measure 4:** The following mitigation measures should be followed in order to avoid or minimize impacts to bats that may potentially roost in the trees:

- A qualified bat biologist possessing a Scientific Collection Permit and Memorandum of Understanding with the CDFG for work with bats shall conduct a bat habitat assessment of the trees. Those trees containing suitable potential habitat for cavity or crevice roosting bat species shall be marked for two-stage removal, described below. All other trees shall be removed first. This method creates a level of disturbance level that should be sufficient to cause abandonment by roosting bats, or cause them not to return after emerging for night feeding.
- Trees containing no potential bat roosting habitat shall be removed without falling on or otherwise damaging trees containing potential roost habitat.

**Ratna Ling Retreat Center  
Botanical and Wildlife Review**

- Trees containing suitable potential roost habitat shall only be removed during seasons when bats are active and young are volant, which is from approximately Feb. 15 (after heavy seasonal rains and when night temperatures are above 45°F) to April 15 and from August 1 to approximately October 15 (or before heavy seasonal rains and night temperatures below 45°F).
- Trees shall be removed in stages, in order to create a suitable level of disturbance, and allow bats sufficient time to abandon the tree prior to complete removal:
- Under supervision of a qualified bat expert possessing a Scientific Collection Permit and MOU for work with bats with the California Department of Fish and Game, trees with potential roosts shall be removed in two steps, over two successive days:
  - Branches and limbs identified by the bat expert shall be removed on Day 1 (Disturbance).
  - The remainder of the tree shall be removed on the following day - Day 2 (Removal).
- No diesel or gas-powered equipment shall be stored or operated directly beneath trees with potential roosts, except chainsaws used for removal of that tree.

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**Ratna Ling Retreat Center  
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## **APPENDIX A**

### **LIST OF SPECIAL STATUS PLANT SPECIES THAT COULD POTENTIALLY OCCUR IN THE RATNA LING PROJECT AREA**

**APPENDIX A**  
**SPECIAL STATUS PLANT SPECIES THAT COULD POTENTIALLY OCCUR IN THE**  
**RATNA LING PROJECT AREA. 2008.**

Scientific Name Common Name	Status; Federal/ State/CNPS	Flowering Period	Habitat and Notes
<i>Agrostis blasdalei</i> Blasdale's bent grass	-/-/L1B	May-July	Coastal scrub, coastal dunes, coastal prairie. Not seen during surveys for 2004 to 2007. Need to survey fill site #4 for 2008
<i>Amorpha californica</i> var. <i>napensis</i> Napa false indigo	-/-/L1B	April-June	Broad-leaved upland forest, chaparral, cismontane woodland. Not seen during surveys.
<i>Arctostaphylos bakeri</i> ssp. <i>sublaevis</i> Baker's manzanita	-/-/L1B	February-May	Closed cone coniferous forests, chaparral on serpentinite seeps. Not seen during survey. Habitat not present in project area.
<i>Calochortus raichei</i> The Cedars fairy-lantern	-/-/L1B	May-August	Closed cone coniferous forest, chaparral/serpentinite. Not seen during survey. Habitat not present in project area.
<i>Calystegia purpurata</i> ssp. <i>saxicola</i> Coastal bluff morning-glory	-/-/L1B	May-August	Coastal dunes, coastal scrub. Not seen during surveys. Habitat not present in project area.
<i>Campanula californica</i> Swamp harebell	-/-/L1B	June-October	Bogs and fens, closed cone coniferous forest, coastal prairie, meadows, freshwater marshes and swamps. Not seen during 2004 to 2007 surveys and not likely to occur.
<i>Ceanothus purpureus</i> Holly-leaved ceanothus	-/-/L1B	February-June	Chaparral, rocky, volcanic soils. Not seen during survey. Habitat not present in project area.
<i>Chorizanthe valida</i> Sonoma spineflower	FE/CE/L1B	June-August	Coastal prairie (sandy). Not seen during survey. Habitat not present in project area.
<i>Cupressus goveniana</i> ssp. <i>pigmaea</i> Pigmy cypress	-/-/L1B	N/A	Closed cone coniferous forests with podzol like soil. Not seen during survey. Habitat not present in project area.
<i>Erigeron serpentinus</i> Serpentine daisy	-/-/L1B	May-August	Chaparral (serpentinite seeps). Not seen during survey. Habitat not present in project area.
<i>Erigeron supplex</i> Supple daisy	-/-/L1B	May-July	Coastal bluff scrub, coastal prairie. Not seen during 2004 to 2007 surveys. Need to survey fill site #4 for 2008
<i>Eriogonum nervulosum</i> Snow Mountain buckwheat	-/-/L1B	June-September	Chaparral (serpentinite). Not seen during survey. Habitat not present in project area.
<i>Gilia capitata</i> ssp. <i>tomentosa</i> Woolly-headed gilia	-/-/L1B	May-July	Coastal bluff scrub (rocky, outcrops). Not seen during survey. Habitat not

**APPENDIX A**  
**SPECIAL STATUS PLANT SPECIES THAT COULD POTENTIALLY OCCUR IN THE**  
**RATNA LING PROJECT AREA. 2008.**

Scientific Name Common Name	Status: Federal/ State/CNPS	Flowering Period	Habitat and Notes
			present in project area.
<i>Gilia millefoliata</i> Dark-eyed gilia	-/-/L1B	April-June	Coastal dunes. Habitat not present in project area.
<i>Hesperevax sparsiflora</i> var. <i>brevifolia</i> Short-leaved evax	-/-/L2	March-June	Coastal bluff scrub (sandy), coastal dunes. Habitat not present in project area.
<i>Horkelia tenuiloba</i> Thin-lobed horkelia	-/-/L1B	May-July	Broadleaved upland forest, chaparral, valley and foothill grassland/ mesic openings, sandy. Potential habitat on site. Not seen during 2004-2007 surveys. Need to survey fill site #4 for 2008.
<i>Lasthenia californica</i> ssp. <i>bakeri</i> Baker's goldfields	-/-/L1B	April-October	Closed cone coniferous forest (openings), coastal scrub. Not seen during survey 2004 to 2007 surveys. Not likely to occur.
<i>Lasthenia californica</i> ssp. <i>macrantha</i> Perennial goldfields	-/-/L1B	January- November	Costal bluff scrub, coastal dunes, coastal scrub. No habitat on site.
<i>Leptosiphon rosaceus</i> Rose linanthus	-/-/L1B	April-June	Coastal bluff scrub. Not seen during survey. Habitat not present in project area.
<i>Lilium maritimum</i> Coast lily	-/-/L1B	May-July	Broad-leaved upland forest, closed cone coniferous forest, coastal prairie, coastal scrub, freshwater marshes and swamps, north coast coniferous forest. Not seen during 2004 to 2007 surveys. Need to survey fill site #4 for 2008
<i>Piperia candida</i> White-flowered rein orchid	-/-/L1B	May- September	Broadleaved upland forest, lower montane coniferous forest, North Coast coniferous forest/ sometimes serpentinite. Potential habitat on site. Not seen during 2004-2007 surveys. Need to survey fill site #4 for 2008.
<i>Sidalcea malviflora</i> ssp. <i>purpurea</i> Purple-stemmed checkerbloom	-/-/L1B	May	Broad-leaved upland forest, coastal prairie. Not seen during surveys. Typical habitat not present on site.
<i>Streptanthus morrisonii</i> various ssp Morrison's jewelflower	-/-/L1B	April- September	Chaparral (serpentinite). Not seen during survey. Habitat not present in project area.

Status: FE: Federally listed as endangered.  
CE: State listed as endangered.  
L1B: Plants rare, threatened, or endangered in California and elsewhere.  
L2: Plants rare, threatened or endangered in California but more common elsewhere.



## **APPENDIX B**

### **LIST OF SPECIAL STATUS WILDLIFE SPECIES THAT COULD POTENTIALLY OCCUR IN THE RATNA LING PROJECT AREA**

**APPENDIX B**

**POTENTIALLY-OCCURRING SPECIAL-STATUS SPECIES IN THE PROJECT AREA**

<b>Common Name Scientific Name</b>	<b>Status USFWS/ CDFG</b>	<b>Habitat Affinities and Reported Localities in the Project Area</b>	<b>Occurrence Potential</b>
<b>Invertebrates</b>			
<b>monarch butterfly</b> <i>Danaus plexippus</i>	-/*	Roosts during winter migration in wind protected tree groves in dense stands of large trees such as eucalyptus, Monterey pines and cypress. Roosts in groves close to nectar and water sources.	<b>None:</b> no suitable larval or nectar plants in project area
<b>Smith's blue butterfly</b> <i>Euphilotes enoptes smithi</i>	FE/-	Requires with two species of buckwheat plants, <i>Eriogonum parviflorum</i> for larval feeding, and <i>E. nudum</i> for the adult feeding	<b>None:</b> no suitable larval or nectar plants in project area
<b>Myrtles silverspot butterfly</b> <i>Speyeria zerene myrtleae</i>	FE	Restricted to the foggy, coastal dunes of the Point Reyes peninsula. Larval food plant is <i>Viola adunca</i> , with nectar sources of thistles and gum weed ( <i>Grindelia rubicaulis</i> ).	<b>None:</b> no suitable larval or nectar plants in project area
<b>Fish</b>			
<b>Coho salmon - Central California Coast ESU</b> <i>Onchorhynchus kisutch</i>	FT/SE	Occurs from Punta Gorda, in northern California, to the San Lorenzo River, in Santa Cruz County, and includes coho salmon populations from several tributaries of San Francisco Bay (e.g., Corte Madera and Mill Valley Creek).	<b>None:</b> No connectivity to Gualala River
<b>steelhead - Central California Coast ESU</b> <i>Onchorhynchus mykiss</i>	FT/-	Requires beds of loose, silt-free, coarse gravel for spawning. Also needs cover, cool water and sufficient dissolved oxygen. Occurs in 3 tributaries to Monterey Bay (Pajaro, Salinas and Carmel Rivers), in the small streams of the Big Sur Coast and small intermittent streams in San Luis Obispo County, south to Point Conception.	<b>None:</b> No perennial streams in project area
<b>Amphibians</b>			
<b>Northern red-legged frog</b> <i>Rana aurora aurora</i>	-/CSC	Range occurs from northern Sonoma County to British Columbia. Inhabit perennial and ephemeral streams with quiet waters and dense emergent vegetation.	<b>None:</b> Presence of predators in ponds
<b>California red-legged frog</b> <i>Rana aurora draytonii</i>	FT/CSC	Prefers semi-permanent and permanent stream pools, ponds and creeks with emergent and/or riparian vegetation. Occupies upland habitat especially during the wet winter months.	<b>None:</b> Presence of predators in ponds
<b>foothill yellow-legged frog</b> <i>Rana boylei</i>	SC/CSC	Inhabits permanent, flowing stream courses with a cobble substrate and a mixture of open canopy riparian vegetation.	<b>None:</b> No perennial streams in project area
<b>Reptiles</b>			
<b>western pond turtle</b> <i>Emys marmorata marmorata</i>	SC/CSC	Prefers permanent, slow-moving creeks, streams, ponds, rivers, marshes and irrigation ditches with basking sites and a vegetated shoreline. Requires upland sites for egg-laying.	<b>Low:</b> habitat present although none observed
<b>Birds</b>			
<b>Cooper's hawk</b> <i>Accipiter cooperi</i>	MB/CSC	Nests primarily in deciduous riparian forests. May also occupy dense canopied forests from gray pine-oak woodland to ponderosa pine. Forages in open woodlands.	<b>Moderate:</b> suitable nesting habitat

**APPENDIX B**

**POTENTIALLY-OCCURRING SPECIAL-STATUS SPECIES IN THE PROJECT AREA**

<b>Common Name Scientific Name</b>	<b>Status USFWS/ CDFG</b>	<b>Habitat Affinities and Reported Localities in the Project Area</b>	<b>Occurrence Potential</b>
<b>sharp-shinned hawk</b> <i>Accipiter striatus</i>	MB/CSC	Dense canopy pine or mixed conifer forest and riparian habitats. Water within one mile required.	<b>Moderate:</b> suitable nesting habitat
<b>long-eared owl</b> <i>Asio otus</i>	MB/CSC	Breeds mainly in dense coniferous or mixed woodland, including riverine woodland belt. Nests in large previously used nest of another bird species or squirrel. Nests up to 10-29 ft in height, more rarely on ground or among shrubby growth.	<b>Low:</b> suitable nesting habitat outside 500 feet of project area
<b>marbled murrelet</b> <i>Brachyramphus marmoratus</i>	FT/SE	Nests in old growth forests and can migrate up to 20 miles inland. This species nests in mature conifer forests with open crown canopies or slopes to provide easy access, and large limbs in trees such as Douglas-fir, western hemlock, Sitka spruce, coastal redwood and mountain hemlock.	<b>None:</b> no suitable nesting habitat
<b>northern harrier</b> <i>Circus cyaneus</i>	MB/CSC	Nests and forages in grasslands and open marshland, both salt and fresh. Nests consist of a thin to thick layer of small sticks and reeds, lined with grasses.	<b>None:</b> no suitable nesting habitat
<b>olive-sided flycatcher</b> <i>Contopus borealis</i>	MB/CSC	Nests in open conifer or mixed oak woodland. Nests on horizontal branches, among a cluster of twigs and needles.	<b>Moderate:</b> suitable nesting habitat
<b>Pacific-slope flycatcher</b> <i>Empidonax difficilis</i>	SC, MB/CSC	Found in a variety of habitats including cliff, conifer, forest, hardwood, mixed, and woodland. Nests along streams, in tree cavities, in cliffs, crotch of branch, earth banks, or buildings.	<b>Moderate:</b> suitable nesting habitat
<b>barn swallows</b> <i>Hirundo rustica</i>	MB/-	Nests in anthropogenic structures stuck against a vertical surface. Nest made of mud pellets mixed with vegetable fibers and plant fibers.	<b>Moderate:</b> suitable nesting habitat
<b>black phoebe</b> <i>Sayornis nigricans</i>	MB/-	Nests in anthropogenic structures on ledges. Nest made of mud pellets, dry grasses, weed stems, plant fibers and hair.	<b>Moderate:</b> suitable nesting habitat
<b>rufous hummingbird</b> <i>Selasphorus rufus</i>	SC, MB/-	Nests in chaparral, coniferous forest, scrub habitats and riparian habitats. Nests are placed on a downward drooping structure.	<b>Moderate:</b> suitable nesting habitat
<b>red-breasted sapsucker</b> <i>Sphyrapicus ruber</i>	SC, MB/none	Nests in self-made cavities in aspen-pine, hardwood, mixed, suburban/orchard and coniferous forest, including humid coastal lowlands. Winters also in open woodland and parks.	<b>Moderate:</b> suitable nesting habitat
<b>northern spotted owl</b> <i>Strix occidentalis caurina</i>	FT, MB/-	Dense coniferous and hardwood forest, shaded, steep sided canyons.	<b>None:</b> No suitable nesting habitat in area
<b>Mammals</b>			
<b>red tree vole</b> <i>Arborimus pomo</i>	SC/CSC	Inhabits old growth, North Coast coniferous forests, redwood forests, and montane hardwood coniferous forests. Is found in the North Coast fog belt from Oregon to Sonoma County. Feeds almost exclusively on Douglas fir needles.	<b>Low:</b> suitable nesting habitat
<b>pallid bat</b> <i>Antrozous pallidus</i>	-/CSC	Day roosts include rock outcrops, mines, caves, hollow trees, buildings and bridges. Recent research suggests high reliance on tree roosts	<b>Moderate:</b> suitable roosting habitat

## APPENDIX B

### POTENTIALLY-OCCURRING SPECIAL-STATUS SPECIES IN THE PROJECT AREA

Common Name Scientific Name	Status USFWS/ CDFG	Habitat Affinities and Reported Localities in the Project Area	Occurrence Potential
<b>ringtail</b> <i>Bassaricus astutus</i>	SC/CSC	Most commonly found in riparian habitats, but also in canyon and rocky slopes and chaparral. Nests in downed logs, hollow trees, snags, cavities and rocky areas. Usually not further than 0.5 miles from permanent water.	None: no suitable habitat
<b>Townsend's big-eared bat</b> <i>Corynorhinus townsendii townsendii</i>	-/CSC	Roosting sites include caves, mine tunnels, abandoned buildings and other structures. Forages in a variety of plant communities including coastal conifer and broad-leaf forests, oak and conifer woodlands, arid grasslands and deserts. Most commonly associates with mesic sites. Highly sensitive to human disturbances; a single visit by humans can cause bats to abandon roosts.	<b>Moderate:</b> suitable roosting habitat
<b>small-footed myotis bat</b> <i>Myotis ciliolabrum</i>	SC/-	Roosts in caves, mine tunnels, crevices in rocks and buildings, generally near forested areas. Feeds low among trees or over shrubs.	<b>Moderate:</b> suitable roosting habitat
<b>long-eared bat</b> <i>Myotis evotis</i>	SC/-	Day roosts in hollow trees under exfoliating bark, and crevices in rock outcrops. Found roosting under bark of small black oaks in northern California. Found throughout California	<b>Moderate:</b> suitable roosting habitat
<b>fringed myotis bat</b> <i>Myotis thysanodes</i>	SC/-	Roosts in colonies in caves, cliffs and attics of old buildings. Will also use trees as day roosts.	<b>Moderate:</b> suitable roosting habitat
<b>long-legged myotis</b> <i>Myotis volans</i>	SC/-	Day roosts in hollow trees, particularly large diameter snags or live trees with lightning scars. Habitat usually defined by montane coniferous forests, pinyon-juniper, and Joshua tree woodland habitats.	<b>Moderate:</b> suitable roosting habitat
<b>Yuma myotis bat</b> <i>Myotis yumanensis</i>	SC/-	Roosts colonially in caves, tunnels and buildings. Inhabits arid regions.	<b>Moderate:</b> suitable roosting habitat

#### U.S. FISH AND WILDLIFE SERVICE

- FE = listed as Endangered by the Federal Government  
 FT = listed as Threatened by the Federal Government  
 FPE = proposed as Endangered by the Federal Government  
 FPT = proposed as Threatened by the Federal Government  
 FSS = federal sensitive species, as listed by BLM and USFS  
 C<sup>1</sup> = Candidate; sufficient biological information to support a proposal to list as Endangered or Threatened.  
 SC<sup>1</sup> = Species of Concern  
 MB = migratory non-game birds protected under the Migratory Bird Treaty Act.

#### CALIFORNIA DEPT. OF FISH AND GAME

- CE = Listed as Endangered by the State of California  
 CR = Listed as Rare by the State of California  
 CT = Listed as Threatened by the State of California  
 CPE = Proposed for listing as Endangered  
 CSC = California Special Concern species  
 CFP = Fully protected under the Cal. Fish and Game Code.  
 CP = Protected Species under Cal. Code of Regulations.

## **APPENDIX C**

### **LIST OF PLANT SPECIES OBSERVED IN THE RATNA LING PROJECT AREA FROM 2004 TO 2008.**

**APPENDIX C**  
**LIST OF PLANT SPECIES OBSERVED ON THE RATNA LING SURVEY AREAS 2004 TO 2008.**

<i>Scientific Name</i>	<i>Common Name</i>
<i>Acer macrophyllum</i>	Big leaf maple
<i>Achillea millefolium</i>	Yarrow
<i>Aesculus californica</i>	California buckeye
<i>Aira caryophylla</i> *	Silver European hairgrass
<i>Alisma plantago-aquatica</i>	Water plantain
<i>Alnus rhombifolia</i>	White alder
<i>Anagallis arvensis</i> *	Scarlet pimpernel
<i>Arbutus menziesii</i>	Madrone
<i>Artemisia douglasiana</i>	Mugwort
<i>Avena barbata</i> *	Slender wild oats
<i>Bellis perennis</i>	English daisy
<i>Briza maxima</i> *	Large quaking grass
<i>Briza minor</i> *	Small quaking grass
<i>Brodiaea elegans</i>	Harvest brodiaea
<i>Bromus carinatus</i>	California brome
<i>Bromus diandrus</i> *	Ripgut brome
<i>Bromus hordeaceus</i> *	Soft chess
<i>Bromus laevipes</i>	Brome
<i>Carduus pycnocephalus</i> *	Italian thistle
<i>Carex barbarae</i> (?)	Santa Barbara sedge
<i>Carex brevicaulis</i>	Upland sedge
<i>Carex densa</i>	Dense sedge
<i>Carex</i> sp.	Sedge
<i>Cerastium glomeratum</i> *	Chickweed
<i>Chloragalum pomeridianum</i>	Soaproot
<i>Cirsium vulgare</i> *	Bull thistle
<i>Claytonia perfoliata</i>	Miner's lettuce
<i>Convolvulus arvensis</i> *	Bindweed
<i>Cortaderia jubata</i> *	Jubata grass
<i>Cynoglossum grande</i>	Hound's tongue
<i>Cynosurus echinatus</i> *	Dogtail grass
<i>Cyperus eragrostis</i>	Umbrella sedge
<i>Dactylis glomerata</i> *	Orchard grass
<i>Danthonia californica</i>	California oat grass
<i>Dichelostemma capitatum</i>	Blue dicks
<i>Eleocharis macrostachya</i>	Spike rush
<i>Elodea canadensis</i> *	Common waterweed
<i>Elymus glaucus</i>	Blue wildrye
<i>Erodium botrys</i> *	Long-beaked filaree
<i>Erodium cicutarium</i> *	Red-stemmed filaree
<i>Eryngium</i> sp.	Coyote thistle
<i>Festuca arundinacea</i>	Tall fescue
<i>Festuca idahoensis</i>	Idaho fescue
<i>Filago gallica</i> *	Filago
<i>Fragaria vesca</i>	Wild strawberry
<i>Galium aparine</i> *	Bedstraw

APPENDIX C

LIST OF PLANT SPECIES OBSERVED ON THE RATNA LING SURVEY AREAS 2004 TO 2008.

Scientific Name	Common Name
<i>Geranium dissectum</i> *	Cut-leaf geranium
<i>Heteromeles arbutifolia</i>	Toyon
<i>Holcus lanatus</i> *	Velvet grass
<i>Hordeum brachyantherum</i>	Meadow barley
<i>Hordeum marinum</i> ssp. <i>gussoneanum</i> *	Mediterranean barley
<i>Hordeum murinum</i> ssp. <i>leporinum</i> *	Hare barley
<i>Hypochaeris glabra</i> *	Smooth cat's ear
<i>Hypochaeris radicata</i> *	Hairy cat's ear
<i>Iris douglasii</i>	Douglas iris
<i>Juncus bufonius</i>	Toad rush
<i>Juncus capitatus</i>	Capitate rush
<i>Juncus occidentalis</i>	Western rush
<i>Juncus patens</i>	Spreading rush
<i>Juncus xiphioides</i>	Iris leaved rush
<i>Lathyrus vestitus</i> ssp. <i>bolanderi</i>	Hillside pea
<i>Layia platyglossa</i> ssp. <i>campestris</i>	Layia
<i>Linum bienne</i> *	Flax
<i>Lithocarpus densiflorus</i> var. <i>densiflorus</i>	Tan oak
<i>Lolium multiflorum</i> *	Annual ryegrass
<i>Lotus corniculatus</i> *	Bird's-foot trefoil
<i>Lotus humistratus</i> *	Hill lotus
<i>Lotus oblongifolius</i> (?)	Narrow-leaved lotus
<i>Lythrum hyssopifolium</i> *	Hyssop loosestrife
<i>Madia exigua</i>	Little tarweed
<i>Madia madioides</i>	Tarweed
<i>Medicago polymorpha</i> *	Bur clover
<i>Mentha pulegium</i> *	Pennyroyal
<i>Nasella pulchra</i>	Purple needlegrass
<i>Navarrettia squarrosa</i>	Skunkweed
<i>Oxalis oregana</i>	Redwood sorrel
<i>Phalaris aquatica</i> *	Harding grass
<i>Plagiobothrys</i> sp.	Popcornflower
<i>Plantago lanceolata</i> *	English plantain
<i>Polygala californica</i>	California milkwort
<i>Polypogon monspeliensis</i> *	Rabbits-foot grass
<i>Polystichum munitum</i>	Western sword fern
<i>Potamogeton natans</i>	Broad-leaved pondweed
<i>Prunus</i> sp.*	Fruit tree
<i>Pseudotsuga menziesii</i>	Douglas fir
<i>Psilocharphus</i> sp.	Woolly marbles
<i>Pteridium aquilinum</i>	Bracken fern
<i>Quercus agrifolia</i>	Coast live oak
<i>Ranunculus pusillus</i>	Buttercup
<i>Rhamnus californica</i>	California coffeeberry
<i>Rosa gymnocarpa</i>	Wood rose
<i>Rubus discolor</i> *	Himalayan blackberry
<i>Rubus spectabilis</i> var. <i>franciscanus</i>	Salmonberry

APPENDIX C

LIST OF PLANT SPECIES OBSERVED ON THE RATNA LING SURVEY AREAS 2004 TO 2008.

Scientific Name	Common Name
<i>Rumex acetosella</i>	Sheep sorrel
<i>Rumex crispus</i> *	Curly dock
<i>Rumex pulcher</i> *	Fiddle dock
<i>Sanicula bipinnatifida</i>	Purple sanicle
<i>Sanicula crassicaulis</i>	Snakeroot
<i>Satureja douglasii</i>	Yerba Buena
<i>Sequoia sempervirens</i>	Coast redwood
<i>Silybum maritimum</i> *	Milk thistle
<i>Sisyrinchium bellum</i>	Blue-eyed grass
<i>Smilacina stellata</i>	Solomon's seal
<i>Sonchus asper</i> *	Prickly sow thistle
<i>Spergula arvensis</i> *	Corn spurrey
<i>Stachys ajugoides</i>	Hedge nettle
<i>Symphoricarpos mollis</i>	Creeping snowberry
<i>Thermopsis macrophylla</i>	False-lupine
<i>Torilis arvensis</i> *	Hedge parsley
<i>Toxicodendron diversilobum</i>	Poison oak
<i>Trifolium dubium</i> *	Clover
<i>Trifolium hirtum</i> *	Rose clover
<i>Trifolium incarnatum</i> *	Scarlet clover
<i>Trifolium subterraneum</i>	Subterranean clover
<i>Triteleia hyacinthina</i>	White brodiaea
<i>Triteleia laxa</i>	Ithuriel's spear
<i>Typha angustifolia</i>	Narrow-leaved cattail
<i>Typha latifolia</i>	Broad-leaved cattail
<i>Umbellularia californica</i>	California bay laurel
<i>Vaccinium ovatum</i>	California huckleberry
<i>Vicia disperma</i>	Small-flowered vetch
<i>Vicia sativa</i> *	Spring vetch
<i>Vulpia myuros</i> *	Rattail fescue
<i>Woodwardia fimbriata</i>	Giant chainfern

- = Non-native species



**APPENDIX C**  
**LIST OF PLANT SPECIES OBSERVED ON THE FORMER DIXIE PROPERTY OR FILL SITE #1**  
**ON MAY 22, 2008.**

<b>Scientific Name</b>	<b>Common Name</b>
<i>Adenocaulon bicolor</i>	Trail marker, silver arrow
<i>Adiantum jordanii</i>	California maidenhair fern
<i>Avena barbata</i> *	Slender wild oats
<i>Bellis perennis</i> *	English daisy
<i>Briza maxima</i> *	Large quaking grass
<i>Bromus carinatus</i>	California brome
<i>Bromus diandrus</i> *	Ripgut brome
<i>Bromus hordeaceus</i> *	Soft chess
<i>Bromus laevipes</i>	Brome
<i>Carduus pycnocephalus</i> *	Italian thistle
<i>Carex densa</i>	Dense sedge
<i>Carex</i> sp.	Sedge
<i>Cirsium vulgare</i> *	Bull thistle
<i>Claytonia perfoliata</i>	Miner's lettuce
<i>Corylus cornuta</i>	Hazelnut
<i>Cynoglossum grande</i> *	Hound's tongue
<i>Cynosurus echinatus</i> *	Dogtail grass
<i>Dactylis glomerata</i> *	Orchard grass
<i>Danthonia californica</i>	California oat grass
<i>Dichelostemma capitatum</i>	Blue dicks
<i>Elymus glaucus</i>	Blue wildrye
<i>Festuca arundinacea</i> *	Tall fescue
<i>Festuca californica</i>	California fescue
<i>Fragaria vesca</i>	Wild strawberry
<i>Galium aparine</i> *	Bedstraw
<i>Galium porrigens</i>	Climbing bedstraw
<i>Hordeum marinum</i> ssp. <i>gussoneanum</i> *	Mediterranean barley
<i>Hordeum murinum</i> ssp. <i>leporinum</i> *	Hare barley
<i>Hypochaeris radicata</i> *	Rough cat's-ear
<i>Iris macrosiphon</i>	Iris
<i>Juncus patens</i>	Spreading rush
<i>Linum bienne</i> *	Flax
<i>Lithocarpus densiflorus</i> var. <i>densiflorus</i>	Tan oak
<i>Lotus humistratus</i> *	Hill lotus
<i>Mentha pulegium</i> *	Pennyroyal
<i>Mentha spicata</i> *	Spearmint
<i>Phalaris aquatica</i> *	Harding grass
<i>Plantago lanceolata</i> *	English plantain
<i>Polygala californica</i>	California milkwort
<i>Polystichum munitum</i>	Western sword fern
<i>Potentilla</i> sp.	Potentilla
<i>Prunella vulgaris</i> var. <i>lanceolata</i>	Self-heal
<i>Pseudotsuga menziesii</i>	Douglas fir
<i>Pteridium aquilinum</i>	Bracken fern
<i>Quercus agrifolia</i>	Coast live oak

**APPENDIX C**  
**LIST OF PLANT SPECIES OBSERVED ON THE FORMER DIXIE PROPERTY OR FILL SITE #1**  
**ON MAY 22, 2008.**

<i>Scientific Name</i>	<b>Common Name</b>
<i>Rosa</i> sp.	Rose
<i>Rubus discolor</i>	Himalayan blackberry
<i>Rubus ursinus</i>	California blackberry
<i>Rumex acetosella</i> *	Sheep sorrel
<i>Rumex crispus</i> *	Curly dock
<i>Sambucus mexicana</i>	Blue elderberry
<i>Sanicula crassicaulis</i>	Snakeroot
<i>Satureja douglasii</i>	Yerba Buena
<i>Sequoia sempervirens</i>	Coast redwood
<i>Smilacina stellata</i>	Solomon's seal
<i>Symphoricarpos mollis</i>	Creeping snowberry
<i>Thalictrum fendleri</i> var. <i>polycarpum</i>	Meadow-rue
<i>Torilis arvensis</i> *	Hedge parsley
<i>Toxicodendron diversilobum</i>	Poison oak
<i>Trifolium hirtum</i> *	Rose clover
<i>Umbellularia californica</i>	California bay laurel
<i>Vaccinium ovatum</i>	California huckleberry
<i>Vicia</i> sp.	Vetch

\* = Non-native species

**Summary of Biological and Wetland Issues at the Western and Eastern Cave and Disposal Sites,  
Ratna Ling Retreat Center. July 1, 2008.**

Site/Area	Primary Habitats Present	Potential Special-status Wildlife Species	Potential Special-status Plant Species	Stream and Wetland Setbacks	Wetlands and Waters	Construction Constraints
Western Cave and Access Roads	Grassland and mixed evergreen forest	Roosting bats	None*	25-foot minimum	No verified mapping from the Corps. Presently undergoing delineation. Preliminary mapping indicates no impacts on jurisdictional areas.	Trees containing suitable potential roost habitat shall be removed only during seasons when bats are active and young are Volant, which is from approximately February 15 to April 15 and again from August 1 to October 15.
Fill Site #1 (former Dixie property)	Mixed evergreen forest	Nesting birds and roosting bats	None*	25-foot minimum	No verified mapping from the Corps. Presently undergoing delineation. Preliminary mapping indicates impacts on small drainageways.	1) Grading or removal of nesting trees should be conducted outside the nesting season, which occurs between approximately February 15 and August 15. 2) Trees containing suitable potential roost habitat shall be removed only during seasons when bats are active and young are Volant, which is approximately February 15 to April 15 and again from August 1 to October 15.
Fill Site #2	Mixed evergreen forest (disturbed)	None	None*	25-foot minimum.	Wetland mapping of most of area has been verified by the Corps. Remainder of area presently undergoing delineation. Mapping indicates no jurisdictional areas present.	
Eastern Cave, Exhibition Hall, and Access Roads	Anthropogenic (tennis court and dirt access roads) and oak woodland	Nesting birds	None*	25-foot minimum	Wetland mapping of most of area has already been verified by the Corps. Remainder of area presently undergoing delineation. Mapping indicates that two small drainageways and small seasonal wetland exist in vicinity.	Grading or removal of nesting trees should be conducted outside the nesting season, which occurs between approximately February 15 and August 15.
Fill Site #3	Grassland and mixed evergreen forest	Nesting birds and roosting bats	None*	25-foot minimum	Wetland mapping of entire area has been verified by the Corps. Mapping shows small	1) Grading or removal of nesting trees should be conducted outside the nesting season, which occurs between

					<p>drainageway and a small seasonal wetland exist in vicinity.</p>	<p>approximately February 15 and August 15.  2) Trees containing suitable potential roost habitat shall be removed only during seasons when bats are active and young are volant, which is approximately February 15 to April 15 and again from August 1 to October 15.</p>
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\* Surveys for special-status plants have been conducted for all of the sites and no special-status plants were found during appropriately timed surveys.

**Summary of Biological and Wetland Issues at the Western and Eastern Cave and Disposal Sites,  
Ratna Ling Retreat Center. July 1, 2008.**

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Fill Site #2	Mixed evergreen forest (disturbed)	None	None*	25-foot minimum.	Wetland mapping of most of area has been verified by the Corps. Remainder of area presently undergoing delineation. Mapping indicates no jurisdictional areas present.	
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\* Surveys for special-status plants have been conducted for all of the sites and no special-status plants were found during appropriately timed surveys.

Att: Paul Deville

July 13, 1999

E. H. Boudreau  
1209 Beattie Lane  
Sebastopol, CA 95472  
(707) 824-8241

Paul Deville - Asa Properties Inc.  
2447 Makiki Heights Drive  
Honolulu, Hawaii 96822

Dear Sir:

On Monday, July 12, I went to the Timberhill Ranch and visited the wells and springs and storage tanks in the company of Frank Watson. I'd brought along a copy of my January 1985 report on the geology and wells of the property, and Mr. Watson told me what had been done to develop more water since then. This information has been illustrated on Figure 1, a map showing the locations of the wells, dry holes, springs and water storage tanks, and on Figure 2, which contains diagrams of the wells.

100 gal  
per cottage  
per day  
(2 persons)  
+ staff

According to Mr. Watson, the maximum water use of 50 persons is about 1200 gallons per day, which is only 24 gallons per person per day, which is very low. If the use were 100 gallons per day per person, this would amount to 3.5 gallons per minute.

Production figures for the wells come from Watson and the Weeks drillers' logs of the wells they drilled. The drillers' blow tests lasted for only from 0.75 to 1.5 hours, which is very short, and wells #4 and #5 were drilled and tested in January, when the water table is highest. Well #3 was drilled in September, and as it tested 15 gpm I wonder why additional wells were drilled. Well #1 had a low summer yield, but after my report an attempt at deepening it—which failed—the well is said to have produced 20 gpm—apparently from drilling vibrations breaking loose mineral incrustations that were plugging perforations; but a 200-foot dry hole was drilled just 20 feet away. The location of a 186-foot dry hole drilled by Weeks in 1987 is unknown.

To get more accurate figures on the wells' production, longer pumping tests should be run—say 48 hours—with measurements on the static and pumping levels, the gpm, and the recovery rate.

Run the water 200 feet away from a well to avoid recirculation.

E. H. Boudreau  
Registered Geologist #3000

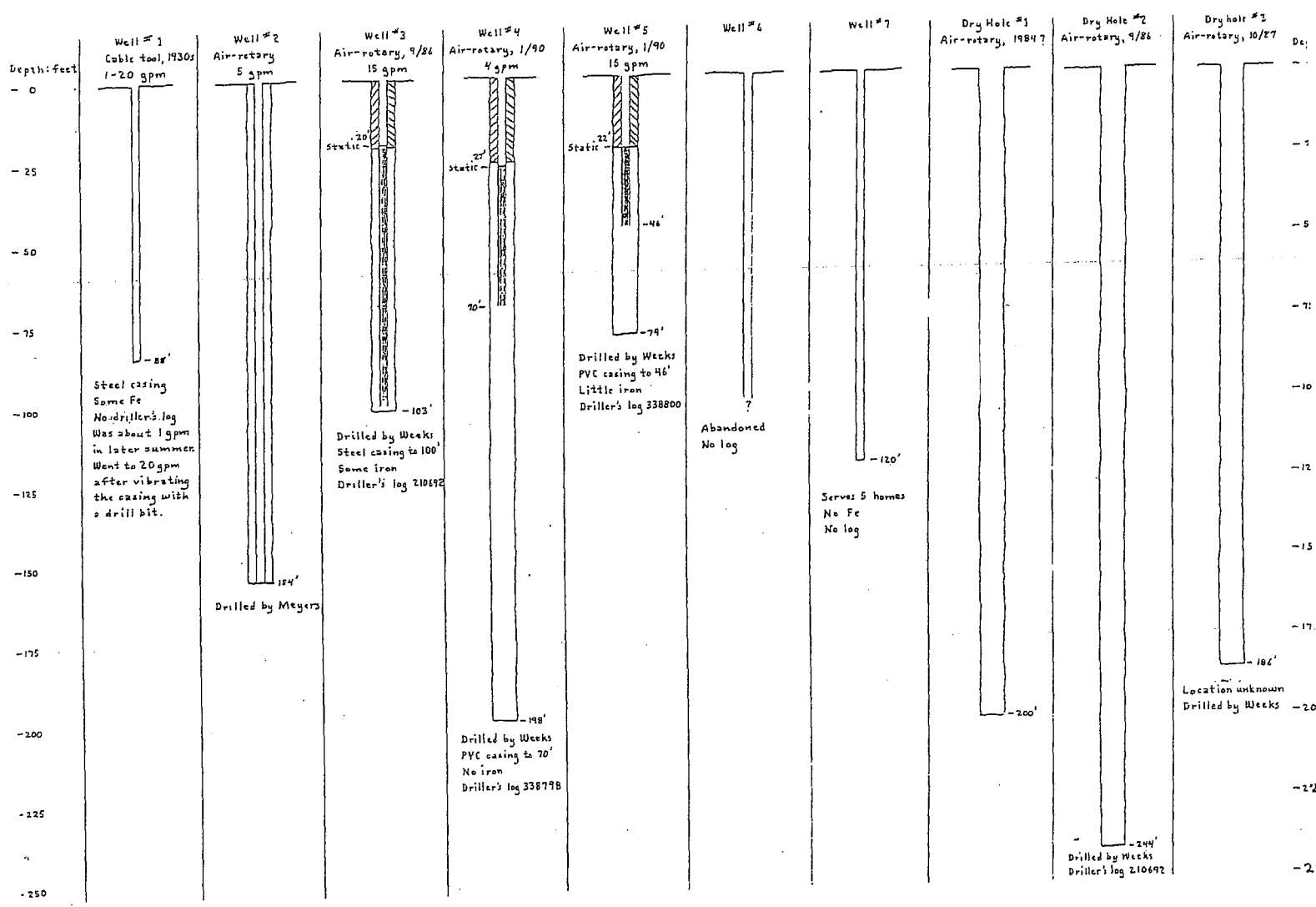
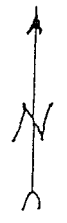




Figure 1  
Wells, Dry Holes  
Springs & Storage  
Tanks

LEGEN

- ⊗ Well in use
- ⊕ Abandoned well
- ⊗ Dry hole
- (T) Storage tank
- [T] Storage box



Scale:  
200 feet

#4 ⊗ Drilled to 198  
Cased to 70'  
Tested 4 gpm

(T) 10,500 gal  
#2 ⊗ Depth: 154'  
Tested 5 gpm

#5 ⊗ Drilled to 79'  
Cased to 46'  
Tested 15 gpm

(T) 8,000 gal

(T) (T) (T)  
10,500 gal each

Hauser Bridge Road

#1 ⊗ ⊗ ⊗ Depth: 200'  
Depth: 85'  
Tested 20 gpm  
(was ± 1 gpm in the summer)

Timberhill Ranch

[T] 2,000 gal  
(T) 10,500 gal

#7 ⊗ Serves 5 homes  
#6 ⊕

2 gpm ⊗ ⊕

#3 ⊗ Drilled to 103'  
Cased to 100'  
Tested 15 gpm

2 gpm ⊗

2 gpm ⊗

Total well production = ± 60 gpm -  
(from original drillers' tests & Frank Wats  
Total spring flow = 8 gpm  
(late summer)  
Total well water storage = 62,500 gal  
Spring flow storage = ± 16,000 gal  
(pond storage not included)  
Present maximum water use = ± 1200 gal/d.  
(50 staff & guests) Seems very low.  
Note: Sustained pumping of any of the  
wells would probably result in much low  
yields. Pumping tests of  
48 hours would give more  
accurate pumping rates.  
Weeks has never run any  
pumping tests.

[T] 16,000 gal  
⊕  
2 gpm

#2 ⊗ 9/86  
Depth: 244'

GEOLOGY & GROUND WATER POTENTIAL OF THE TIMBER HILL RANCH  
35755 Hauser Bridge Road, Cazadero, California

Introduction

The Timber Hill Ranch consists of 67 acres lying along the east side of Hauser Bridge Road 0.7 mile north of the intersection of Hauser Bridge Road with Sea View Road. It is about 0.5 mile NE of Plantation. Guest Ranch facilities are being built, and it is hoped that the present summer supply of ground water can be increased from 5 gpm to 15 or 20. However, a recent attempt at drilling another well was unsuccessful. On January 5, 1984, I made an inspection of the surface geology and wells on and around the property for the purpose of determining the general ground water potential and to select favorable sites for test well drilling; I was accompanied by Mike Riordan. This report contains my observations and recommendations.

General Geology

The ranch lies along the crest and east slope of a northerly trending ridge that lies to the west of the South Fork of the Gualala River. Elevations on the property range between 700 to 1100 feet above sea level. Soil cover masks most of the bedrock and its details, but there are enough outcrops and information from drillers' logs to give a rough picture of the geologic situation. Some information on the surface geology of the area is shown on maps that are a part of the California Division of Mines' SPECIAL REPORT 120, on a scale of one mile to the inch.

All of the bedrock underlying the ranch belongs to the Mesozoic-age Franciscan Formation, which is 80 to 140 million years old and an estimated 50,000 feet thick. The Franciscan underlies most of Sonoma County, as well as much of the rest of the California Coast Ranges. It is made up of a group of highly-consolidated marine sediments (sandstone, shale and chert), marine volcanics (called greenstone), intrusive bodies of

serpentine, and metamorphosed derivatives of these rocks.

During its long history the Franciscan has been strongly deformed and broken during numerous episodes of folding and faulting caused by stresses in the earth's crust. These movements have created such a complex structural arrangement of the rocks that it is impossible to make exact predictions of the conditions at depth. There are wide fault zones in the Franciscan along which the rocks are so sheared and mixed together that the mixture is called melange. Melange is high in shale (compacted clay), as shale is a weak rock and faults tend to follow the line of least resistance.

Most of the ranch is underlain by shaley melange, but the southern portion is underlain in the main by sandstone (cemented sand), as seems to be the crest of the ridge to the west of the ranch. Some of the sandstone has a bleached look caused by hydrothermal (hot water) activity at some time in the past.

Figure 1 is a map of the surface geology and wells. Figure 2 is a generalized geologic cross-section through the ranch showing the possible relationships at depth as projected from available information.

#### Ground Water & Wells

All ground water in the area is derived from local rainfall that has percolated down into the rock, and it exists in small fractures in the zone of saturated rock below the water table. (There are no underground streams to be found.) Movement of the water is from the ridge down towards the neighboring valleys. Depth to the table varies with local geologic, topographic, and hydrologic conditions. Fluctuation in the table could be from 20 to 30 feet, with the level being highest in the spring and lowest in early fall. Several springs come out of the sandstone on the ranch.

An old 85-foot well on the ranch goes nearly dry during the summer, and close to it a 1 gpm test well was drilled in melange to 200 feet.

The main well is 154 feet deep and pumps 5 gpm; it, too, is in melange. (The log for this well could not be inspected.) It and the 200-foot hole were drilled with air-rotary equipment.

No drilling has been done in the massive sandstone on the ranch.

A well is successful when it penetrates permeable rock below the water table, allowing usable amounts of water to flow through the rock and into the well. The well's yield depends on the rock's thickness and its degree of permeability. The methods used in drilling, equipping, and developing the well influence its maximum yield, its operating characteristics, and life.

Permeability is a measure of the ease with which water moves through rock, and it depends on the amount and size, and interconnectedness, of the pore spaces in the rock. The amount of water that a rock contains may have no bearing on how much it will yield, as a clay can be 40% water by weight and still be impermeable as the water is held in the clay by capillary forces. It is impossible in advance of drilling to predict exactly how much usable water will be found beneath the surface, although with enough information on the local geology fairly accurate estimates can be made. From past drilling in the Franciscan, the general permeabilities of its rocktypes are known.

With favorable geology governing the availability of ground water, it follows that the most practical exploration technique for finding water is to try to drill in the most permeable rock, and to avoid drilling in impermeable rock. In complex situations, as in the Franciscan with its mixture of impermeable and potentially permeable rocktypes, drilling involves taking a risk; so, the information obtained during the drilling must be interpreted right along to see if the test hole should go deeper.

Since Franciscan rocks are so highly-consolidated (from deep burial for millions of years), they have no primary (or intergranular) porosity and permeability as occurs in loose sand and gravel, and the result is many dry holes. Successful wells have penetrated zones in the hardest and most brittle of the rocktypes (the sandstone, chert, and greenstone) where faulting and fracturing have created some secondary porosity and permeability in the form of small, open fractures. Rarely do shale and serpentine contain open fractures, since their rather soft and therefore semi-plastic natures cause the breaks in them to be sealed by the pressure of the overlying rock; so, they are impermeable and yield little or no water.

There is no way of locating the open, water-bearing fractures, or to measure their yields, except by drilling. An extensive pumping test is needed to determine the well's sustained yield.

The yield of a Franciscan well depends on the number, width, and extent of the water-bearing fractures penetrated, but often it is less than 10 gpm

since the fractures make up but a small portion (perhaps 1-2%) of the total volume of the rock. Some wells yield 500 gpm, and 20 to 50 gpm is common. Most wells that penetrate a fair thickness of the right rocktypes yield at least enough water for a home. Initial yields may drop off with sustained pumping if the permeable rock is only a small mass surrounded by impermeable rock that blocks recharge of the pumped-out fractures.

When exploring in essentially massive rock for water-bearing fractures, a depth of about 300 feet is the point of diminishing returns for a domestic well. The reason is that increasing pressure with depth tends to seal deep fractures. Sometimes deeper drilling is justified, as on a steep ridge made up of highly-fractured rock, there being a deep water table and little side pressure.

Most water in the Franciscan is of good mineral quality, but there can be troublesome amounts of dissolved iron, manganese, calcium carbonate (hardness), hydrogen sulfide, and methane. Probably most of the iron comes from oxidizing pyrite ( $\text{FeS}_2$ ) that was deposited in fault zones by hot mineralized water at some time in the past; but this iron can be removed from water by passing it through a water softener, or it can be allowed to precipitate and settle out in a storage tank.

Potentially permeable Franciscan rock is hard, and so rotary drilling equipment is needed. Cabletool rigs are too slow, and bucket rigs cannot drill it at all.

When exploring in hard rock for small water-bearing fractures, the air-rotary method of drilling is preferable over the mud-rotary method for the following reasons:

1. The locations and approximate yields of the fractures are known as soon as they are penetrated because the water is blown right to the surface and can be measured with a bucket and a watch.
  2. There is no risk in plugging the water-bearing fractures with stiff, viscous mud and thus sealing-off part--or even all--of the water. This is especially important in marginal wells.
  3. Only the right amount of casing is used, and the perforations are sited opposite the permeable zones.
  4. The mineral quality of the water from different zones can be checked.
- If caving conditions in the hole cause mud to be used, then a chemical, self-liquifying mud should be used instead of bentonite clay.

Summary & Recommendations

Additional water is needed for the Timber Hill Ranch, which is underlain in most areas by melange, which contains a high proportion of impermeable shale. Drilling done to date has been in the melange, with some water being produced from fractures in sandstone. A great deal of sandstone, which is potentially permeable because it can have open fractures, can be seen in the southern portion of the ranch, and there are several springs there. Although sandstone usually has enough open fractures cutting it to supply usable amounts of water, the erratic distribution and nature of the fractures make it impossible in advance of drilling to predict their exact locations and yields.

It is recommended that the sandstone in the southern portion of the ranch be explored by drilling a test well in the SW corner with air-rotary equipment to a minimum depth of 200 feet, as long as the rock remains favorable; maximum depth could be about 300 feet. Drilling should stop once about 40 feet of shale or serpentine is encountered. This is #1 site on Figure 1, and it is considered to be the most favorable as there is sandstone on all 4 sides of the location. It is easily accessible for a drillrig, and there is power nearby.

Sites #2 and #3 are also located on sandstone, and they are closer to the house; but they do not appear to be located as far inside the main sandstone mass as #1.

If inspection of the log of the 5 gpm well shows that it ended up in sandstone then the well might be turned into a better producer by deepening it by another 100 feet or more.

*E. H. Boudreau*  
E. H. Boudreau

Registered Geologist #3000

January 7, 1985

Fox + Rault to: JS, JF, BJ, MTH  
8/26

August 21, 1999

E. H. Boudreau  
 1209 Beattie Lane  
 Sebastopol, CA 95472

Paul Deville  
 ASA Properties, Inc.  
 2447 Makiki Heights Drive  
 Honolulu, Hawaii 96822

Dear Sir:

On Sunday, August 15, I conducted a pumping test involving wells 1 and 3 on the Timberhill Ranch. Before the testing, I called Mr. Watkins to discuss the procedures to be used. I said that I would be pumping the wells for several hours, and would be measuring the water levels in the wells, the flows, and the recovery rates. He said there were openings in the tops of both wells so the levels could be measured with a weighted line (but well 1 proved not to have any opening). He said that he didn't want the water pumped to waste on the ground, but that he would empty one of the 8000 gallon storage tanks, and that I could calculate the amount of water pumped into it by the water level float on the tank.

The chart I sent you shows the measured static, pumping and recovery levels of the water in well 3, and the times they were taken. The last reading was taken by Mr. Watkins, which showed an almost complete recovery. This well's yield had been rated at 15 gpm by the driller. There is a faucet on the pipe coming from the well, but its diameter allowed a flow of only about 6 gpm, which it maintained throughout the test. Although we know the depth, pump setting, and the water levels during the test, we don't know just where the water-bearing zones in the well are, which are very important in evaluating the well's long term capacity.

For well 1, I assumed the static level to be where the driller's log showed it to be. The faucet on this well allowed a flow of 6 gpm. Pumping levels, except for when the well's pumping level got down to the level of the pump, are not known; nor are the recovery levels.

Mr. Watson had shut the pumps off the night before the test.

Each foot of depth in the 8000-gallon tank holds 926 gallons, as the tank seller told Mr. Watson. During the test, I measured the water level in the tank to get the hourly combined flow of the two wells. In the first hour it rose 9.25 inches, but in the next four hours it rose 17 inches every hour. (During the first hour the float tube may have gotten hung up.) Seventeen inches per hour (77 gallons per inch) equals 1300 gallons, or 20 gpm.

After the first 5 hours of pumping, water had to be drained into an adjacent tank. About 7600 gallons of water were pumped from the 2 wells during the entire test. If there are to be about 65 people on the property (22 cabins plus staff), and the water use is 50 gallons per person per day, this comes to 3250 gallons per day, or 2.5 gallons per minute of steady flow (24 hours per day). For the five dry months of the year, during which there is no recharge from rain, pumpage would total around 487,500 gallons, or 1.5 acre-feet. Part of the water used on the property would percolate back down into the rock, helping to recharge the ground water.

Mr. Watkins stated that the cabins were all full, and he did have water in the tanks.

It appears that there is an adequate supply of ground water for the present and proposed facilities. If water were to run short, there is ample room in which to drill additional wells, although not every attempt could be successful.

*E. H. Boudreau*

Registered Geologist

#3000



November 8, 1999

E. H. Boudreau  
1209 Beattie Lane  
Sebastopol, CA 95472

Common Ground  
411 Russell Avenue  
Santa Rosa, California

Dear Sir:

With respect to the Timberhill Ranch property, from having studied the geology and ground water potential, along with doing well testing, it looks to me that, consistent with proposed water use, there should be no shortage of water. And there should be no adverse impact on wells on neighboring properties.

*E. H. Boudreau*  
Registered Geologist  
#3000

July 29, 2011

Mr. Gene Gretchen  
Ratna Ling Retreat Center  
35755 Hauser Bridge Road  
Cazadero, CA 95421

Rec'd  
8-1-11  
JH



Whitlock & Weinberger  
Transportation, Inc.

490 Mendocino Avenue  
Suite 201  
Santa Rosa, CA 95401

voice 707.542.9500  
fax 707.542.9590  
web www.w-trans.com

## Ratna Ling Retreat Center Traffic Study

Dear Mr. Gretchen;

Whitlock & Weinberger Transportation, Inc. (W-Trans) has completed a focused analysis of traffic issues relative to the Ratna Ling Retreat Center Master Use Permit Application. The Ratna Ling Retreat Center, located at 35755 Hauser Bridge Road in unincorporated Sonoma County near the communities of Cazadero and Timber Cove, has been operating since 2004 under multiple permits and is proposed to expand while formalizing all current uses under a single master use permit.

### Project Description

The Ratna Ling Retreat Center is a Buddhist retreat and religious center that accommodates short-term (generally four to five days) guests, seasonal residents and permanent residents on a 120-acre site. A volunteer staff lives on-site and it is common for guests to volunteer during part of their stay at the center. The expanded site would include 20 guest cottages, a six-bedroom cottage, a seasonal campground, staff lodging and supporting dining and retreat facilities. In addition to the retreat operation, the center includes a printing press that produces religious texts, sacred text treasuries and storage facilities. As part of the proposed expansion, the center would include a wellness center and senior care center which may include a health clinic at some point in the future.

It is our understanding that the County approved a commercial resort (Timber Hill) for the site in 1982 with modifications in 1988, 1997 and 2000 that included a lodge, guest accommodations, spa and freestanding pub with public dining. Due to economic conditions this project was abandoned, at which time the site was obtained by Ratna Ling and converted to the current non-profit retreat center.

### Study Area

The study area consists of Hauser Bridge Road, which provides direct access to the Ratna Ling Retreat Center approximately 0.8 mile north of the intersection of Hauser Bridge Road with Seaview Road. The segment of Seaview Road east of Hauser Bridge Road was also included in the study area.

Hauser Bridge Road is a winding road varying in width between 12 and 20 feet. Vehicle counts were obtained near the project site for one week, and showed that daily traffic on Hauser Bridge Road varies from approximately 50 to 80 vehicles per day. Of these trips an average of approximately five trips occurred during the a.m. peak hour and six during the p.m. peak hour. During the same time period, Seaview Road averaged approximately 150 vehicles per day. Copies of the traffic counts are enclosed for reference.

The Sonoma County Transportation Authority's (SCTA) Travel Demand Forecasting Model projects a growth of about 18 percent in traffic by 2035 in the vicinity of Ratna Ling Retreat Center. If growth of

this magnitude were experienced in the study area, as predicted by the model, a total volume of 95 vehicles per day on Hauser Bridge Road and 177 vehicles per day on Seaview Road would result.

### **Trip Generation**

The Ratna Ling Retreat Center applicant provided a projection of future traffic volumes based on historic operations. To ensure a conservative analysis, standard trip generation rates were applied even though this results in a much higher projected trip count than the applicant anticipates based on past experience. The anticipated trip generation for proposed projects is typically estimated using standard rates published by the Institute of Transportation Engineers (ITE) in *Trip Generation*, 8<sup>th</sup> Edition, 2008. The Ratna Ling Retreat Center does not clearly match any of the land uses presented in *Trip Generation*, so several land uses were considered to determine the closest fit. It was determined that the best match for the site was to use the published standard rates for Recreational Homes (ITE LU 260). The next closest land use considered for the site was Resort Hotel (LU 330); however, the center operates considerably differently than a resort hotel where guests commonly leave from and return to the site multiple times through the day, so it was determined that the recreational homes rate would better fit the center's operations.

Based on application of the recreation homes rate for the existing 14 guest cottages at Ratna Ling Retreat Center, it is estimated that the site would generate approximately 44 daily trips. This would account for the vast majority of the 50 to 80 daily trips counted on Hauser Bridge Road and there are other homes located along the road that would also contribute to this daily volume, and would be expected to generate up to 10 daily trips each based on standard rates.

Given the existing use of the site and observed average traffic volumes, the use of recreational homes is likely an over-estimation of traffic that would be generated by the proposed expansion. Furthermore, the Recreational Homes land use description indicates that these homes are "usually located in a resort containing local services and complete recreational facilities." Because of this conservative estimation, all other uses on the site including the seasonal camp ground and senior care center were considered to be included within this trip generation potential, with the exception of truck trips associated with the printing press, which are estimated to be approximately one round-trip per day based on historic operations.

With the proposed expansion to 26 guests units, it is expected that the site would generate an average of 82 daily vehicle trips plus two truck trips, which is an increase of 38 daily trips. Based on the volumes currently generated by the existing operation, it is expected that application of these ITE rates results in an over-estimation of trip generation potential for the Ratna Ling Retreat Center. Based on historic operation, it is estimated that upon completion of the master plan the center would generate a total of about 36 vehicle trips per day; however, the ITE rates were applied to ensure a conservative analysis.

### **Site Access**

Site access to the Ratna Ling Resort Center was evaluated based upon design standards published by the American Association of State Highway and Transportation Officials (AASHTO) in *Guidelines for Geometric Design of Very Low-Volume Local Roads*, which is intended for streets with an average daily traffic (ADT) of 400 vehicles per day or less. This guide is intended to supplement AASHTO's *A Policy on Geometric Design of Highways and Streets*. Both Hauser Bridge Road and Seaview Road currently meet this low-volume criterion and are projected to continue to meet this criterion under future conditions. Furthermore, even with the very conservative assumptions regarding additional traffic from the

proposed Ratna Ling Retreat Center expansion along with projected regional future growth in traffic volumes, both streets are expected to continue to be classified as low-volume roads.

Hauser Bridge Road does not have a posted speed limit, and due to the low volume of traffic it was not possible to conduct a radar speed survey to determine the typical travel speed. Considering the narrow, winding configuration, a design speed of 25 miles per hour (mph) was used for analysis purposes; however, slower speeds are generally expected on narrow sections and curves.

The primary access concern for the project is that much of Hauser Bridge Road is too narrow to allow opposing vehicle to pass. Furthermore, much of the road lacks shoulders, restricting the opportunity for a driver to pull over to allow another driver to pass. Because of this, it is necessary for two oncoming opposing drivers to have adequate sight lines to see the opposing driver and come to a full stop to avoid a collision. For a design speed of 25 mph, a stopping sight distance of 125 feet is recommended by AASHTO, but that decreases to 65 feet at speeds of 15 mph which is more likely at sharp curves. Since both drivers need to be able to react and come to a stop, these distances are doubled on one-lane roads, resulting in 250 feet for 25 mph and 130 feet for 15 mph.

During a field visit, a total of eleven curves with restricted sight distance were identified on Hauser Bridge Road between Seaview Road and the Ratna Ling Retreat Center. Most curves had 160 to 230 feet of clear sight lines available; however, one curve was identified as having only 110 feet of clear sight distance at the most restrictive point. Sight distance restrictions are due to a combination of horizontal and vertical curves as well as trees and other vegetation adjacent to the street. Most curves have acceptable sight distance for speeds of up to 15 mph, but not for 25 mph. This is expected to result in adequate operation for the majority of drivers, but may not be adequate for drivers choosing to drive faster than 15 mph. Furthermore, the curve identified which has only 110 feet of clear sight lines is not acceptable for speeds of 15 mph.

Major reconstruction of Hauser Bridge Road would be necessary to improve sight distance. AASHTO identifies that while designing a new street to full standards is ideal, modification to existing sub-optimal streets may not be feasible or necessary, as described below:

*Given the geometry of stopping sight distance on horizontal and crest vertical curves, the cost for even marginal or incremental improvements make reconstruction of very low-volume local roads to increase stopping sight distance not cost-effective except in unusual cases...Because sight distance improvements are unlikely to be cost-effective under most circumstances, the existing sight distance on a very low-volume local road may be allowed to remain in place unless there is evidence of site-specific safety problem attributed to inadequate sight distance.*

The collision history for the study area was reviewed and evaluated to determine if there are any existing critical safety issues. Generally collision records are examined for a five year period, but given the low volumes a ten year period of 2000-2009 was reviewed, during which time there were no reported collisions on Hauser Bridge Road from Seaview Road to over one-mile beyond the Ratna Ling site to the north. This indicates that despite the Hauser Bridge Road's sub-optimal width and curves, there are no existing safety issues. Therefore, no improvements to the sight distance on Hauser Bridge Road are recommended based upon AASHTO requirements. Although no improvements to sight lines are recommended, it is recommended that a curve warning sign with supplemental 15 mph advisory speed limit sign (CA MUTCD W1-5 and W13-1) be installed on Hauser Bridge Road near the intersection of Seaview Road to warn drivers of the conditions.

With the proposed master use permit, trucks would be limited to 24 feet in length and currently no such limit exists. This is considered to be an improvement over existing conditions as larger trucks may have a difficult time traversing Hauser Bridge Road.

Two large pullouts are available on Hauser Bridge Road between Seaview Road and Ratna Ling Retreat Center along with several areas with shoulders that permit a driver to partially pull off the street. While it would be preferable to provide more turn outs, as with the sight distance, since there are no demonstrated safety issues with the configuration, no modifications are recommended.

Seaview Road is 18 to 20 feet wide with a striped centerline for much of the road, so there is adequate space for opposing drivers to pass, therefore oncoming sight lines were not studied.

### **Conclusions and Recommendations**

- The Ratna Ling Retreat Center currently has the potential to generate an average of 44 daily vehicle trips, but based on existing very low traffic volumes on Hauser Bridge Road, it is likely that the center generates considerably less traffic.
- With the proposed expansion, the Ratna Ling Retreat Center could generate an average of 82 vehicle trips per day, but is likely to be lower based upon historical operations.
- The printing operation at the Ratna Ling Retreat Center currently generates about two truck trips daily (one round trip), which is expected to continue unchanged with the proposed expansion.
- Access to the site is taken from Hauser Bridge Road which is a winding, 12 to 20 foot wide road.
- Eleven locations of restricted sight distance were identified along Hauser Bridge Road. Ten of these locations have adequate sight distance for drivers traveling at 15 mph, but not at the assumed design speed of 25 mph. One curve does not have adequate sight distance to meet standards for a 15 mph travel speed.
- For the ten-year period of 2000-2009 there were no reported collisions on Hauser Bridge Road between Seaview Road and one mile north of the Ratna Ling Retreat Center.
- Hauser Bridge Road meets AASHTO standards for a very low-volume road, which permits less than optimal conditions to remain on an existing road if there is no documented historical safety issue.
- Since there is no history of collisions on Hauser Bridge Road, no improvements to the road are recommended.
- The proposed project would restrict truck lengths to 24 feet which is an improvement over current conditions where no such restrictions exist.
- To warn drivers of the narrow, winding nature of Hauser Bridge Road, installation of curve warning and 15 mph advisory speed limit signs is recommended.

Mr. Gene Gretchen

Page 5

July 29, 2011

Thank you for asking us to provide these services and please contact us if you have questions.

Sincerely,

Tony Henderson, PE  
Engineer

Dalene J. Whitlock, PE, PTOE  
Principal

DJW/tdh/SOX378.LI

Enclosures: Traffic Counts

Prepared by NDS/ATD

Volumes for: Tuesday, February 15, 2011

City: Sonoma County

Project #: 11-7060-001

Location: Hauser Bridge Road east of Seaview Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	1			0	0				
12:15	0	0			0	0				
12:30	0	0			0	0				
12:45	1	0	1	1	0	1	0	1	1	2
1:00	0	1			0	2				
1:15	0	1			0	0				
1:30	1	0			0	0				
1:45	0	0	1	2	1	0	1	2	2	4
2:00	0	0			0	0				
2:15	0	4			0	1				
2:30	0	0			0	0				
2:45	0	2	0	6	0	0	0	1	0	7
3:00	0	0			0	1				
3:15	0	0			0	0				
3:30	0	0			0	1				
3:45	0	0	0	0	0	2	0	4	0	4
4:00	0	1			0	1				
4:15	0	0			0	0				
4:30	0	0			0	0				
4:45	0	0	0	1	0	0	0	1	0	2
5:00	0	1			0	1				
5:15	0	0			0	0				
5:30	0	1			0	0				
5:45	0	0	0	2	1	0	1	1	1	3
6:00	0	1			0	0				
6:15	0	1			0	0				
6:30	1	1			0	0				
6:45	0	0	1	3	0	0	0	0	1	3
7:00	0	0			1	0				
7:15	2	0			1	0				
7:30	0	0			1	0				
7:45	0	1	2	1	0	0	3	0	5	1
8:00	0	0			1	0				
8:15	1	0			0	1				
8:30	0	0			0	0				
8:45	1	0	2	0	1	0	2	1	4	1
9:00	1	0			0	0				
9:15	1	0			0	0				
9:30	1	0			2	1	0			
9:45	0	0	3	0	0	0	2	1	5	1
10:00	0	0			0	0				
10:15	0	0			0	0				
10:30	1	0			1	0				
10:45	0	0	1	0	1	0	2	0	3	0
11:00	0	0			0	0				
11:15	0	0			0	0				
11:30	0	0			0	0				
11:45	0	1	0	1	2	0	2	0	2	1
<b>Total</b>	<b>11</b>	<b>17</b>	<b>11</b>	<b>17</b>	<b>13</b>	<b>12</b>	<b>13</b>	<b>12</b>	<b>24</b>	<b>29</b>
<b>Combined Total</b>	<b>28</b>		<b>28</b>		<b>25</b>		<b>25</b>		<b>53</b>	
<b>AM Peak</b>	<b>8:45 AM</b>				<b>6:45 AM</b>					
<b>Vol.</b>	<b>4</b>				<b>3</b>					
<b>P.H.F.</b>	<b>1.000</b>				<b>0.750</b>					
<b>PM Peak</b>	<b>2:00 PM</b>				<b>3:00 PM</b>					
<b>Vol.</b>	<b>6</b>				<b>4</b>					
<b>P.H.F.</b>	<b>0.250</b>				<b>0.500</b>					
<b>Percentage</b>	<b>39.3%</b>	<b>60.7%</b>			<b>52.0%</b>	<b>48.0%</b>				

Prepared by NDS/ATD

Volumes for: Wednesday, February 16, 2011

City: Sonoma County

Project #: 11-7060-001

Location: Hauser Bridge Road east of Seaview Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	0			0	1				
12:15	0	2			0	0				
12:30	0	0			0	0				
12:45	0	0	0	2	0	0	0	1	0	3
1:00	0	1			0	0				
1:15	0	2			0	0				
1:30	0	0			0	0				
1:45	0	0	0	3	0	0	0	0	0	3
2:00	0	1			0	1				
2:15	0	0			0	0				
2:30	1	1			1	0				
2:45	0	0	1	2	0	2	1	3	2	5
3:00	0	0			0	0				
3:15	0	0			0	2				
3:30	0	0			0	1				
3:45	0	2	0	2	0	0	0	3	0	5
4:00	0	1			0	0				
4:15	0	0			0	0				
4:30	0	0			0	0				
4:45	0	0	0	1	0	0	0	0	0	1
5:00	0	0			0	0				
5:15	0	0			0	0				
5:30	0	2			0	3				
5:45	0	1	0	3	0	1	0	4	0	7
6:00	0	0			1	0				
6:15	0	2			0	0				
6:30	0	1			0	0				
6:45	0	0	0	3	0	0	1	0	1	3
7:00	0	0			0	0				
7:15	0	0			2	1				
7:30	1	0			1	0				
7:45	2	1	3	1	1	1	4	2	7	3
8:00	0	0			0	0				
8:15	0	0			0	0				
8:30	0	0			0	0				
8:45	0	0	0	0	1	0	1	0	1	0
9:00	1	0			2	0				
9:15	0	1			1	0				
9:30	0	0			0	0	0			
9:45	1	0	2	1	1	1	4	1	6	2
10:00	0	2			1	0				
10:15	0	0			1	0				
10:30	1	0			0	0				
10:45	0	0	1	2	0	0	2	0	3	2
11:00	0	0			1	0				
11:15	4	0			1	0				
11:30	0	0			0	0				
11:45	2	0	6	0	0	0	2	0	8	0
<b>Total</b>	<b>13</b>	<b>20</b>	<b>13</b>	<b>20</b>	<b>15</b>	<b>14</b>	<b>15</b>	<b>14</b>	<b>28</b>	<b>34</b>
<b>Combined Total</b>	<b>33</b>		<b>33</b>		<b>29</b>		<b>29</b>		<b>62</b>	
<b>AM Peak</b>	<b>11:00 AM</b>				<b>7:00 AM</b>					
<b>Vol.</b>	<b>6</b>				<b>4</b>					
<b>P.H.F.</b>	<b>0.375</b>				<b>0.500</b>					
<b>PM Peak</b>	<b>5:30 PM</b>				<b>2:45 PM</b>					
<b>Vol.</b>	<b>5</b>				<b>5</b>					
<b>P.H.F.</b>	<b>0.375</b>				<b>0.625</b>					
<b>Percentage</b>	<b>39.4%</b>	<b>60.6%</b>			<b>51.7%</b>	<b>48.3%</b>				



Volumes for: Thursday, February 17, 2011

City: Sonoma County

Project #: 11-7060-001

Location: Hauser Bridge Road east of Seaview Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	0			0	0				
12:15	0	0			0	0				
12:30	0	0			0	0				
12:45	0	0	0	0	0	2	0	2	0	2
1:00	0	0			0	2				
1:15	0	0			0	0				
1:30	0	0			0	0				
1:45	0	0	0	0	0	0	0	2	0	2
2:00	0	0			0	0				
2:15	0	0			0	0				
2:30	1	2			1	0				
2:45	0	1	1	3	0	0	1	0	2	3
3:00	0	2			0	1				
3:15	0	0			0	1				
3:30	0	0			0	1				
3:45	0	1	0	3	0	0	0	3	0	6
4:00	0	0			0	0				
4:15	0	1			0	1				
4:30	1	1			0	2				
4:45	0	1	1	3	1	0	1	3	2	6
5:00	0	0			0	0				
5:15	0	1			0	1				
5:30	0	1			0	0				
5:45	0	0	0	2	0	0	0	1	0	3
6:00	0	3			0	1				
6:15	0	1			1	0				
6:30	0	1			0	0				
6:45	0	0	0	5	0	0	1	1	1	6
7:00	0	0			1	0				
7:15	0	0			0	0				
7:30	0	0			0	0				
7:45	0	0	0	0	0	0	1	0	1	0
8:00	1	0			1	0				
8:15	1	0			0	0				
8:30	0	0			3	0				
8:45	0	0	2	0	1	0	5	0	7	0
9:00	1	0			0	1				
9:15	1	0			2	0				
9:30	0	0			1	0	0			
9:45	0	0	2	0	2	0	5	1	7	1
10:00	0	0			1	0				
10:15	0	0			0	0				
10:30	0	0			0	0				
10:45	1	0	1	0	0	0	1	0	2	0
11:00	0	0			0	0				
11:15	0	0			0	0				
11:30	0	0			2	0				
11:45	1	0	1	0	0	0	2	0	3	0
<b>Total</b>	<b>8</b>	<b>16</b>	<b>8</b>	<b>16</b>	<b>17</b>	<b>13</b>	<b>17</b>	<b>13</b>	<b>25</b>	<b>29</b>
<b>Combined Total</b>	<b>24</b>		<b>24</b>		<b>30</b>		<b>30</b>		<b>54</b>	
<b>AM Peak</b>	<b>7:30 AM</b>				<b>8:30 AM</b>					
Vol.	2				6					
P.H.F.	0.500				0.500					
<b>PM Peak</b>	<b>2:15 PM</b>				<b>12:15 PM</b>					
Vol.	5				4					
P.H.F.	0.500				0.500					
<b>Percentage</b>	<b>33.3%</b>	<b>66.7%</b>			<b>56.7%</b>	<b>43.3%</b>				

Volumes for: Friday, February 18, 2011

City: Sonoma County

Project #: 11-7060-001

Location: Hauser Bridge Road east of Seaview Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	4			0	1				
12:15	0	1			0	2				
12:30	0	0			0	0				
12:45	0	0	0	5	0	0	0	3	0	8
1:00	0	1			0	0				
1:15	1	1			0	2				
1:30	0	1			0	2				
1:45	0	1	1	4	0	0	0	4	1	8
2:00	0	0			0	1				
2:15	0	1			0	0				
2:30	0	0			0	1				
2:45	1	0	1	1	2	1	2	3	3	4
3:00	0	0			0	1				
3:15	0	1			0	2				
3:30	0	0			0	1				
3:45	0	0	0	1	0	1	0	5	0	6
4:00	0	0			0	1				
4:15	0	0			0	2				
4:30	0	0			0	0				
4:45	0	1	0	1	0	2	0	5	0	6
5:00	0	1			0	0				
5:15	0	0			0	0				
5:30	0	0			0	1				
5:45	0	1	0	2	0	0	0	1	0	3
6:00	0	0			1	1				
6:15	0	1			0	1				
6:30	0	2			0	0				
6:45	0	0	0	3	0	0	1	2	1	5
7:00	0	0			0	0				
7:15	0	1			0	0				
7:30	1	0			3	0				
7:45	1	0	2	1	0	0	3	0	5	1
8:00	0	0			0	0				
8:15	0	0			0	1				
8:30	1	0			0	0				
8:45	0	0	1	0	2	0	2	1	3	1
9:00	5	0			2	0				
9:15	0	1			1	0				
9:30	0	0			0	0	0	0		
9:45	0	0	5	1	0	0	3	0	8	1
10:00	0	0			0	0				
10:15	0	0			1	1				
10:30	0	0			0	0				
10:45	1	0	1	0	1	0	2	1	3	1
11:00	0	1			0	0				
11:15	2	0			0	0				
11:30	0	1			1	0				
11:45	1	0	3	2	0	0	1	0	4	2
<b>Total</b>	<b>14</b>	<b>21</b>	<b>14</b>	<b>21</b>	<b>14</b>	<b>25</b>	<b>14</b>	<b>25</b>	<b>28</b>	<b>46</b>
<b>Combined Total</b>	<b>35</b>		<b>35</b>		<b>39</b>		<b>39</b>		<b>74</b>	
<b>AM Peak</b>	<b>11:15 AM</b>				<b>8:30 AM</b>					
<b>Vol.</b>	<b>7</b>				<b>5</b>					
<b>P.H.F.</b>	<b>0.438</b>				<b>0.625</b>					
<b>PM Peak</b>	<b>12:00 PM</b>				<b>1:15 PM</b>					
<b>Vol.</b>	<b>5</b>				<b>5</b>					
<b>P.H.F.</b>	<b>0.313</b>				<b>0.625</b>					
<b>Percentage</b>	<b>40.0%</b>	<b>60.0%</b>			<b>35.9%</b>	<b>64.1%</b>				

Volumes for: Saturday, February 19, 2011

City: Sonoma County

Project #: 11-7060-001

Location: Hauser Bridge Road east of Seaview Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	2			0	0				
12:15	0	1			0	0				
12:30	0	1			0	1				
12:45	0	2	0	6	0	0	0	1	0	7
1:00	0	0			0	1				
1:15	0	0			0	3				
1:30	0	0			0	0				
1:45	0	3	0	3	0	0	0	4	0	7
2:00	1	1			1	2				
2:15	0	0			0	0				
2:30	0	0			0	1				
2:45	0	0	1	1	0	0	1	3	2	4
3:00	0	2			0	1				
3:15	0	2			0	0				
3:30	0	1			0	0				
3:45	0	0	0	5	0	0	0	1	0	6
4:00	0	0			0	2				
4:15	0	2			0	0				
4:30	0	0			0	0				
4:45	0	1	0	3	0	0	0	2	0	5
5:00	0	0			0	1				
5:15	0	0			0	0				
5:30	0	1			0	0				
5:45	0	0	0	1	0	0	0	1	0	2
6:00	0	0			0	2				
6:15	0	0			0	0				
6:30	0	0			0	1				
6:45	0	0	0	0	0	1	0	4	0	4
7:00	0	0			0	0				
7:15	0	0			0	0				
7:30	1	0			0	0				
7:45	0	1	1	1	1	0	1	0	2	1
8:00	0	0			0	0				
8:15	0	0			1	0				
8:30	1	0			0	0				
8:45	1	0	2	0	0	0	1	0	3	0
9:00	0	1			0	0				
9:15	0	1			2	0				
9:30	0	0			1	0	0	0		
9:45	1	1	1	3	0	0	3	0	4	3
10:00	1	0			0	0				
10:15	0	0			0	0				
10:30	0	0			0	0				
10:45	0	0	1	0	1	0	1	0	2	0
11:00	0	0			0	0				
11:15	0	1			0	0				
11:30	0	0			0	0				
11:45	1	0	1	1	0	0	0	0	1	1
<b>Total</b>	<b>7</b>	<b>24</b>	<b>7</b>	<b>24</b>	<b>7</b>	<b>16</b>	<b>7</b>	<b>16</b>	<b>14</b>	<b>40</b>
<b>Combined Total</b>	<b>31</b>		<b>31</b>		<b>23</b>		<b>23</b>		<b>54</b>	
<b>AM Peak</b>	<b>11:45 AM</b>				<b>8:45 AM</b>					
<b>Vol.</b>	<b>5</b>				<b>3</b>					
<b>P.H.F.</b>	<b>0.625</b>				<b>0.375</b>					
<b>PM Peak</b>	<b>12:00 PM</b>				<b>12:30 PM</b>					
<b>Vol.</b>	<b>6</b>				<b>5</b>					
<b>P.H.F.</b>	<b>0.625</b>				<b>0.417</b>					
<b>Percentage</b>	<b>22.6%</b>	<b>77.4%</b>			<b>30.4%</b>	<b>69.6%</b>				

Volumes for: Sunday, February 20, 2011

City: Sonoma County

Project #: 11-7060-001

Location: Hauser Bridge Road east of Seaview Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	1			0	0				
12:15	0	3			0	0				
12:30	0	0			0	0				
12:45	0	1	0	5	0	0	0	0	0	5
1:00	0	2			0	1				
1:15	0	0			0	2				
1:30	0	0			0	1				
1:45	0	1	0	3	0	2	0	6	0	9
2:00	0	0			0	0				
2:15	0	0			0	2				
2:30	0	0			0	0				
2:45	0	0	0	0	0	1	0	3	0	3
3:00	0	0			0	0				
3:15	1	0			1	0				
3:30	0	0			0	0				
3:45	0	0	1	0	0	0	1	0	2	0
4:00	0	0			0	1				
4:15	0	1			0	0				
4:30	0	1			0	0				
4:45	0	4	0	6	0	2	0	3	0	9
5:00	0	0			0	0				
5:15	0	1			0	0				
5:30	0	0			0	0				
5:45	0	0	0	1	0	0	0	0	0	1
6:00	0	0			0	0				
6:15	0	0			0	1				
6:30	0	0			0	0				
6:45	0	0	0	0	0	1	0	2	0	2
7:00	0	0			0	0				
7:15	0	0			0	0				
7:30	0	0			0	0				
7:45	1	1	1	1	1	0	1	0	2	1
8:00	0	0			0	0				
8:15	0	0			0	0				
8:30	0	0			0	0				
8:45	0	0	0	0	0	0	0	0	0	0
9:00	0	0			1	0				
9:15	0	0			0	0				
9:30	0	0			1	0	0	0		
9:45	0	0	0	0	0	0	2	0	2	0
10:00	0	1			0	0				
10:15	0	0			0	0				
10:30	1	0			0	0				
10:45	0	1	1	2	0	1	0	1	1	3
11:00	0	0			1	0				
11:15	0	0			1	0				
11:30	0	0			1	0				
11:45	0	1	0	1	0	0	3	0	3	1
<b>Total</b>	<b>3</b>	<b>19</b>	<b>3</b>	<b>19</b>	<b>7</b>	<b>15</b>	<b>7</b>	<b>15</b>	<b>10</b>	<b>34</b>
<b>Combined Total</b>	<b>22</b>		<b>22</b>		<b>22</b>		<b>22</b>		<b>44</b>	
<b>AM Peak</b>	<b>11:30 AM</b>				<b>10:45 AM</b>					
<b>Vol.</b>	<b>4</b>				<b>3</b>					
<b>P.H.F.</b>	<b>0.333</b>				<b>0.750</b>					
<b>PM Peak</b>	<b>12:15 PM</b>				<b>1:00 PM</b>					
<b>Vol.</b>	<b>6</b>				<b>6</b>					
<b>P.H.F.</b>	<b>0.417</b>				<b>0.750</b>					
<b>Percentage</b>	<b>13.6%</b>	<b>86.4%</b>			<b>31.8%</b>	<b>68.2%</b>				

Volumes for: Monday, February 21, 2011

City: Sonoma County

Project #: 11-7060-001

Location: Hauser Bridge Road east of Seaview Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	1	0			0	1				
12:15	0	0			0	0				
12:30	0	0			0	0				
12:45	0	2	1	2	0	0	0	1	1	3
1:00	0	0			0	0				
1:15	0	1			0	1				
1:30	0	0			0	0				
1:45	1	1	1	2	1	1	1	2	2	4
2:00	0	0			0	0				
2:15	0	0			0	0				
2:30	0	0			0	1				
2:45	0	0	0	0	0	2	0	3	0	3
3:00	0	0			0	0				
3:15	0	1			0	0				
3:30	0	0			0	0				
3:45	0	0	0	1	0	0	0	0	0	1
4:00	0	0			0	0				
4:15	0	0			0	1				
4:30	0	8			0	8				
4:45	0	1	0	9	0	2	0	11	0	20
5:00	0	0			0	0				
5:15	0	0			0	1				
5:30	0	0			0	1				
5:45	0	1	0	1	0	0	0	2	0	3
6:00	0	0			0	1				
6:15	0	1			0	0				
6:30	0	0			0	0				
6:45	0	0	0	1	0	0	0	1	0	2
7:00	0	1			1	0				
7:15	0	0			0	0				
7:30	1	0			0	1				
7:45	0	1	1	2	1	0	2	1	3	3
8:00	1	0			1	0				
8:15	0	0			0	0				
8:30	1	1			0	0				
8:45	1	0	3	1	1	0	2	0	5	1
9:00	2	0			2	0				
9:15	0	0			3	0				
9:30	1	0			0	0	0	0	9	0
9:45	1	0	4	0	0	0	5	0	9	0
10:00	0	0			2	0				
10:15	0	0			0	0				
10:30	0	1			1	0				
10:45	0	0	0	1	0	0	3	0	3	1
11:00	0	0			1	0				
11:15	0	0			1	0				
11:30	3	0			1	0				
11:45	0	0	3	0	0	0	3	0	6	0
<b>Total</b>	<b>13</b>	<b>20</b>	<b>13</b>	<b>20</b>	<b>16</b>	<b>21</b>	<b>16</b>	<b>21</b>	<b>29</b>	<b>41</b>
<b>Combined Total</b>	<b>33</b>		<b>33</b>		<b>37</b>		<b>37</b>		<b>70</b>	
<b>AM Peak</b>	<b>8:15 AM</b>				<b>8:30 AM</b>					
<b>Vol.</b>	<b>4</b>				<b>6</b>					
<b>P.H.F.</b>	<b>0.500</b>				<b>0.500</b>					
<b>PM Peak</b>	<b>4:00 PM</b>				<b>4:00 PM</b>					
<b>Vol.</b>	<b>9</b>				<b>11</b>					
<b>P.H.F.</b>	<b>0.500</b>				<b>0.344</b>					
<b>Percentage</b>	<b>39.4%</b>	<b>60.6%</b>			<b>43.2%</b>	<b>56.8%</b>				

Volumes for: Tuesday, February 22, 2011

City: Sonoma County

Project #: 11-7060-001

Location: Hauser Bridge Road east of Seaview Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	1			0	0				
12:15	0	0			0	1				
12:30	0	2			0	3				
12:45	0	0	0	3	0	1	0	5	0	8
1:00	0	0			0	1				
1:15	0	0			0	0				
1:30	0	1			0	1				
1:45	0	1	0	2	0	1	0	3	0	5
2:00	0	3			0	0				
2:15	0	0			0	1				
2:30	1	1			0	1				
2:45	0	2	1	6	1	1	1	3	2	9
3:00	0	1			0	1				
3:15	0	1			0	2				
3:30	0	1			0	0				
3:45	0	2	0	5	0	1	0	4	0	9
4:00	0	0			0	1				
4:15	0	0			0	0				
4:30	0	0			0	1				
4:45	0	1	0	1	0	2	0	4	0	5
5:00	0	0			0	1				
5:15	0	2			1	1				
5:30	0	0			0	0				
5:45	0	0	0	2	0	1	1	3	1	5
6:00	1	0			0	0				
6:15	0	2			0	1				
6:30	0	1			2	0				
6:45	0	0	1	3	0	0	2	1	3	4
7:00	0	0			2	1				
7:15	1	0			0	0				
7:30	1	0			0	0				
7:45	0	0	2	0	0	0	2	1	4	1
8:00	1	1			1	0				
8:15	0	0			0	0				
8:30	0	0			1	0				
8:45	1	0	2	1	2	0	4	0	6	1
9:00	3	0			1	0				
9:15	2	0			1	0				
9:30	0	0			1	0	0			
9:45	0	0	5	0	0	0	3	0	8	0
10:00	0	0			1	0				
10:15	1	0			0	0				
10:30	0	0			0	0				
10:45	0	0	1	0	2	0	3	0	4	0
11:00	0	0			0	0				
11:15	1	0			0	0				
11:30	0	0			0	0				
11:45	0	0	1	0	1	0	1	0	2	0
<b>Total</b>	<b>13</b>	<b>23</b>	<b>13</b>	<b>23</b>	<b>17</b>	<b>24</b>	<b>17</b>	<b>24</b>	<b>30</b>	<b>47</b>
<b>Combined Total</b>	<b>36</b>		<b>36</b>		<b>41</b>		<b>41</b>		<b>77</b>	
<b>AM Peak</b>	<b>8:30 AM</b>				<b>8:30 AM</b>					
Vol.	6				5					
P.H.F.	0.500				0.625					
<b>PM Peak</b>	<b>2:00 PM</b>				<b>12:15 PM</b>					
Vol.	6				6					
P.H.F.	0.417				0.500					
<b>Percentage</b>	<b>36.1%</b>	<b>63.9%</b>			<b>41.5%</b>	<b>58.5%</b>				

Volumes for: Tuesday, February 15, 2011

City: Sonoma County

Project #: 11-7060-002

Location: Seaview Road north of Timber Cove Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	1			0	2				
12:15	0	1			0	1				
12:30	0	0			0	0				
12:45	1	0	1	2	0	2	0	5	1	7
1:00	0	0			0	1				
1:15	0	2			0	1				
1:30	1	0			0	3				
1:45	1	2	2	4	0	0	0	5	2	9
2:00	0	3			0	1				
2:15	0	3			0	0				
2:30	0	4			0	2				
2:45	0	4	0	14	0	0	0	3	0	17
3:00	0	1			0	0				
3:15	0	4			0	1				
3:30	0	1			0	1				
3:45	0	3	0	9	0	1	0	3	0	12
4:00	0	0			0	5				
4:15	0	4			0	2				
4:30	0	2			1	3				
4:45	0	2	0	8	0	0	1	10	1	18
5:00	0	1			0	4				
5:15	0	1			0	2				
5:30	0	0			0	0				
5:45	0	0	0	2	0	0	0	6	0	8
6:00	0	1			4	2				
6:15	1	3			1	0				
6:30	1	4			2	0				
6:45	1	2	3	10	2	1	9	3	12	13
7:00	0	1			0	2				
7:15	2	0			2	0				
7:30	0	0			1	2				
7:45	0	1	2	2	2	1	5	5	7	7
8:00	2	0			1	0				
8:15	0	0			2	0				
8:30	0	3			2	0				
8:45	1	3	3	6	0	2	5	2	8	8
9:00	1	0			0	0				
9:15	1	2			1	0				
9:30	3	0			3	0	0	0		
9:45	0	0	5	2	2	0	6	0	11	2
10:00	1	0			1	1				
10:15	2	1			1	0				
10:30	1	0			1	0				
10:45	0	0	4	1	1	0	4	1	8	2
11:00	0	0			1	0				
11:15	0	0			1	0				
11:30	0	0			0	0				
11:45	0	2	0	2	0	0	2	0	2	2
<b>Total</b>	<b>20</b>	<b>62</b>	<b>20</b>	<b>62</b>	<b>32</b>	<b>43</b>	<b>32</b>	<b>43</b>	<b>52</b>	<b>105</b>
<b>Combined Total</b>	<b>82</b>		<b>82</b>		<b>75</b>		<b>75</b>		<b>157</b>	
<b>AM Peak</b>	<b>8:45 AM</b>				<b>6:00 AM</b>					
<b>Vol.</b>	<b>6</b>				<b>9</b>					
<b>P.H.F.</b>	<b>0.500</b>				<b>0.563</b>					
<b>PM Peak</b>	<b>2:00 PM</b>				<b>3:45 PM</b>					
<b>Vol.</b>	<b>14</b>				<b>11</b>					
<b>P.H.F.</b>	<b>0.875</b>				<b>0.550</b>					
<b>Percentage</b>	<b>24.4%</b>	<b>75.6%</b>			<b>42.7%</b>	<b>57.3%</b>				

Volumes for: Wednesday, February 16, 2011

City: Sonoma County

Project #: 11-7060-002

Location: Seaview Road north of Timber Cove Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	1			0	0				
12:15	0	1			0	2				
12:30	0	0			0	1				
12:45	1	1	1	3	0	1	0	4	1	7
1:00	0	2			0	0				
1:15	0	2			0	1				
1:30	0	2			0	0				
1:45	0	1	0	7	0	4	0	5	0	12
2:00	0	1			0	1				
2:15	0	1			0	1				
2:30	0	1			0	1				
2:45	0	1	0	4	0	1	0	4	0	8
3:00	0	0			1	2				
3:15	0	4			0	0				
3:30	0	2			0	0				
3:45	0	4	0	10	0	4	1	6	1	16
4:00	0	1			0	1				
4:15	0	2			0	1				
4:30	0	3			0	1				
4:45	0	5	0	11	0	0	0	3	0	14
5:00	0	0			0	1				
5:15	0	1			0	0				
5:30	0	3			0	0				
5:45	0	1	0	5	0	4	0	5	0	10
6:00	0	1			1	6				
6:15	1	2			2	3				
6:30	0	2			3	1				
6:45	0	0	1	5	0	0	6	10	7	15
7:00	0	0			1	0				
7:15	0	1			1	1				
7:30	0	1			3	0				
7:45	1	1	1	3	1	1	6	2	7	5
8:00	1	1			0	0				
8:15	0	0			1	0				
8:30	0	0			0	1				
8:45	1	0	2	1	0	0	1	1	3	2
9:00	1	0			1	0				
9:15	0	1			2	1				
9:30	1	0			0	0	0			
9:45	1	0	3	1	4	0	7	1	10	2
10:00	0	1			2	0				
10:15	0	6			2	1				
10:30	1	1			2	0				
10:45	0	0	1	8	3	0	9	1	10	9
11:00	1	1			1	0				
11:15	4	1			1	0				
11:30	1	0			1	0				
11:45	1	0	7	2	1	0	4	0	11	2
Total	16	60	16	60	34	42	34	42	50	102
Combined Total	76		76		76		76		152	
AM Peak	11:00 AM				9:45 AM					
Vol.	7				10					
P.H.F.	0.438				0.625					
PM Peak		3:15 PM			5:45 PM					
Vol.		11			14					
P.H.F.		0.875			0.583					
Percentage	21.1%	78.9%			44.7%	55.3%				



Volumes for: Thursday, February 17, 2011

City: Sonoma County

Project #: 11-7060-002

Location: Seaview Road north of Timber Cove Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	1	1			0	2				
12:15	1	0			0	2				
12:30	0	0			1	0				
12:45	0	0	2	1	0	0	1	4	3	5
1:00	0	1			0	0				
1:15	0	0			0	1				
1:30	0	0			0	2				
1:45	0	1	0	2	0	0	0	3	0	5
2:00	0	0			0	0				
2:15	1	0			0	0				
2:30	0	2			0	0				
2:45	0	1	1	3	0	1	0	1	1	4
3:00	0	2			1	0				
3:15	0	2			0	1				
3:30	0	4			0	2				
3:45	0	0	0	8	0	0	1	3	1	11
4:00	0	2			0	0				
4:15	0	1			0	4				
4:30	1	3			0	5				
4:45	0	1	1	7	0	2	0	11	1	18
5:00	0	1			0	3				
5:15	0	0			1	0				
5:30	0	1			0	0				
5:45	0	2	0	4	0	0	1	3	1	7
6:00	0	0			1	0				
6:15	0	8			0	0				
6:30	0	2			2	2				
6:45	1	2	1	12	0	0	3	2	4	14
7:00	1	0			0	1				
7:15	0	0			1	1				
7:30	0	0			3	0				
7:45	0	1	1	1	1	0	5	2	6	3
8:00	1	0			2	1				
8:15	0	0			2	0				
8:30	2	1			0	0				
8:45	0	0	3	1	2	0	6	1	9	2
9:00	1	0			2	0				
9:15	0	2			0	0				
9:30	1	1			3	0	0	0		
9:45	1	0	3	3	4	0	9	0	12	3
10:00	0	0			1	0				
10:15	0	0			1	1				
10:30	0	0			1	0				
10:45	1	0	1	0	2	0	5	1	6	1
11:00	0	0			1	0				
11:15	0	0			0	0				
11:30	1	0			0	0				
11:45	2	0	3	0	3	0	4	0	7	0
<b>Total</b>	<b>16</b>	<b>42</b>	<b>16</b>	<b>42</b>	<b>35</b>	<b>31</b>	<b>35</b>	<b>31</b>	<b>51</b>	<b>73</b>
<b>Combined Total</b>	<b>58</b>		<b>58</b>		<b>66</b>		<b>66</b>		<b>124</b>	
AM Peak	11:15 AM				9:00 AM					
Vol.	4				9					
P.H.F.	0.500				0.563					
PM Peak	5:45 PM				4:15 PM					
Vol.	12				14					
P.H.F.	0.563				0.700					
Percentage	27.6%	72.4%			53.0%	47.0%				

Volumes for: Friday, February 18, 2011

City: Sonoma County

Project #: 11-7060-002

Location: Seaview Road north of Timber Cove Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	2			0	1				
12:15	0	1			0	2				
12:30	0	0			0	3				
12:45	0	0	0	3	0	0	0	6	0	9
1:00	0	1			0	0				
1:15	0	1			0	2				
1:30	1	1			0	0				
1:45	0	0	1	3	0	0	0	2	1	5
2:00	0	3			0	1				
2:15	0	2			0	3				
2:30	0	6			0	1				
2:45	0	2	0	13	0	1	0	6	0	19
3:00	0	0			1	0				
3:15	0	1			0	4				
3:30	0	4			0	0				
3:45	0	2	0	7	0	2	1	6	1	13
4:00	0	2			0	2				
4:15	0	2			1	1				
4:30	0	3			0	1				
4:45	0	3	0	10	0	2	1	6	1	16
5:00	0	0			0	3				
5:15	0	1			0	2				
5:30	0	1			0	1				
5:45	1	1	1	3	0	2	0	8	1	11
6:00	0	1			1	5				
6:15	1	0			0	1				
6:30	0	4			3	0				
6:45	1	1	2	6	1	1	5	7	7	13
7:00	0	2			0	2				
7:15	0	1			0	1				
7:30	0	4			0	0				
7:45	1	0	1	7	4	0	4	3	5	10
8:00	1	1			1	0				
8:15	0	0			3	0				
8:30	1	0			1	0				
8:45	0	1	2	2	1	1	6	1	8	3
9:00	1	0			2	0				
9:15	1	2			2	0				
9:30	0	0			1	0	0	0		
9:45	1	5	3	7	1	0	6	0	9	7
10:00	3	0			2	0				
10:15	0	1			1	0				
10:30	1	0			1	1				
10:45	1	0	5	1	1	0	5	1	10	2
11:00	2	1			2	0				
11:15	1	0			1	0				
11:30	1	1			0	0				
11:45	1	1	5	3	2	0	5	0	10	3
<b>Total</b>	<b>20</b>	<b>65</b>	<b>20</b>	<b>65</b>	<b>33</b>	<b>46</b>	<b>33</b>	<b>46</b>	<b>53</b>	<b>111</b>
<b>Combined Total</b>	<b>85</b>		<b>85</b>		<b>79</b>		<b>79</b>		<b>164</b>	
<b>AM Peak</b>	<b>9:15 AM</b>				<b>7:45 AM</b>					
Vol.	5				9					
P.H.F.	0.417				0.563					
<b>PM Peak</b>	<b>2:00 PM</b>				<b>5:15 PM</b>					
Vol.	13				10					
P.H.F.	0.708				0.500					
<b>Percentage</b>	<b>23.5%</b>	<b>76.5%</b>			<b>41.8%</b>	<b>58.2%</b>				

Volumes for: Saturday, February 19, 2011

City: Sonoma County

Project #: 11-7060-002

Location: Seaview Road north of Timber Cove Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	1			0	1				
12:15	0	2			0	1				
12:30	0	1			0	4				
12:45	1	1	1	5	0	2	0	8	1	13
1:00	0	2			0	1				
1:15	0	1			0	0				
1:30	0	0			0	2				
1:45	0	4	0	7	0	2	0	5	0	12
2:00	0	3			0	1				
2:15	3	2			1	1				
2:30	0	2			0	3				
2:45	0	0	3	7	0	1	1	6	4	13
3:00	0	2			0	0				
3:15	0	2			0	2				
3:30	0	4			0	0				
3:45	0	2	0	10	0	0	0	2	0	12
4:00	0	5			0	0				
4:15	0	2			0	1				
4:30	0	2			0	1				
4:45	0	2	0	11	0	2	0	4	0	15
5:00	0	0			0	3				
5:15	0	2			0	0				
5:30	0	2			0	1				
5:45	0	2	0	6	0	0	0	4	0	10
6:00	0	0			0	0				
6:15	0	0			1	3				
6:30	0	1			0	1				
6:45	0	0	0	1	0	1	1	5	1	6
7:00	0	0			0	1				
7:15	0	3			0	0				
7:30	0	1			0	0				
7:45	1	1	1	5	0	1	0	2	1	7
8:00	0	0			0	0				
8:15	0	0			0	0				
8:30	0	0			2	0				
8:45	3	0	3	0	3	0	5	0	8	0
9:00	0	1			2	0				
9:15	0	2			1	0				
9:30	1	0			0	0	0	0	7	3
9:45	0	0	1	3	3	0	6	0	7	3
10:00	1	1			1	0				
10:15	1	0			1	0				
10:30	1	0			1	1				
10:45	0	0	3	1	1	0	4	1	7	2
11:00	1	0			3	1				
11:15	0	1			3	0				
11:30	0	1			0	0				
11:45	2	1	3	3	1	0	7	1	10	4
<b>Total</b>	<b>15</b>	<b>59</b>	<b>15</b>	<b>59</b>	<b>24</b>	<b>38</b>	<b>24</b>	<b>38</b>	<b>39</b>	<b>97</b>
<b>Combined Total</b>	<b>74</b>		<b>74</b>		<b>62</b>		<b>62</b>		<b>136</b>	
<b>AM Peak</b>	<b>11:45 AM</b>				<b>8:30 AM</b>					
<b>Vol.</b>	<b>6</b>				<b>8</b>					
<b>P.H.F.</b>	<b>0.750</b>				<b>0.667</b>					
<b>PM Peak</b>	<b>3:15 PM</b>				<b>12:00 PM</b>					
<b>Vol.</b>	<b>13</b>				<b>8</b>					
<b>P.H.F.</b>	<b>0.525</b>				<b>0.500</b>					
<b>Percentage</b>	<b>20.3%</b>	<b>79.7%</b>			<b>38.7%</b>	<b>61.3%</b>				

Prepared by NDS/ATD

Volumes for: Sunday, February 20, 2011

City: Sonoma County

Project #: 11-7060-002

Location: Seaview Road north of Timber Cove Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	1			0	2				
12:15	0	4			0	2				
12:30	0	1			0	2				
12:45	0	2	0	8	0	0	0	6	0	14
1:00	0	5			0	2				
1:15	0	3			0	4				
1:30	0	2			0	1				
1:45	0	0	0	10	0	3	0	10	0	20
2:00	0	1			0	3				
2:15	0	0			0	0				
2:30	0	1			0	4				
2:45	0	0	0	2	0	0	0	7	0	9
3:00	0	2			0	1				
3:15	0	2			0	0				
3:30	0	0			0	1				
3:45	0	2	0	6	1	4	1	6	1	12
4:00	0	1			0	0				
4:15	0	3			0	2				
4:30	0	4			0	2				
4:45	0	1	0	9	0	1	0	5	0	14
5:00	0	3			0	2				
5:15	0	2			0	1				
5:30	0	2			0	1				
5:45	0	3	0	10	0	1	0	5	0	15
6:00	0	0			0	1				
6:15	0	0			0	2				
6:30	0	0			0	0				
6:45	0	1	0	1	0	0	0	3	0	4
7:00	0	0			0	2				
7:15	0	1			0	2				
7:30	1	0			0	1				
7:45	0	1	1	2	0	0	0	5	1	7
8:00	0	1			0	1				
8:15	0	0			2	0				
8:30	0	1			0	0				
8:45	0	0	0	2	1	0	3	1	3	3
9:00	1	1			1	0				
9:15	0	1			4	0				
9:30	2	1			1	2	0			
9:45	0	0	3	3	2	0	8	2	11	5
10:00	5	0			2	1				
10:15	2	1			3	0				
10:30	1	2			5	0				
10:45	0	0	8	3	0	0	10	1	18	4
11:00	2	1			2	0				
11:15	0	1			3	0				
11:30	5	0			2	0				
11:45	1	0	8	2	6	0	13	0	21	2
<b>Total</b>	<b>20</b>	<b>58</b>	<b>20</b>	<b>58</b>	<b>35</b>	<b>51</b>	<b>35</b>	<b>51</b>	<b>55</b>	<b>109</b>
<b>Combined Total</b>	<b>73</b>		<b>78</b>		<b>86</b>		<b>86</b>		<b>164</b>	
<b>AM Peak</b>	<b>11:30 AM</b>				<b>11:00 AM</b>					
Vol.	11				13					
P.H.F.	0.550				0.542					
<b>PM Peak</b>	<b>12:15 PM</b>				<b>1:15 PM</b>					
Vol.	12				11					
P.H.F.	0.563				0.688					
<b>Percentage</b>	<b>25.6%</b>	<b>74.4%</b>			<b>40.7%</b>	<b>59.3%</b>				

Volumes for: Monday, February 21, 2011

City: Sonoma County

Project #: 11-7060-002

Location: Seaview Road north of Timber Cove Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	1	0			0	1				
12:15	0	0			0	1				
12:30	0	1			0	0				
12:45	0	2	1	3	0	1	0	3	1	6
1:00	1	2			0	2				
1:15	0	4			0	1				
1:30	0	0			0	3				
1:45	1	1	2	7	0	0	0	6	2	13
2:00	0	2			0	1				
2:15	0	2			0	2				
2:30	0	0			0	3				
2:45	0	0	0	4	0	1	0	7	0	11
3:00	0	2			0	1				
3:15	0	4			0	3				
3:30	0	3			0	6				
3:45	0	2	0	11	0	0	0	10	0	21
4:00	0	0			0	4				
4:15	0	3			0	1				
4:30	0	2			0	2				
4:45	0	4	0	9	0	2	0	9	0	18
5:00	0	1			0	2				
5:15	0	2			0	1				
5:30	0	2			0	1				
5:45	0	3	0	8	0	1	0	5	0	13
6:00	0	1			0	2				
6:15	0	1			0	1				
6:30	1	1			2	0				
6:45	0	5	1	8	0	0	2	3	3	11
7:00	0	3			0	1				
7:15	0	1			2	0				
7:30	1	1			0	1				
7:45	1	1	2	6	0	1	2	3	4	9
8:00	2	1			0	0				
8:15	0	0			2	1				
8:30	1	1			1	0				
8:45	2	0	5	2	4	0	7	1	12	3
9:00	5	0			4	0				
9:15	0	0			2	0				
9:30	1	0			6	0	0	0		
9:45	0	0	6	0	2	0	14	0	20	0
10:00	2	0			0	1				
10:15	1	0			1	0				
10:30	0	1			0	0				
10:45	0	0	3	1	1	0	2	1	5	2
11:00	1	0			0	0				
11:15	1	0			2	0				
11:30	3	0			1	0				
11:45	0	0	5	0	1	0	4	0	9	0
<b>Total</b>	<b>25</b>	<b>59</b>	<b>25</b>	<b>59</b>	<b>31</b>	<b>48</b>	<b>31</b>	<b>48</b>	<b>56</b>	<b>107</b>
<b>Combined Total</b>	<b>84</b>		<b>84</b>		<b>79</b>		<b>79</b>		<b>163</b>	
<b>AM Peak</b>	<b>8:15 AM</b>				<b>8:45 AM</b>					
<b>Vcl.</b>	<b>8</b>				<b>16</b>					
<b>P.H.F.</b>	<b>0.400</b>				<b>0.667</b>					
<b>PM Peak</b>	<b>3:00 PM</b>				<b>3:15 PM</b>					
<b>Vcl.</b>	<b>11</b>				<b>13</b>					
<b>P.H.F.</b>	<b>0.750</b>				<b>0.542</b>					
<b>Percentage</b>	<b>29.8%</b>	<b>70.2%</b>			<b>39.2%</b>	<b>60.8%</b>				

Prepared by NDS/ATD

Volumes for: Tuesday, February 22, 2011

City: Sonoma County

Project #: 11-7060-002

Location: Seaview Road north of Timber Cove Road

Start Time	Northbound		Hour Totals		Southbound		Hour Totals		Combined Totals	
	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00	0	2			0	0				
12:15	0	2			0	3				
12:30	0	3			0	3				
12:45	0	3	0	10	0	2	0	8	0	18
1:00	0	3			0	3				
1:15	0	0			0	0				
1:30	0	2			0	1				
1:45	0	2	0	7	0	2	0	6	0	13
2:00	0	4			0	2				
2:15	0	3			0	0				
2:30	0	0			0	0				
2:45	0	1	0	8	0	2	0	4	0	12
3:00	0	2			1	1				
3:15	0	2			0	1				
3:30	0	3			0	3				
3:45	0	1	0	8	0	2	1	7	1	15
4:00	0	2			0	1				
4:15	0	3			0	2				
4:30	0	1			0	3				
4:45	0	2	0	8	0	1	0	7	0	15
5:00	0	1			0	2				
5:15	0	1			0	2				
5:30	0	3			1	2				
5:45	0	6	0	11	1	3	2	9	2	20
6:00	0	1			1	3				
6:15	1	8			2	0				
6:30	1	0			1	1				
6:45	0	1	2	10	3	0	7	4	9	14
7:00	1	2			0	0				
7:15	1	0			4	0				
7:30	0	0			2	0				
7:45	2	1	4	3	0	0	6	0	10	3
8:00	2	2			2	1				
8:15	0	0			3	0				
8:30	1	0			5	0				
8:45	3	0	6	2	2	1	12	2	18	4
9:00	3	0			3	0				
9:15	3	1			1	1				
9:30	1	2			3	0	0			
9:45	0	0	7	3	1	0	8	1	15	4
10:00	0	0			2	0				
10:15	1	0			1	0				
10:30	2	0			2	0				
10:45	2	0	5	0	3	0	8	0	13	0
11:00	1	0			2	0				
11:15	0	0			1	0				
11:30	2	0			0	0				
11:45	1	0	4	0	1	0	4	0	8	0
<b>Total</b>	<b>28</b>	<b>70</b>	<b>28</b>	<b>70</b>	<b>48</b>	<b>48</b>	<b>48</b>	<b>48</b>	<b>76</b>	<b>118</b>
<b>Combined Total</b>	<b>98</b>		<b>98</b>		<b>96</b>		<b>96</b>		<b>194</b>	
<b>AM Peak</b>	<b>8:30 AM</b>				<b>8:15 AM</b>					
Vol.	10				13					
P.H.F.	0.833				0.650					
<b>PM Peak</b>	<b>5:30 PM</b>				<b>12:15 PM</b>					
Vol.	18				11					
P.H.F.	0.458				0.917					
<b>Percentage</b>	<b>28.6%</b>	<b>71.4%</b>			<b>50.0%</b>	<b>50.0%</b>				

-----Original Message-----

From: Stephen Bargsten [mailto:SBargsten@waterboards.ca.gov]  
Sent: Thursday, June 07, 2007 4:44 PM  
To: wetsoils@comcast.net  
Subject: RE: Press Pond Area at Ratna Ling Retreat Center, 35755 Hauser Bridge Road

Joel,

It should be as you have mapped it - lower half is waters of state, above this point did not appear to be anything much more than sheet flow, so it would not be jurisdictional in my opinion.

Stephen

>>> "Joel Butterworth" <wetsoils@comcast.net> 6/6/2007 5:14 PM >>>

Thank you Stephen. Just so I understand this clearly, will the extent of waters of the state be the entire drainageway/gully, or only the lower half, as we discussed in the field? (In the map that I attached to my email, the blue dashed line corresponds to the lower half.)

Also, thank you for the setback confirmation. We will maintain a minimum 10 to 20 foot setback from the toe of the ponds dam to both the drainageway and the wetland.

Regards,  
Joel

---

Joel Butterworth  
Valley Environmental Consulting, LLC  
956 First Street West  
Sonoma, CA 95476-7417  
Office and Fax: 707-938-8954  
Mobile: 707-299-8809  
Email: wetsoils@comcast.net

---

-----Original Message-----

From: Stephen Bargsten [mailto:SBargsten@waterboards.ca.gov]  
Sent: Wednesday, June 06, 2007 5:02 PM  
To: wetsoils@comcast.net  
Cc: Darren Bradford  
Subject: Re: Press Pond Area at Ratna Ling Retreat Center, 35755 Hauser Bridge Road

Joel,

We did examine the area of the proposed pond, and drainageway/gully that runs adjacent to it. I concur with you the area that you pin flagged is waters of the state. We also quickly looked at the pond and rush meadow wetland, but I did not look at the boundaries of it close enough to verify your map. If you stay 10-20 feet away from the drainageway with the construction of the future pond, this would be acceptable. If you need further clarification please let me know.

Stephen

>>> "Joel Butterworth" <wetsoils@comcast.net> 6/1/2007 2:07 PM >>>  
Stephen-

This email follows up on our meeting at the Ratna Ling site on May 23, in which we reviewed the areas that are subject to RWQCB's jurisdiction as waters of the state in the vicinity of the proposed press pond, west of Hauser Bridge Road.\* In particular, you indicated that the pond and rush meadow wetland that I had pin-flagged were jurisdictional, as was the lower half of seasonal drainageway/gully that feeds into the wetland. (The attached photo was taken from the top of the gullied part of the 1-foot wide gullied portion.) You further indicated that a minimum setback of 10 to 20 from the toe of the press pond be maintained. (Ratna Ling's

engineers are presently revising the pond design to avoid impacts on jurisdictional areas and to honor the setback requirements.)

Ratna Ling's engineer has since surveyed in the boundaries of these jurisdictional features and I have used that information to prepare the attached map. The portion of the drainageway that you indicated was subject to your jurisdiction is represented by a blue dashed line.

The County of Sonoma, in response to Ratna Ling's application for a well permit, has requested that Ratna Ling provide documentation that demonstrates avoidance of impacts on jurisdictional areas. Accordingly, would you be willing to respond to this email, indicating that the extent of RWQCB in the vicinity of the press pond is as described in this memo and shown on the attached map?

Thank you for your help.  
- Joel

\* The press pond area was not part of the area that I had prepared a delineation of the waters of the United States for the overall project, as the intent was to avoid impact on jurisdictional features in this area.

Joel Butterworth  
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Email: wetsoils@comcast.net



Greenhouse Gas Analysis of the  
Ratna Ling Retreat Center's  
2011 Master Use Permit Application

Prepared for:  
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January 18, 2012

## Table of Contents

List of Figures and Tables.....	i
Acronyms Used in this Report.....	ii
Executive Summary.....	iii
Introduction.....	1
Greenhouse Gases and Climate Change.....	2
Greenhouse Gas Regulatory Environment.....	4
International and National Regulation of Greenhouse Gases.....	4
State Regulation of Greenhouse Gases.....	5
Local Regulation of Greenhouse Gases.....	7
Ratna Ling Retreat Center Greenhouse Gas Footprint.....	8
Construction GHG Footprint.....	8
Operational GHG Footprint.....	8
Conclusions.....	9
References.....	10
Appendix A. Construction and Operational Greenhouse Gas Emission Estimates (follows page 11)	

## List of Figures and Tables

Table ES-1. Ratna Ling Retreat Center Greenhouse Gas Construction and Operational Emissions.....	iii
Figure 1. Regional and Project Location.....	1
Table 1. Construction Related GHG Emissions.....	8
Table 2. Operational GHG Emissions.....	9

## Acronyms Used in this Report

AB – (California) Assembly Bill  
AG – (California) Attorney General  
ARB – (California) Air Resources Board  
BAAQMD – Bay Area Air Quality Management District  
CAPCOA – California Air Pollution Control Officers Association  
CAT – Climate Action Team  
CEQA – California Environmental Quality Act  
CO<sub>2</sub> – carbon dioxide  
CO<sub>2</sub>e – carbon dioxide equivalent  
CH<sub>4</sub> - methane  
GHG – greenhouse gas  
GWP – global warming potential  
IPCC – Intergovernmental Panel on Climate Change  
OPR – (California) Office of Planning and Research  
N<sub>2</sub>O – nitrous oxide  
NSCAPCD – Northern Sonoma County Air Pollution Control District  
SB – (California) Senate Bill

## Executive Summary

The Ratna Ling Retreat Center (Center) consists of an approximately 120-acre site located at 35755 Hauser Bridge Rd in Cazadero, California. The Center supports retreat activities and sacred text production/storage activities associated with Tibetan Buddhist religious practices. In its 2011 Master Use Permit Application, the Center is proposing to add 8 tent structures on a seasonal basis to house three occupants each and a new six-bedroom residential building capable of housing up to 12 people.

Table ES-1 shows GHG emissions for the Center's existing uses, uses approved but not yet built, and additional uses included in its 2011 Master Use Permit Application. Construction of the additional uses would generate 67 metric tons of CO<sub>2</sub>e (carbon dioxide equivalents). A GHG significance threshold of 1,100 metric tons CO<sub>2</sub>e per year has been established for project operations, but no similar threshold has been established for construction. However, the project's construction emissions would be substantially less than the 1,100 metric ton CO<sub>2</sub>e operational threshold.

Operation of the Center's existing uses, uses approved but not yet built, and additional uses included in its 2011 Master Use Permit Application would generate 448 metric tons of CO<sub>2</sub>e per year (Table ES-1). These emissions are substantially less than the 1,100 operational CO<sub>2</sub>e thresholds. The operational GHG estimates include residential and non-residential land uses that are approved and built, approved but not yet built, and proposed. The GHG operational emission estimates include 27 units that have been approved and built, 6 units that have been approved but not yet built, a proposed 6 unit dorm, and 8 proposed, seasonal tents. The operational emission estimates also include a 6 unit senior center (proposed but not yet built). The non-residential land uses include 39,270 square feet of sacred text treasury storage in four units (approved and built), and a 21,000 square foot sacred text press building (approved and built).

Since both construction and operational CO<sub>2</sub>e emissions resulting from the Center's 2011 Master Use Permit Application would be less than 1,100 metric tons per year of CO<sub>2</sub>e, the Center's GHG impacts will be less than significant.

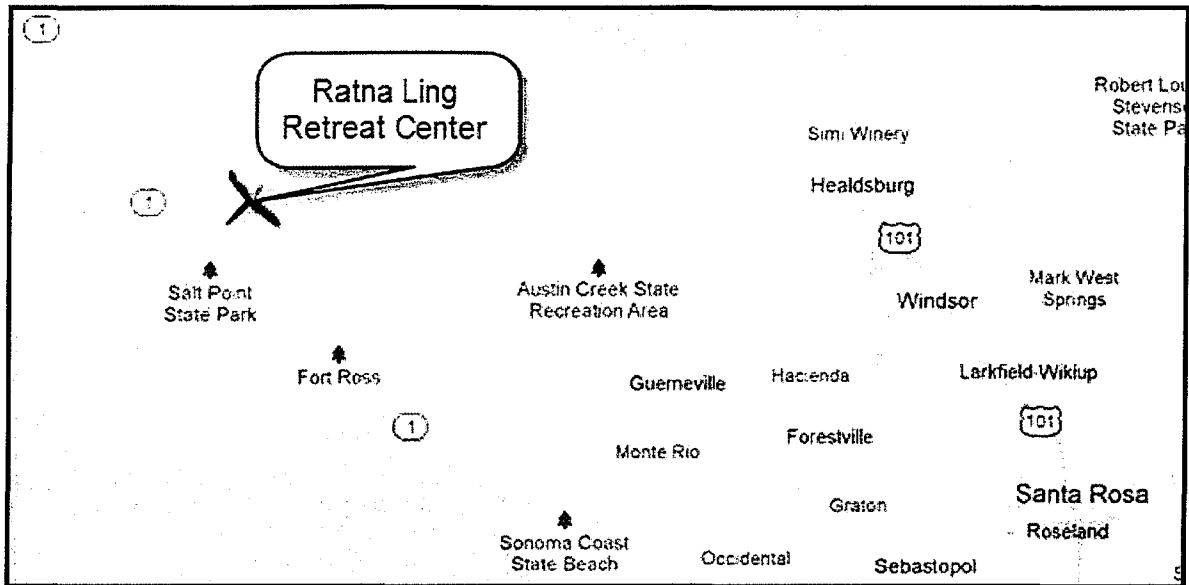
**Table ES-1. Ratna Ling Retreat Center Greenhouse Gas Construction and Operational Emissions**

<i>Project or Area</i>	<i>CO<sub>2</sub>e (Metric Tons per Year)</i>
<i>Construction Emissions</i>	67
<i>Operational Emissions</i>	448.3
<b>BAAQMD Significance Threshold</b>	1,100

## Introduction

The Ratna Ling Retreat Center (Center) consists of an approximately 120-acre site located at 35755 Hauser Bridge Rd in Cazadero, Sonoma County, California. Figure 1 shows Ratna Ling's regional location.

Figure 1. Regional and Project Location



The Center was previously permitted in a 2004 Use Permit with the County. Some of the structures included in that permit have been constructed. In March 2011, the Center's staff submitted a new Master Use Permit application to the County. As detailed below, the 2011 Master Use Permit application provides detailed information about the features/facilities included in the 2004 Use Permit and about new proposed facilities.

Existing structures at the Center include: fourteen guest cottages; a meditation hall; a conference center and library; an 21,000-square foot (sf) text printing building; small storage buildings associated with the residences; four book storage facilities; and a partially-constructed senior (assisted-living) center. In addition to the existing structures, the Center was previously permitted (2004 Use Permit) to construct an additional six cottages and up to 4,080 sf of storage space for the residences. Some of the previously permitted storage space associated with the residences has been constructed, such as the existing small storage buildings mentioned above.

In its 2011 Master Use Permit application, the Center is proposing the addition of new structures to support the Center's retreat activities, and sacred text production/storage activities associated with Tibetan Buddhist religious practices. Proposed additions to the Center include completing the construction of a previously approved 6-bed senior center

and constructing a new six-bedroom residential building that could house up to 12 people.

This report estimates the Center's greenhouse gas (GHG) emissions for construction and operational emissions. Construction emissions are estimated for the proposed land uses (a 6 unit dorm and 8 seasonal tents). Operational emissions are estimated for the following three categories of land uses:

- approved and built land uses (27 residential units, 39,270 sf of sacred text treasury storage, and a 21,000 square foot sacred text press building),
- approved but not yet built land uses (12 residential units of which 6 are for a senior center), and
- proposed land uses included in the 2011 Master Use Permit Application (6 dorm rooms and 8 seasonal tents).

The report first describes how GHGs are implicated in climate change. Then the report describes international, national, state, and local goals and policies that have been adopted to address climate change. Next, the report summarizes the GHG emissions that the project would generate during the Center's construction and operation. Finally, the report evaluates the significance of the Center's GHG emissions and describes mitigation measures that will be incorporated to reduce its GHG footprint.

## **Greenhouse Gases and Climate Change**

Global climate change is caused by anthropogenic emissions of GHGs released into the atmosphere through combustion of fossil fuels and other greenhouse gas-producing activities such as deforestation and land use change.

GHGs play a critical role in the Earth's radiation budget by trapping infrared radiation emitted from the Earth's surface, which could have otherwise escaped to space. Prominent GHGs contributing to this process include carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), nitrous oxide (N<sub>2</sub>O), and certain hydro- and fluorocarbons. This phenomenon, known as the "greenhouse effect," keeps the Earth's atmosphere near the surface warmer than it would be otherwise and allows for successful habitation by humans and other forms of life.

Global warming potential (GWP) is a measure of how much a given mass of GHG is estimated to contribute to global warming. It is a relative scale that compares the gas in question to that of the same mass of carbon dioxide (whose GWP is by definition 1). In this analysis, CH<sub>4</sub> is assumed to have a GWP of 21 and N<sub>2</sub>O has a GWP of 310 (California Climate Action Registry, 2009). Using each pollutant's GWP, emissions of CO<sub>2</sub>, CH<sub>4</sub>, and N<sub>2</sub>O can be converted into CO<sub>2</sub> equivalence, denoted as CO<sub>2</sub>e (U.S. Environmental Protection Agency, 2008).

The combustion of fossil fuels releases carbon that has been stored underground into the active carbon cycle, thus increasing concentrations of GHGs in the atmosphere. Emissions of GHGs in excess of natural ambient concentrations are theorized to be responsible for the enhancement of the greenhouse effect and contribute to what is termed “global warming”, a trend of unnatural warming of the Earth’s natural climate. Increases in these gases lead to more absorption of radiation and warm the lower atmosphere further, thereby increasing evaporation rates, and temperatures near the surface. Climate change is a global problem, and GHGs are global pollutants, unlike criteria pollutants (such as ozone, carbon monoxide, and particulate matter) and toxic air contaminants (TACs), which are pollutants of regional and local concern.

The Intergovernmental Panel on Climate Change (IPCC) was established by the World Meteorological Organization and United Nations Environment Programme. IPCC’s mission is to assess scientific, technical, and socioeconomic information relevant to the understanding of climate change, including the potential impacts and options for adaptation and mitigation. IPCC predicts substantial increases in global temperatures of between 2 to 11.5 degrees Fahrenheit, depending on the scenario (Intergovernmental Panel on Climate Change, 2007).

Climate change could affect California’s natural environment in the following ways (California Energy Commission, 2005):

- Rising sea levels along the California coastline, particularly in San Francisco and the Sacramento-San Joaquin River Delta due to ocean expansion;
- Extreme heat conditions, such as heat waves and very high temperatures, which could last longer and become more frequent;
- An increase in heat-related human deaths and infectious diseases and a higher risk of respiratory problems caused by deteriorating air quality;
- Reduced snow pack and stream flow in the Sierra Nevada mountains, affecting winter recreation and water supplies;
- Potential increase in the severity of winter storms, affecting peak stream flows and flooding;
- Changes in growing season conditions that could affect California agriculture, causing variations in crop quality and yield; and
- Changes in the distribution of plant and wildlife species due to changes in temperature, competition of colonizing species, changes in hydrologic cycles, changes in sea levels, and other climate-related effects.

These changes in California's climate and ecosystems could occur at a time when California's population is expected to increase from 34 million to 59 million by the year 2040 (California Energy Commission, 2005).

For a "business as usual" scenario, increases are expected in the amount of anthropogenic GHG emissions and the number of people potentially affected by climate change. Similar changes as those noted above for California would also occur in other parts of the world, with regional variations in affected resources and vulnerability to adverse effects.

Transportation generates 37% of California's GHG emissions, followed by the energy industry (36%), the industrial sector (10%), agriculture and forestry (5%), and other sources (12%). Emissions of CO<sub>2</sub> and N<sub>2</sub>O are byproducts of fossil fuel combustion, among other sources. Methane, a highly potent GHG, results from off gassing associated with agricultural practices and landfills. Sinks of carbon dioxide include uptake by vegetation and dissolution into the ocean. In 2008, California generated 474 million metric tons of GHG measured as CO<sub>2</sub>e emissions (California Air Resources Board, 2010a).

## **Greenhouse Gas Regulatory Environment**

### ***International and National Regulation of Greenhouse Gases***

International and Federal legislation has been enacted to deal with climate change issues. The Montreal Protocol was originally signed in 1987 and substantially amended in 1990 and 1992. In October 1993, President Clinton announced his Climate Change Action Plan, which had a goal to return GHG emissions to 1990 levels by 2000. On March 21, 1994, the United States joined with several countries to sign the United Nations Framework Convention on Climate Change. Under the Convention, governments agreed to gather and share information on GHG emissions, national policies, and best practices, and to launch national strategies for addressing GHG.

The Kyoto Protocol is a United Nations Framework Convention on Climate Change protocol designed to reduce GHGs that cause climate change. The protocol was agreed to at the third Conference of the Parties in Kyoto, Japan in December 1997. As of November 2007, 175 parties had ratified the protocol. Of these, 36 developed countries are required to reduce GHG emissions to the levels specified for each of them in the treaty (representing over 61.6% of emissions from Annex I countries). One hundred and thirty-seven (137) developing countries have ratified the protocol, including Brazil, China, and India, but have no obligation beyond monitoring and reporting emissions. The United States, although a signatory to the Kyoto Protocol, has neither ratified nor withdrawn from the Protocol. The signature alone is symbolic, as the Kyoto Protocol is non-binding on the United States unless ratified. Several subsequent international conventions have been held by the United Nations Framework Convention on Climate Change, including a 2007 conference in Bali, Indonesia, a 2008 conference in Bangkok, Thailand, a 2009 conference in Copenhagen, Denmark, a 2010 conference in Cancun,



Mexico, and a 2011 conference in Durban, South Africa (United Nations Framework on Climate Change, 2011).

## **State Regulation of Greenhouse Gases**

### **Executive Order S-3-05**

On June 1, 2005, Governor Schwarzenegger issued Executive Order S-3-05. It included the following GHG emission reduction targets: by 2010, reduce GHG emissions to 2000 levels; by 2020, reduce GHG emissions to 1990 levels; by 2050, reduce GHG emissions to 80 percent below 1990 levels. To meet the targets, the Governor directed several state agencies to cooperate in the development of a Climate Action Plan. The Secretary of CalEPA leads a Climate Action Team (CAT) whose goal is to implement global warming emission reduction programs identified in the Climate Action Plan and to report on the progress made toward meeting the emission reduction targets established in the Executive Order.

The first report to the Governor and the Legislature was released in March 2006 and will be issued bi-annually thereafter. The CAT Report to the Governor contains recommendations and strategies to help ensure the targets in Executive Order S-3-05 are met (California EPA 2006).

### **California Global Warming Solutions Act of 2006 (AB32)**

In 2006, the California state legislature adopted the California Global Warming Solutions Act of 2006. AB32 establishes a cap on statewide GHG emissions and sets forth the regulatory framework to achieve the corresponding reduction in statewide emission levels. Under AB32, GHGs are defined as CO<sub>2</sub>, CH<sub>4</sub>, N<sub>2</sub>O, hydrofluorocarbons, perfluorocarbons, and sulfur hexafluoride.

AB32 requires that the California Air Resources Board (ARB):

- Adopt early action measures to reduce GHG;
- Establish a statewide GHG emissions cap for 2020 based on 1990 emissions;
- Adopt mandatory report rules for significant GHG sources;
- Adopt a scoping plan indicating how emission reductions will be achieved via regulations, market mechanisms, and other actions; and
- Adopt regulations needed to achieve the maximum technologically feasible and cost-effective reductions in GHGs.

### **Senate Bill 97**

Senate Bill (SB) 97, signed in August 2007, acknowledges that climate change is an important environmental issue that requires analysis under CEQA. The bill directs the California Office of Planning and Research (OPR) to prepare, develop, and transmit to the Resources Agency guidelines for the feasible mitigation of GHG emissions or the effects of GHG emissions, by July 1, 2009. The Resources Agency certified those guidelines on December 30, 2009. The Amendments became effective on March 18, 2010. The adopted CEQA Guideline amendments require lead agencies to:

- Calculate or estimate the amount of GHGs produced by a project using either a quantitative modeling approach or a qualitative approach that includes performance standards,
- Use one or more of several approaches to determine the significance of emissions, including:
  - the amount of the project's emissions increase over existing conditions,
  - the level of emissions compared to a significance threshold, and/or
  - project compliance with an existing statewide, regional, or local plan to mitigate GHG emissions.

### **Actions Taken by the California Office of Planning and Research**

In June 2008, the California Office of Planning and Research (OPR) issued a Technical Advisory on CEQA and Climate Change (California Office of Planning and Research, 2008). This document recommends that for projects subject to CEQA, that emissions be calculated and mitigation measures be identified to reduce those emissions. The OPR report does not identify emission thresholds for GHGs, but instead recommends that each lead agency develop their own thresholds.

On April 13, 2009, OPR submitted to the Secretary for Natural Resources its proposed amendments to the state CEQA Guidelines for greenhouse gas emissions, as required by Senate Bill 97 (Chapter 185, 2007).

### **Actions Taken by the California Natural Resources Agency**

On February 16, 2010, the Office of Administrative Law approved the Amendments, and filed them with the Secretary of State for inclusion in the California Code of Regulations. On March 18, 2010, the Natural Resources Agency adopted the proposed CEQA Guideline amendments as proposed by OPR. The adopted CEQA Guideline amendments require lead agencies to:

- Calculate or estimate the amount of GHGs produced by a project using either a quantitative modeling approach or a qualitative approach that includes performance standards,
- Use one or more of several approaches to determine the significance of emissions, including:
  - the amount of the project's emissions increase over existing conditions,
  - the level of emissions compared to a significance threshold, and/or
  - project compliance with an existing statewide, regional, or local plan to mitigate GHG emissions.

### **Actions Taken by California Attorney General's Office**

The California Attorney General (AG) has filed comment letters under CEQA about a number of proposed projects. The AG has also filed several complaints and obtained settlement agreements for CEQA documents covering general plans and individual projects that the AG found either failed to analyze GHG emissions or failed to provide adequate GHG mitigation. The AG's office has prepared a report that lists measures that local agencies should consider under CEQA to offset or reduce global warming impacts.

The AG's office also has prepared a chart of modeling tools to estimate GHG emission impacts of projects and plans. Information on the AG's actions can be found on the California Department of Justice website (California Department of Justice 2011).

### **Actions Taken by the California Air Resources Board**

The California Air Resources Board has taken several actions to implement AB 32, including several early action items. In April 2009, the California ARB approved a Low Carbon Fuels Standard (LCFS). This standard requires that all motor fuels in California be reformulated to reduce fuel life-cycle carbon content by 10 percent by 2020. This will reduce direct fuel consumption carbon emissions by 7 percent by 2020. This standard takes effect in 2010 and will be fully ramped in by 2020.

The Pavley regulations enacted by ARB reduce GHG emissions in light duty autos and trucks, and medium duty trucks from 2009 through 2016. Consequently, the Pavley emission reductions are only applied to a percentage of the total vehicle fleet. They do not affect other vehicles, such as heavy-duty vehicles, buses, and motorcycles.

In 2011, ARB approved its cap-and-trade regulation, which requires that many large GHG emitters reduce GHG over time by placing a cap on their GHG emissions. This regulation takes effect in early 2012.

### **Local Regulation of Greenhouse Gases**

#### **Northern Sonoma County Air Pollution Control District**

The Ratna Ling Retreat Center project is within the jurisdiction of the Northern Sonoma County Air Pollution Control District (NSCAPCD). NSCAPCD has not developed GHG significance thresholds, but recommends using the thresholds recently adopted by the Bay Area Air Quality Management District (BAAQMD, 2010). The BAAQMD recommends using any of the following three CEQA significance thresholds for individual projects: 1,100 metric tons CO<sub>2</sub>e per year, 4.6 metric tons of CO<sub>2</sub>e per number of residents plus employees, or compliance with a qualified climate action plan. If a project meets any one of these three significance thresholds, then operational GHG emissions are considered less than significant. The BAAQMD has not adopted GHG significance thresholds for construction emissions.

#### **Sonoma County General Plan**

The Open Space and Resource Conservation Element of Sonoma County's General Plan 2020 includes Objective OSRC-14.4: Reduce greenhouse gas emissions by 25 percent below 1990 levels by 2015. This objective is one of several designed to meet Goal OSRC-14: Promote energy conservation and contribute to energy demand reduction in the County. This 25 percent reduction objective is a countywide goal and does not constitute a CEQA significance threshold (Hardy, D., personal communication).

## Ratna Ling Retreat Center Greenhouse Gas Footprint

This section describes the GHG emissions resulting from existing uses, uses approved but not yet built, and new uses included in the Center's 2011 Master User Permit Application. Appendix A contains a detailed description of the methodologies and tools used to estimate those emissions.

### Construction GHG Footprint

Table 1 summarizes the project's construction-related GHG emissions, which equal 67 metric tons of CO<sub>2</sub>e. The construction emission estimates assume a five-month construction schedule beginning in February 2012 with completion in June 2012. Construction GHG emissions were calculated for the additional structures proposed in the 2011 Master Use Permit. Facilities included in the 2004 Use Permit that have not yet been constructed (six guest cottages and some storage facilities) were not included in the construction emission estimates.

Emissions consist primarily of CO<sub>2</sub> emissions associated with diesel powered construction equipment. The BAAQMD has not adopted significance thresholds for construction-related GHGs. However, construction emissions would be less than the BAAQMD's operational threshold of 1,100 metric tons CO<sub>2</sub>e per year (BAAQMD, 2010).

**Table 1. Construction Related GHG Emissions**

	CO <sub>2</sub> e (metric tons/year)
<b>Construction Emissions</b>	67

Notes: Emissions estimated using the URBEMIS2007 model, version 9.2.4. The project schedule assumes work begins in February 2012 and is completed by June 30, 2012. Additional construction assumptions and URBEMIS model runs are shown in Appendix A.

### Operational GHG Footprint

Table 2 shows the proposed project's operational GHG emissions. Emissions are itemized by emission category. The project would emit 448 metric tons CO<sub>2</sub>e per year, which would be less than the BAAQMD's GHG threshold of 1,100 metric tons CO<sub>2</sub>e per year.

The GHG operational emission estimate includes 47 residential units that include 27 units that have been approved and built, 6 units that have been approved but not yet built, a proposed 6 unit senior center dorm, and 8 proposed, seasonal tents. In addition, 6 senior center residences are included (approved, but not yet built).

The GHG operational emissions also include non-residential land uses: 39,270 square feet of sacred text treasury storage in four units (approved and built), and a 21,000 square foot sacred text press building (approved and built).

**Table 2. Operational GHG Emissions**

<b>Emission Category</b>	<b>CO<sub>2</sub>e (metric tons/ year)</b>
<i>Transportation</i>	61.3
<i>Landscaping</i>	1.0
<i>Electricity</i>	181.6
<i>Natural Gas</i>	77.0
<i>Water &amp; Wastewater</i>	7.0
<i>Solid Waste</i>	120.4
<b>Total</b>	<b>448.3</b>

*Notes: Appendix A includes a detailed explanation of the calculations used to estimate emissions for each category.*

## Conclusions

The Center's construction and operational CO<sub>2</sub>e emissions are less than 1,100 metric tons per year of CO<sub>2</sub>e. This is true even though the operational emissions estimated for this report include emissions from approved and built, approved but not yet built, and proposed land uses. Consequently, the Center's GHG footprint is and will continue to be less than significant.

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# Appendix A – Ratna Ling Retreat Center Greenhouse Gas Emission Calculations

<b>Contents</b>	<b>Appendix A-</b>
Construction .....	2
Proposed Project Emissions .....	5
Trip Generation Rate Estimates .....	5
Proposed Project – Transportation – URBEMIS Results .....	6
Proposed Project – Area Sources and Transportation – BGM Model Adjustments .....	10
Proposed Project - Electricity and Propane Use .....	13
Proposed Project – Water and Wastewater Emissions .....	16
Proposed Project – Solid Waste Emissions .....	20



# Construction

Page: 1

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Urbemis 2007 Version 9.2.4

## Combined Annual Emissions Reports (Tons/Year)

File Name: G:\Ratna Ling Retreat Center\Air Quality Calculations\URBEMIS Files\Ratna Ling Construction 121911.urb924

Project Name: Ratna Ling Construction

Project Location: Sonoma County

On-Road Vehicle Emissions Based on: Version : Emfac2007 V2.3 Nov 1 2006

Off-Road Vehicle Emissions Based on: OFFROAD2007

Summary Report:

### CONSTRUCTION EMISSION ESTIMATES

	<u>CO2</u>	<u>CO2 Metric</u>
2012 TOTALS (tons/year unmitigated)	73.47	66.79

Construction Unmitigated Detail Report:

### CONSTRUCTION EMISSION ESTIMATES Annual Tons Per Year, Unmitigated

	<u>CO2</u>	<u>CO2 Metric</u>
2012	73.47	66.79
Fine Grading 02/01/2012-02/29/2012	24.67	

Fine Grading Dust	0.00
Fine Grading Off Road Diesel	23.60
Fine Grading On Road Diesel	0.00
Fine Grading Worker Trips	1.07
Building 03/01/2012-06/30/2012	48.58
Building Off Road Diesel	38.86
Building Vendor Trips	4.36
Building Worker Trips	5.35
Coating 06/15/2012-06/30/2012	0.23
Architectural Coating	0.00
Coating Worker Trips	0.23

Phase Assumptions

Phase: Fine Grading 2/1/2012 - 2/29/2012 - Default Fine Site Grading Description

Total Acres Disturbed: 0.95

Maximum Daily Acreage Disturbed: 0.24

Fugitive Dust Level of Detail: Default

20 lbs per acre-day

On Road Truck Travel (VMT): 0

Off-Road Equipment:

1 Graders (174 hp) operating at a 0.61 load factor for 6 hours per day

1 Rubber Tired Dozers (357 hp) operating at a 0.59 load factor for 6 hours per day

1 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 7 hours per day

1 Water Trucks (189 hp) operating at a 0.5 load factor for 8 hours per day

Phase: Building Construction 3/1/2012 - 6/30/2012 - Default Building Construction Description

Off-Road Equipment:

1 Cranes (399 hp) operating at a 0.43 load factor for 4 hours per day

2 Forklifts (145 hp) operating at a 0.3 load factor for 6 hours per day

1 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 8 hours per day

Phase: Architectural Coating 6/15/2012 - 6/30/2012 - Default Architectural Coating Description

Rule: Residential Interior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250

Rule: Residential Exterior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250

Rule: Nonresidential Interior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250

Rule: Nonresidential Exterior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250

## ***Proposed Project Emissions***

### **Trip Generation Rate Estimates**

Vehicle Trip Generation (trips per day)	Vehicle Trips (round trips per day)
1) Service Vehicles	2.56
2) Employees/Staff	6
3) Guests/Retreatants	7.9
4) Printing Press	1
<b>Total</b>	<b>17.46</b>
Source: Ratna Ling, 2011	

## Proposed Project – Transportation – URBEMIS Results

Page: 1

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Urbemis 2007 Version 9.2.4

### Combined Annual Emissions Reports (Tons/Year)

File Name: G:\Ratna Ling Retreat Center\Air Quality Calculations\URBEMIS Files\Revised Ratna Ling Project includes Approved (built and not yet build) and Proposed Land Uses.urb924

Project Name: Ratna Ling Retreat Center Operations

Project Location: Sonoma County

On-Road Vehicle Emissions Based on: Version : Emfac2007 V2.3 Nov 1 2006

Off-Road Vehicle Emissions Based on: OFFROAD2007

Summary Report:

#### AREA SOURCE EMISSION ESTIMATES

	<u>CO2</u>
TOTALS (tons/year, unmitigated)	1.01

#### OPERATIONAL (VEHICLE) EMISSION ESTIMATES

	<u>CO2</u>
TOTALS (tons/year, unmitigated)	67.66

#### SUM OF AREA SOURCE AND OPERATIONAL EMISSION ESTIMATES

	<u>CO2</u>
TOTALS (tons/year, unmitigated)	68.67

Area Source Unmitigated Detail Report:

AREA SOURCE EMISSION ESTIMATES Annual Tons Per Year, Unmitigated

<u>Source</u>	<u>CO2</u>
Natural Gas	
Hearth	
Landscape	1.01
Consumer Products	
Architectural Coatings	
TOTALS (tons/year, unmitigated)	1.01

Area Source Changes to Defaults

Operational Unmitigated Detail Report:

OPERATIONAL EMISSION ESTIMATES Annual Tons Per Year, Unmitigated

<u>Source</u>	<u>CO2</u>
Apartments low rise	26.43
Senior Center Residences	10.88
Sacred Text Treasury Storage	4.95
Sacred Text Production	25.40
TOTALS (tons/year, unmitigated)	67.66

Operational Settings:

Does not include correction for passby trips

Does not include double counting adjustment for internal trips

Analysis Year: 2013 Season: Annual

Emfac: Version : Emfac2007 V2.3 Nov 1 2006

Summary of Land Uses<sup>1</sup>

Land Use Type	Acreage	Trip Rate	Unit Type	No. Units	Total Trips	Total VMT
Apartments low rise	2.94	0.31	dwelling units	47.00	14.57	155.67
Senior Center Residences	0.38	1.00	dwelling units	6.00	6.00	64.10
Sacred Text Treasury Storage		0.11	1000 sq ft	39.27	4.32	29.21
Sacred Text Production		0.67	1000 sq ft	21.00	14.07	149.85
					38.96	398.83

Vehicle Fleet Mix

Vehicle Type	Percent Type	Non-Catalyst	Catalyst	Diesel
Light Auto	44.8	0.9	98.7	0.4
Light Truck < 3750 lbs	18.1	1.7	92.8	5.5
Light Truck 3751-5750 lbs	19.9	0.5	99.0	0.5
Med Truck 5751-8500 lbs	7.3	0.0	100.0	0.0
Lite-Heavy Truck 8501-10,000 lbs	1.8	0.0	72.2	27.8
Lite-Heavy Truck 10,001-14,000 lbs	1.0	0.0	50.0	50.0
Med-Heavy Truck 14,001-33,000 lbs	1.2	0.0	16.7	83.3
Heavy-Heavy Truck 33,001-60,000 lbs	0.2	0.0	0.0	100.0
Other Bus	0.1	0.0	0.0	100.0

<sup>1</sup> Land uses include 47 residential units (27 approved and built, 6 approved but not yet built, a 6 unit dorm [proposed], and 8 tents [seasonal, proposed]). Also includes 6 dwelling units in a senior center (approved but not yet built), a combined 39,270 square feet of Sacred Text Treasury storage in 4 units (approved and built), and a 21,000 square feet sacred text press building (approved and built).

Urban Bus	0.0	0.0	0.0	0.0
Motorcycle	4.5	55.6	44.4	0.0
School Bus	0.1	0.0	0.0	100.0
Motor Home	1.0	0.0	90.0	10.0

Travel Conditions

	Residential			Non-Residential		
	Home-Work	Home-Shop	Home-Other	Commute	Non-Work	Customer
Urban Trip Length (miles)	10.8	7.3	7.5	9.5	7.4	7.4
Rural Trip Length (miles)	16.8	7.1	7.9	14.7	6.6	6.6
Trip speeds (mph)	35.0	35.0	35.0	35.0	35.0	35.0
% of Trips - Residential	32.9	18.0	49.1			
% of Trips – Non-Residential (by land use)						
Sacred Text Treasury Storage				2.0	1.0	97.0
Sacred Text Production				50.0	25.0	25.0



**Proposed Project – Area Sources and Transportation – BGM Model Adjustments**

<b>Unmitigated Transportation</b>	<b>Target Year:</b> 2013 <b>Project</b>
Operational Emissions from URBEMIS (CO <sub>2</sub> tons/year)	67.66
Metric Ton Adjustment (CO <sub>2</sub> metric tons/year)	61.40
Pavley Regulation Adjustment (CO <sub>2</sub> metric tons/year):	58.70
US EPA Adjustment (CO <sub>2</sub> e metric tons/year):	61.79
Low Carbon Fuels Rule Adjustment (CO <sub>2</sub> e metric tons/year)	61.34
<b>Total (CO<sub>2</sub>e metric tons/year):</b>	<b>61.34</b>
<p><b>Notes:</b>                      The Pavley Regulation Adjust reduces transportation emissions to account for the Pavley regulation, which reduces GHG emissions in light duty autos and trucks, and medium duty trucks from 2009 through 2016. Consequently, the Pavley emission reductions are only applied to a percentage of the total vehicle fleet. For this project, the Pavley adjustment reduces emissions in 2013 by 6.31% for light duty autos and by 5.26% for light duty trucks. The Pavley adjustment was estimated using the Pavley 1-LCFS post-processor developed by the California Air Resources Board (2010b).</p> <p>The U.S. EPA adjustment assumes that GHG emissions from other pollutants - CH<sub>4</sub>, N<sub>2</sub>O, and hydrofluorcarbons (HFCs) from leaking air conditioners account for 5 percent of emissions from vehicles, after accounting for global warming potential of each GHG (U.S. Environmental Protection Agency, 2005).</p>	

The Low Carbon Fuels Rule Adjustment is based on the California Air Resources Board's LCFR, which has a goal of reducing carbon emissions from gasoline and diesel fuel by 10% by 2020. , The equivalent entire fuel cycle reduction for 2013, the first full year of the operation of Ratna Ling's proposed and existing facilities, is 1.0%. However, the tank to wheels reduction in 2013 is estimated to be 0.72%, which is the reduction used for this project's adjustment.

### Unmitigated Area Source

	<b>Project</b>
Landscaping Emissions from URBEMIS (CO <sub>2</sub> metric tons/year):	1.01
Total (CO <sub>2</sub> e metric tons/year):	1.01

The URBEMIS area source calculations include five separate categories: 1) natural gas fuel combustion, 2) hearth fuel combustion, 3) landscape maintenance equipment, 4) consumer products, and 5) architectural coatings. This Area Source tab imports CO<sub>2</sub> emissions calculated by URBEMIS for landscape maintenance equipment only. For this project, it was assumed that there will be no emissions from fireplaces or woodstoves. The consumer products and architectural coatings categories within URBEMIS do not generate GHG emissions and, consequently, are not used by BGM. Also, URBEMIS' estimate of CO<sub>2</sub> from natural gas fuel combustion is not used by BGM. Instead, BGM calculates natural gas use and the resulting CO<sub>2</sub> emissions in the Electricity and Natural Gas tab of the model.

## **Proposed Project - Electricity and Propane Use**

### **Center Estimated Electricity Use**

#### Residential:

235.00 megawatt hours/year = 4,434.000 kwh/residential unit-yr x (53 residential units) x mwh/1000 kwh  
4,434.000 kwh/residential unit based on estimated electricity use for climate zone 4.

#### Non-residential:

350.59 megawatt hours/year = 5.81695014 kwh/sf-yr x (60,270 sf) x mwh/1000 kwh  
5.81695014 kwh/sf-yr based on average electricity use for climate zone 4 for the all warehouses category (Itron, 2006).

#### Total:

585.59 megawatt hours/year = 235.00 megawatt hours/year + 350.59 megawatt hours/year

### **Center Estimated Propane Use**

#### Residential:

1,192.5 MMBtus/year = 22.500 MMBtu/residential unit-yr x 53 residential units  
22.500 MMBtu/residential unit-yr based on estimated natural gas use for climate zone 4.

#### Non-residential:

257.25 MMBtus/year = 0.0042616 MMBtu/sf-yr x (60,270 sf)  
0.0042616 MMBtu/sf-yr based on average natural gas use for climate zone 4 for the all warehouses category (Itron, 2006).

#### Total:

1,449.75 MMBtus/year = 1,192.5 MMBtus/year (residential) + 257.25 MMBtus/year (non-residential)

**GHGs Associated with Electricity and Propane Use**

**Greenhouse Gas Emission Factors**

	CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O
Electricity	681.01	0.02829	0.00623
Units	lbs CO <sub>2</sub> /mwh	lbs CH <sub>4</sub> /mwh	lbs N <sub>2</sub> O/MWH
Natural Gas	53.06	0.005	0.0001
Units	CO <sub>2</sub> (kg CO <sub>2</sub> /MMBtu)	CH <sub>4</sub> (kg/MMBtu)	N <sub>2</sub> O (kg/MMBtu)

Source: Climate Action Registry General Reporting Protocol, 2009

**GHG Emissions Associated with Electricity Use**

$$\text{CO}_2 \text{ (metric tons/year)} = 585.59 \text{ mwh} \times 681.01 \text{ lbs CO}_2/\text{mwh} \times \text{metric ton}/2204 \text{ lbs}$$

$$= 180.94 \text{ metric tons CO}_2$$

$$\text{CH}_4 \text{ (metric tons/year)} = 585.59 \text{ mwh} \times 0.02829 \text{ lbs CH}_4/\text{mwh} \times \text{metric ton}/2204 \text{ lbs}$$

$$= 0.00752 \text{ metric tons CH}_4$$

$$\text{N}_2\text{O (metric tons/year)} = 585.59 \text{ mwh} \times 0.00623 \text{ lbs N}_2\text{O /mwh} \times \text{metric ton}/2204 \text{ lbs}$$

$$= 0.00166 \text{ metric tons N}_2\text{O}$$

$$\text{CO}_2\text{e} = 180.94 \text{ metric tons CO}_2\text{e} + (0.00752 \text{ metric tons CH}_4 \times 21) + (0.00166 \text{ metric tons N}_2\text{O} \times 310)$$

$$= 181.61 \text{ metric tons CO}_2\text{e}$$

(Note: global warming potential of 1 for carbon dioxide, 21 for methane, and 310 for nitrous oxide based on California Climate Action Registry General Reporting Protocol [2009]).

### **GHG Emissions Associated with Propane Use**

$$\begin{aligned}\text{CO}_2 \text{ (metric tons/year)} &= 1,449.75 \text{ MMBtus} \times 53.06 \text{ kg CO}_2/\text{MMBtu} \times 2.2 \text{ pounds/kg} \times \text{metric ton}/2204 \text{ lbs} \\ &= 76.78 \text{ metric tons CO}_2\end{aligned}$$

$$\begin{aligned}\text{CH}_4 \text{ (metric tons/year)} &= 1,449.75 \text{ MMBtus} \times 0.005 \text{ kg CH}_4/\text{MMBtu} \times 2.2 \text{ pounds/kg} \times \text{metric ton}/2204 \text{ lbs} \\ &= 0.0072 \text{ metric tons CH}_4\end{aligned}$$

$$\begin{aligned}\text{N}_2\text{O (metric tons/year)} &= 1,449.75 \text{ MMBtus} \times 0.0001 \text{ kg N}_2\text{O} / \text{MMBtu} \times 2.2 \text{ pounds/kg} \times \text{metric ton}/2204 \text{ lbs} \\ &= 0.0001 \text{ metric tons N}_2\text{O}\end{aligned}$$

$$\begin{aligned}\text{CO}_2\text{e} &= 76.78 + (0.0072 \times 21) + (0.0001 \times 310) . \\ &= 76.96 \text{ metric tons CO}_2\text{e}\end{aligned}$$

(Note: global warming potential of 1 for carbon dioxide, 21 for methane, and 310 for nitrous oxide based on California Climate Action Registry General Reporting Protocol [2009]).

## Proposed Project – Water and Wastewater Emissions

### Residential:

Million Gallons H<sub>2</sub>O/year = 53 multi-family residential units x (2.65 capita/multi-family household) x (71.69 gallons/capita-day) x (365 days/yr) x million gallons / 1,000,000  
= 3.675 million gallons/year

- The 53 multi-person residential unit value includes 27 approved and built, 6 approved but not yet built, a 6 unit dorm (proposed), 8 tents (seasonal, proposed), and 6 dwelling units in a senior center (approved but not yet built).
- 71.69 gallons/capita-day based on: San Francisco PUC Wholesale Customer Water Demand Projections Technical Report, Prepared by URS Corporation and Maddaeus Water Management, November 2004.

### Non-residential:

Million Gallons H<sub>2</sub>O/year = 60,720 sq. ft./warehouse unit (sacred text storage and press building) x (1 warehouse unit/ 1700 sq.ft. per employee) x (85.586 gallons/employee-day) x (365 days/yr) x (million gallons/1,000,000)  
= 1.108 million gallons/year

- 60,270 of non-residential space includes 21,000 sq. ft. of sacred text press building and 39,270 sq. ft. of sacred text storage.
- 1700 sq.ft. per employee for (sacred text storage and press buildings) is based on warehouse land use at: Energy Information Administration Special Topics 1995 Building Activities Other, Square feet per employee.
- 85.59 gallons/employee-day based on: San Francisco PUC Wholesale Customer Water Demand Projections Technical Report, Prepared by URS Corporation and Maddaeus Water Management, November 2004.

### Total:

4.783 million gallons/year = 3.68 million gallons/year + 1.11 million gallons/year

<b>PROJECT</b>	
% indoor water use	0.628
% outdoor water use	0.372
Total	1.00
Notes: San Francisco PUC Wholesale Customer Water Demand Projections Technical Report, Prepared by URS Corporation and Maddaeus Water Management, November 2004.	

Indoor use = 0.628 x 4.783 million gallons/year  
= 3.004 million gallons/year

Outdoor use = 0.372 x 4.783 million gallons/year  
= 1.779 million gallons/year

Energy use per water use type:

Table ES-1. Recommended revised water-energy proxies

	<b>Indoor Uses</b>		<b>Outdoor Uses</b>	
	<b>Northern California</b>	<b>Southern California</b>	<b>Northern California</b>	<b>Southern California</b>
	<b>kWh/MG</b>	<b>kWh/MG</b>	<b>kWh/MG</b>	<b>kWh/MG</b>
<b>Water Supply and Conveyance</b>	2,117	9,727	2,117	9,727
<b>Water Treatment</b>	111	111	111	111
<b>Water Distribution</b>	1,272	1,272	1,272	1,272
<b>Wastewater Treatment</b>	1,911	1,911	0	0
<b>Regional Total</b>	5,411	13,022	3,500	11,111



Source: Navigant, 2006.

Greenhouse Gas Emission Factors	CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O
Electricity	681.01	0.02829	0.00623
Units	#/mwh	#/mwh	#/mwh

Source: California Climate Action Registry, 2009

Indoor Energy use

$$\begin{aligned} \text{Mwh/year} &= (5411 \text{ kwh/million gallons}) \times (3.004 \text{ million gallons/year}) \times (\text{mwh}/1000 \text{ kwh}) \\ &= 16.25 \text{ mwh/year} \end{aligned}$$

Outdoor Energy Use

$$\begin{aligned} \text{MWh/year} &= (3500 \text{ kwh/million gallons}) \times (1.779 \text{ million gallons/year}) \times (\text{mwh}/1000 \text{ kwh}) \\ &= 6.23 \text{ mwh/year} \end{aligned}$$

$$\begin{aligned} \text{Total Indoor + Outdoor Electricity Use Associated with Water Use} &= 16.25 \text{ mwh/year (indoor)} + 6.23 \text{ mwh/year (outdoor)} \\ &= 22.48 \text{ mwh/year} \end{aligned}$$

### Greenhouse Gas Emissions Associated with Water-Related Electricity Use

$$\begin{aligned} \text{Metric tons CO}_2 &= (681.01 \text{ lbs /mwh}) \times (22.48 \text{ mwh/year}) \times (\text{metric ton}/2204 \text{ lbs}) \\ &= 6.95 \text{ metric tons CO}_2/\text{year} \end{aligned}$$

$$\begin{aligned} \text{Metric tons CH}_4 &= (0.02829 \text{ lbs /mwh}) \times (22.48 \text{ mwh/year}) \times (\text{metric ton}/2204 \text{ lbs}) \\ &= 2.9\text{E-}4 \text{ metric tons CH}_4/\text{year} \end{aligned}$$

$$\begin{aligned} \text{Metric tons N}_2\text{O} &= (0.00623 \text{ lbs /mwh}) \times (22.48 \text{ mwh/year}) \times (\text{metric ton}/2204 \text{ lbs}) \\ &= 6.4\text{E-}5 \text{ metric tons N}_2\text{O /year} \end{aligned}$$

$$\begin{aligned} \text{Metric tons CO}_2\text{e} &= 6.95 \text{ metric tons CO}_2 + (2.9\text{E-}4 \text{ metric tons CH}_4 * 21) + (6.4\text{E-}5 \text{ metric tons N}_2\text{O} \times 310) \\ &= \mathbf{6.97} \text{ metric tons CO}_2 \end{aligned}$$

(Note: global warming potential of 1 for carbon dioxide, 21 for methane, and 310 for nitrous oxide based on California Climate Action Registry General Reporting Protocol [2009]).

**Proposed Project – Solid Waste Emissions**

**Solid Waste Generation**

Residential:

Solid waste generation/year = 53 multi-person residential units x 1.17 tons solid waste/residence-yr  
 = 62.01 tons solid waste/year

Non-residential:

Solid waste generation/year = (39,270 sf sacred text storage [warehouse] sf x 0.00259 tons solid waste/sf-yr) + (21,000 sf sacred text press building x 0.001095 tons solid waste/sf-yr)  
 = 186.77 tons solid waste/year

Total:

186.77 tons solid waste generation/year = 62.01 residential + 101.71 [warehouse] + 23.00 [sacred text press building]

Source: CalRecycle, 2010.

**Hauling Emissions**

Project	Assumptions
Average Round Trip Truck Haul Distance (miles):	40.00
Solid Waste Truck Capacity (tons):	15.00
Round Trips/Year:	12.45
Miles per Year:	498.06

Emfac Emission Factors	CO <sub>2</sub> (grams/mile)	Methane (grams/mile)
2013	1780.40	0.04

Metric tons CO<sub>2</sub>/year = 498.06 miles per year x 1780.40 grams CO<sub>2</sub>/mile x lb/454 grams x metric ton/2204 lbs  
 = 0.89 metric tons CO<sub>2</sub>

Metric tons CH<sub>4</sub>/year = 498.06 miles per year x 0.04 grams CH<sub>4</sub>/mile x lb/454 grams x metric ton/2204 lbs  
 = 1.73E-5 metric tons CH<sub>4</sub>

$$\begin{aligned}\text{CO}_2\text{e} &= 0.89 \text{ metric tons CO}_2 + (1.75\text{E-}5 \text{ metric tons CH}_4 \times 21) \\ &= 0.89 \text{ metric tons CO}_2\end{aligned}$$

**Landfill Methane Emissions**

$$\begin{aligned}\text{Metric tons CO}_2\text{e/year} &= 186.77 \text{ tons solid waste/year} \times 0.64 \text{ metric tons CO}_2\text{e/ton solid waste (landfilling with flaring)} \\ &= 119.53 \text{ metric tons CO}_2\text{e/year}\end{aligned}$$

$$\begin{aligned}\text{Total Solid Waste} &= 0.89 \text{ metric tons CO}_2\text{e per year (hauling)} + 119.53 \text{ metric tons CO}_2\text{e per year (landfilling with flaring)} \\ &= 120.42 \text{ metric tons CO}_2\text{e/year}\end{aligned}$$

Source: U.S. Environmental Protection Agency, 2010.

## Appendix A – Ratna Ling Retreat Center Greenhouse Gas Emission Calculations

<b>Contents</b>	<b>Appendix A-</b>
Construction .....	2
Proposed Project Emissions .....	5
Trip Generation Rate Estimates .....	5
Proposed Project – Transportation – URBEMIS Results .....	6
Proposed Project – Area Sources and Transportation – BGM Model Adjustments.....	10
Proposed Project - Electricity and Propane Use .....	13
Proposed Project – Water and Wastewater Emissions .....	16
Proposed Project – Solid Waste Emissions .....	20

## Construction

Page: 1

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Urbemis 2007 Version 9.2.4

### Combined Annual Emissions Reports (Tons/Year)

File Name: G:\Ratna Ling Retreat Center\Air Quality Calculations\URBEMIS Files\Ratna Ling Construction 121911.urb924

Project Name: Ratna Ling Construction

Project Location: Sonoma County

On-Road Vehicle Emissions Based on: Version : Emfac2007 V2.3 Nov 1 2006

Off-Road Vehicle Emissions Based on: OFFROAD2007

Summary Report:

#### CONSTRUCTION EMISSION ESTIMATES

	<u>CO2</u>	<u>CO2 Metric</u>
2012 TOTALS (tons/year unmitigated)	73.47	66.79

Construction Unmitigated Detail Report:

#### CONSTRUCTION EMISSION ESTIMATES Annual Tons Per Year, Unmitigated

	<u>CO2</u>	<u>CO2 Metric</u>
2012	73.47	66.79
Fine Grading 02/01/2012-02/29/2012	24.67	

Fine Grading Dust	0.00
Fine Grading Off Road Diesel	23.60
Fine Grading On Road Diesel	0.00
Fine Grading Worker Trips	1.07
Building 03/01/2012-06/30/2012	48.58
Building Off Road Diesel	38.86
Building Vendor Trips	4.36
Building Worker Trips	5.35
Coating 06/15/2012-06/30/2012	0.23
Architectural Coating	0.00
Coating Worker Trips	0.23

Phase Assumptions

Phase: Fine Grading 2/1/2012 - 2/29/2012 - Default Fine Site Grading Description

Total Acres Disturbed: 0.95

Maximum Daily Acreage Disturbed: 0.24

Fugitive Dust Level of Detail: Default

20 lbs per acre-day

On Road Truck Travel (VMT): 0

Off-Road Equipment:

1 Graders (174 hp) operating at a 0.61 load factor for 6 hours per day

1 Rubber Tired Dozers (357 hp) operating at a 0.59 load factor for 6 hours per day

1 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 7 hours per day

1 Water Trucks (189 hp) operating at a 0.5 load factor for 8 hours per day

Phase: Building Construction 3/1/2012 - 6/30/2012 - Default Building Construction Description

Off-Road Equipment:

1 Cranes (399 hp) operating at a 0.43 load factor for 4 hours per day

2 Forklifts (145 hp) operating at a 0.3 load factor for 6 hours per day

1 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 8 hours per day

Phase: Architectural Coating 6/15/2012 - 6/30/2012 - Default Architectural Coating Description

Rule: Residential Interior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250

Rule: Residential Exterior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250

Rule: Nonresidential Interior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250

Rule: Nonresidential Exterior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250



## ***Proposed Project Emissions***

### **Trip Generation Rate Estimates**

Vehicle Trip Generation (trips per day)	Vehicle Trips (round trips per day)
1) Service Vehicles	2.56
2) Employees/Staff	6
3) Guests/Retreatants	7.9
4) Printing Press	1
<b>Total</b>	<b>17.46</b>
Source: Ratna Ling, 2011	

## Proposed Project – Transportation – URBEMIS Results

Page: 1

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Urbemis 2007 Version 9.2.4

### Combined Annual Emissions Reports (Tons/Year)

File Name: G:\Ratna Ling Retreat Center\Air Quality Calculations\URBEMIS Files\Revised Ratna Ling Project includes Approved (built and not yet build) and Proposed Land Uses.urb924

Project Name: Ratna Ling Retreat Center Operations

Project Location: Sonoma County

On-Road Vehicle Emissions Based on: Version : Emfac2007 V2.3 Nov 1 2006

Off-Road Vehicle Emissions Based on: OFFROAD2007

Summary Report:

#### AREA SOURCE EMISSION ESTIMATES

	<u>CO2</u>
TOTALS (tons/year, unmitigated)	1.01

#### OPERATIONAL (VEHICLE) EMISSION ESTIMATES

	<u>CO2</u>
TOTALS (tons/year, unmitigated)	67.66

#### SUM OF AREA SOURCE AND OPERATIONAL EMISSION ESTIMATES

	<u>CO2</u>
TOTALS (tons/year, unmitigated)	68.67

Area Source Unmitigated Detail Report:

AREA SOURCE EMISSION ESTIMATES Annual Tons Per Year, Unmitigated

<u>Source</u>	<u>CO2</u>
Natural Gas	
Hearth	
Landscape	1.01
Consumer Products	
Architectural Coatings	
TOTALS (tons/year, unmitigated)	1.01

Area Source Changes to Defaults

Operational Unmitigated Detail Report:

OPERATIONAL EMISSION ESTIMATES Annual Tons Per Year, Unmitigated

<u>Source</u>	<u>CO2</u>
Apartments low rise	26.43
Senior Center Residences	10.88
Sacred Text Treasury Storage	4.95
Sacred Text Production	25.40
TOTALS (tons/year, unmitigated)	67.66

Operational Settings:

Does not include correction for passby trips

Does not include double counting adjustment for internal trips

Analysis Year: 2013 Season: Annual

Emfac: Version : Emfac2007 V2.3 Nov 1 2006

Summary of Land Uses<sup>1</sup>

Land Use Type	Acreage	Trip Rate	Unit Type	No. Units	Total Trips	Total VMT
Apartments low rise	2.94	0.31	dwelling units	47.00	14.57	155.67
Senior Center Residences	0.38	1.00	dwelling units	6.00	6.00	64.10
Sacred Text Treasury Storage		0.11	1000 sq ft	39.27	4.32	29.21
Sacred Text Production		0.67	1000 sq ft	21.00	14.07	149.85
					38.96	398.83

Vehicle Fleet Mix

Vehicle Type	Percent Type	Non-Catalyst	Catalyst	Diesel
Light Auto	44.8	0.9	98.7	0.4
Light Truck < 3750 lbs	18.1	1.7	92.8	5.5
Light Truck 3751-5750 lbs	19.9	0.5	99.0	0.5
Med Truck 5751-8500 lbs	7.3	0.0	100.0	0.0
Lite-Heavy Truck 8501-10,000 lbs	1.8	0.0	72.2	27.8
Lite-Heavy Truck 10,001-14,000 lbs	1.0	0.0	50.0	50.0
Med-Heavy Truck 14,001-33,000 lbs	1.2	0.0	16.7	83.3
Heavy-Heavy Truck 33,001-60,000 lbs	0.2	0.0	0.0	100.0
Other Bus	0.1	0.0	0.0	100.0

<sup>1</sup> Land uses include 47 residential units (27 approved and built, 6 approved but not yet built, a 6 unit dorm [proposed], and 8 tents [seasonal, proposed]). Also includes 6 dwelling units in a senior center (approved but not yet built), a combined 39,270 square feet of Sacred Text Treasury storage in 4 units (approved and built), and a 21,000 square feet sacred text press building (approved and built).

Urban Bus	0.0	0.0	0.0	0.0
Motorcycle	4.5	55.6	44.4	0.0
School Bus	0.1	0.0	0.0	100.0
Motor Home	1.0	0.0	90.0	10.0

Travel Conditions

	Residential			Non-Residential		
	Home-Work	Home-Shop	Home-Other	Commute	Non-Work	Customer
Urban Trip Length (miles)	10.8	7.3	7.5	9.5	7.4	7.4
Rural Trip Length (miles)	16.8	7.1	7.9	14.7	6.6	6.6
Trip speeds (mph)	35.0	35.0	35.0	35.0	35.0	35.0
% of Trips - Residential	32.9	18.0	49.1			
% of Trips – Non-Residential (by land use)						
Sacred Text Treasury Storage				2.0	1.0	97.0
Sacred Text Production				50.0	25.0	25.0

**Proposed Project – Area Sources and Transportation – BGM Model Adjustments**

<b>Unmitigated Transportation</b>	<b>Target Year:</b>	<b>2013</b>
	<b>Project</b>	
Operational Emissions from URBEMIS (CO <sub>2</sub> tons/year)		67.66
Metric Ton Adjustment (CO <sub>2</sub> metric tons/year)		61.40
Pavley Regulation Adjustment (CO <sub>2</sub> metric tons/year):		58.70
US EPA Adjustment (CO <sub>2</sub> e metric tons/year):		61.79
Low Carbon Fuels Rule Adjustment (CO <sub>2</sub> e metric tons/year)		61.34
<b>Total (CO<sub>2</sub>e metric tons/year):</b>		<b>61.34</b>
<p>Notes:</p> <p>The Pavley Regulation Adjust reduces transportation emissions to account for the Pavley regulation, which reduces GHG emissions in light duty autos and trucks, and medium duty trucks from 2009 through 2016. Consequently, the Pavley emission reductions are only applied to a percentage of the total vehicle fleet. For this project, the Pavley adjustment reduces emissions in 2013 by 6.31% for light duty autos and by 5.26% for light duty trucks. The Pavley adjustment was estimated using the Pavley 1-LCFS post-processor developed by the California Air Resources Board (2010b).</p> <p>The U.S. EPA adjustment assumes that GHG emissions from other pollutants - CH<sub>4</sub>, N<sub>2</sub>O, and hydrofluorcarbons (HFCs) from leaking air conditioners account for 5 percent of emissions from vehicles, after accounting for global warming potential of each GHG (U.S. Environmental Protection Agency, 2005).</p>		

The Low Carbon Fuels Rule Adjustment is based on the California Air Resources Board's LCFR, which has a goal of reducing carbon emissions from gasoline and diesel fuel by 10% by 2020. , The equivalent entire fuel cycle reduction for 2013, the first full year of the operation of Ratna Ling's proposed and existing facilities, is 1.0%. However, the tank to wheels reduction in 2013 is estimated to be 0.72%, which is the reduction used for this project's adjustment.

**Unmitigated Area Source**

	<b>Project</b>
Landscaping Emissions from URBEMIS (CO <sub>2</sub> metric tons/year):	1.01
Total (CO <sub>2</sub> e metric tons/year):	1.01
<p>The URBEMIS area source calculations include five separate categories: 1) natural gas fuel combustion, 2) hearth fuel combustion, 3) landscape maintenance equipment, 4) consumer products, and 5) architectural coatings. This Area Source tab imports CO<sub>2</sub> emissions calculated by URBEMIS for landscape maintenance equipment only. For this project, it was assumed that there will be no emissions from fireplaces or woodstoves. The consumer products and architectural coatings categories within URBEMIS do not generate GHG emissions and, consequently, are not used by BGM. Also, URBEMIS' estimate of CO<sub>2</sub> from natural gas fuel combustion is not used by BGM. Instead, BGM calculates natural gas use and the resulting CO<sub>2</sub> emissions in the Electricity and Natural Gas tab of the model.</p>	



## **Proposed Project - Electricity and Propane Use**

### **Center Estimated Electricity Use**

#### Residential:

235.00 megawatt hours/year = 4,434.000 kwh/residential unit-yr x (53 residential units) x mwh/1000 kwh  
4,434.000 kwh/residential unit based on estimated electricity use for climate zone 4.

#### Non-residential:

350.59 megawatt hours/year = 5.81695014 kwh/sf-yr x (60,270 sf) x mwh/1000 kwh  
5.81695014 kwh/sf-yr based on average electricity use for climate zone 4 for the all warehouses category (Itron, 2006).

#### Total:

585.59 megawatt hours/year = 235.00 megawatt hours/year + 350.59 megawatt hours/year

### **Center Estimated Propane Use**

#### Residential:

1,192.5 MMBtus/year = 22.500 MMBtu/residential unit-yr x 53 residential units  
22.500 MMBtu/residential unit-yr based on estimated natural gas use for climate zone 4.

#### Non-residential:

257.25 MMBtus/year = 0.0042616 MMBtu/sf-yr x (60,270 sf)  
0.0042616 MMBtu/sf-yr based on average natural gas use for climate zone 4 for the all warehouses category (Itron, 2006).

#### Total:

1,449.75 MMBtus/year = 1,192.5 MMBtus/year (residential) + 257.25 MMBtus/year (non-residential)

**GHGs Associated with Electricity and Propane Use**

**Greenhouse Gas Emission Factors**

	CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O
Electricity	681.01	0.02829	0.00623
Units	lbs CO <sub>2</sub> /mwh	lbs CH <sub>4</sub> /mwh	lbs N <sub>2</sub> O/MWH
Natural Gas	53.06	0.005	0.0001
Units	CO <sub>2</sub> (kg CO <sub>2</sub> /MMBtu)	CH <sub>4</sub> (kg/MMBtu)	N <sub>2</sub> O (kg/MMBtu)

Source: Climate Action Registry General Reporting Protocol, 2009

**GHG Emissions Associated with Electricity Use**

$$\begin{aligned} \text{CO}_2 \text{ (metric tons/year)} &= 585.59 \text{ mwh} \times 681.01 \text{ lbs CO}_2/\text{mwh} \times \text{metric ton}/2204 \text{ lbs} \\ &= 180.94 \text{ metric tons CO}_2 \end{aligned}$$

$$\begin{aligned} \text{CH}_4 \text{ (metric tons/year)} &= 585.59 \text{ mwh} \times 0.02829 \text{ lbs CH}_4/\text{mwh} \times \text{metric ton}/2204 \text{ lbs} \\ &= 0.00752 \text{ metric tons CH}_4 \end{aligned}$$

$$\begin{aligned} \text{N}_2\text{O (metric tons/year)} &= 585.59 \text{ mwh} \times 0.00623 \text{ lbs N}_2\text{O /mwh} \times \text{metric ton}/2204 \text{ lbs} \\ &= 0.00166 \text{ metric tons N}_2\text{O} \end{aligned}$$

$$\begin{aligned} \text{CO}_2\text{e} &= 180.94 \text{ metric tons CO}_2\text{e} + (0.00752 \text{ metric tons CH}_4 \times 21) + (0.00166 \text{ metric tons N}_2\text{O} \times 310) \\ &= 181.61 \text{ metric tons CO}_2\text{e} \end{aligned}$$

(Note: global warming potential of 1 for carbon dioxide, 21 for methane, and 310 for nitrous oxide based on California Climate Action Registry General Reporting Protocol [2009]).

### **GHG Emissions Associated with Propane Use**

$$\begin{aligned}\text{CO}_2 \text{ (metric tons/year)} &= 1,449.75 \text{ MMBtus} \times 53.06 \text{ kg CO}_2/\text{MMBtu} \times 2.2 \text{ pounds/kg} \times \text{metric ton}/2204 \text{ lbs} \\ &= 76.78 \text{ metric tons CO}_2\end{aligned}$$

$$\begin{aligned}\text{CH}_4 \text{ (metric tons/year)} &= 1,449.75 \text{ MMBtus} \times 0.005 \text{ kg CH}_4/\text{MMBtu} \times 2.2 \text{ pounds/kg} \times \text{metric ton}/2204 \text{ lbs} \\ &= 0.0072 \text{ metric tons CH}_4\end{aligned}$$

$$\begin{aligned}\text{N}_2\text{O (metric tons/year)} &= 1,449.75 \text{ MMBtus} \times 0.0001 \text{ kg N}_2\text{O} / \text{MMBtu} \times 2.2 \text{ pounds/kg} \times \text{metric ton}/2204 \text{ lbs} \\ &= 0.0001 \text{ metric tons N}_2\text{O}\end{aligned}$$

$$\begin{aligned}\text{CO}_2\text{e} &= 76.78 + (0.0072 \times 21) + (0.0001 \times 310) \\ &= 76.96 \text{ metric tons CO}_2\text{e}\end{aligned}$$

(Note: global warming potential of 1 for carbon dioxide, 21 for methane, and 310 for nitrous oxide based on California Climate Action Registry General Reporting Protocol [2009]).

## Proposed Project – Water and Wastewater Emissions

### Residential:

Million Gallons H<sub>2</sub>O/year = 53 multi-family residential units x (2.65 capita/multi-family household) x (71.69 gallons/capita-day) x (365 days/yr) x million gallons / 1,000,000  
= 3.675 million gallons/year

- The 53 multi-person residential unit value includes 27 approved and built, 6 approved but not yet built, a 6 unit dorm (proposed), 8 tents (seasonal, proposed), and 6 dwelling units in a senior center (approved but not yet built).
- 71.69 gallons/capita-day based on: San Francisco PUC Wholesale Customer Water Demand Projections Technical Report, Prepared by URS Corporation and Maddaeus Water Management, November 2004.

### Non-residential:

Million Gallons H<sub>2</sub>O/year = 60,720 sq. ft./warehouse unit (sacred text storage and press building) x (1 warehouse unit/ 1700 sq.ft. per employee) x (85.586 gallons/employee-day) x (365 days/yr) x (million gallons/1,000,000)  
= 1.108 million gallons/year

- 60,270 of non-residential space includes 21,000 sq. ft. of sacred text press building and 39,270 sq. ft. of sacred text storage.
- 1700 sq.ft. per employee for (sacred text storage and press buildings) is based on warehouse land use at: Energy Information Administration Special Topics 1995 Building Activities Other, Square feet per employee.
- 85.59 gallons/employee-day based on: San Francisco PUC Wholesale Customer Water Demand Projections Technical Report, Prepared by URS Corporation and Maddaeus Water Management, November 2004.

### Total:

4.783 million gallons/year = 3.68 million gallons/year + 1.11 million gallons/year

<b>PROJECT</b>	
% indoor water use	0.628
% outdoor water use	0.372
Total	1.00
Notes: San Francisco PUC Wholesale Customer Water Demand Projections Technical Report, Prepared by URS Corporation and Maddaeus Water Management, November 2004.	

Indoor use = 0.628 x 4.783 million gallons/year  
= 3.004 million gallons/year

Outdoor use = 0.372 x 4.783 million gallons/year  
= 1.779 million gallons/year

Energy use per water use type:

Table ES-1. Recommended revised water-energy proxies

	Indoor Uses		Outdoor Uses	
	Northern California kWh/MG	Southern California kWh/MG	Northern California kWh/MG	Southern California kWh/MG
Water Supply and Conveyance	2,117	9,727	2,117	9,727
Water Treatment	111	111	111	111
Water Distribution	1,272	1,272	1,272	1,272
Wastewater Treatment	1,911	1,911	0	0
Regional Total	5,411	13,022	3,500	11,111

Source: Navigant, 2006.

Greenhouse Gas Emission Factors	CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O
Electricity	681.01	0.02829	0.00623
Units	#/mwh	#/mwh	#/mwh

Source: California Climate Action Registry, 2009

Indoor Energy use

$$\begin{aligned} \text{Mwh/year} &= (5411 \text{ kwh/million gallons}) \times (3.004 \text{ million gallons/year}) \times (\text{mwh}/1000 \text{ kwh}) \\ &= 16.25 \text{ mwh/year} \end{aligned}$$

Outdoor Energy Use

$$\begin{aligned} \text{MWh/year} &= (3500 \text{ kwh/million gallons}) \times (1.779 \text{ million gallons/year}) \times (\text{mwh}/1000 \text{ kwh}) \\ &= 6.23 \text{ mwh/year} \end{aligned}$$

$$\begin{aligned} \text{Total Indoor + Outdoor Electricity Use Associated with Water Use} &= 16.25 \text{ mwh/year (indoor)} + 6.23 \text{ mwh/year (outdoor)} \\ &= 22.48 \text{ mwh/year} \end{aligned}$$

### Greenhouse Gas Emissions Associated with Water-Related Electricity Use

$$\begin{aligned} \text{Metric tons CO}_2 &= (681.01 \text{ lbs /mwh}) \times (22.48 \text{ mwh/year}) \times (\text{metric ton}/2204 \text{ lbs}) \\ &= 6.95 \text{ metric tons CO}_2/\text{year} \end{aligned}$$

$$\begin{aligned} \text{Metric tons CH}_4 &= (0.02829 \text{ lbs /mwh}) \times (22.48 \text{ mwh/year}) \times (\text{metric ton}/2204 \text{ lbs}) \\ &= 2.9\text{E-}4 \text{ metric tons CH}_4/\text{year} \end{aligned}$$

$$\begin{aligned} \text{Metric tons N}_2\text{O} &= (0.00623 \text{ lbs /mwh}) \times (22.48 \text{ mwh/year}) \times (\text{metric ton}/2204 \text{ lbs}) \\ &= 6.4\text{E-}5 \text{ metric tons N}_2\text{O /year} \end{aligned}$$

$$\begin{aligned} \text{Metric tons CO}_2\text{e} &= 6.95 \text{ metric tons CO}_2 + (2.9\text{E-}4 \text{ metric tons CH}_4 * 21) + (6.4\text{E-}5 \text{ metric tons N}_2\text{O} \times 310) \\ &= \mathbf{6.97} \text{ metric tons CO}_2 \end{aligned}$$

(Note: global warming potential of 1 for carbon dioxide, 21 for methane, and 310 for nitrous oxide based on California Climate Action Registry General Reporting Protocol [2009]).

## Proposed Project – Solid Waste Emissions

### Solid Waste Generation

#### Residential:

Solid waste generation/year = 53 multi-person residential units x 1.17 tons solid waste/residence-yr  
 = 62.01 tons solid waste/year

#### Non-residential:

Solid waste generation/year = (39,270 sf sacred text storage [warehouse] sf x 0.00259 tons solid waste/sf-yr) + (21,000 sf sacred text press building x 0.001095 tons solid waste/sf-yr)  
 = 186.77 tons solid waste/year

#### Total:

186.77 tons solid waste generation/year = 62.01 residential + 101.71 [warehouse] + 23.00 [sacred text press building]

Source: CalRecycle, 2010.

### Hauling Emissions

Project	Assumptions
Average Round Trip Truck Haul Distance (miles):	40.00
Solid Waste Truck Capacity (tons):	15.00
Round Trips/Year:	12.45
Miles per Year:	498.06

Emfac Emission Factors	CO <sub>2</sub> (grams/mile)	Methane (grams/mile)
2013	1780.40	0.04

Metric tons CO<sub>2</sub>/year = 498.06 miles per year x 1780.40 grams CO<sub>2</sub>/mile x lb/454 grams x metric ton/2204 lbs  
 = 0.89 metric tons CO<sub>2</sub>

Metric tons CH<sub>4</sub>/year = 498.06 miles per year x 0.04 grams CH<sub>4</sub>/mile x lb/454 grams x metric ton/2204 lbs  
 = 1.73E-5 metric tons CH<sub>4</sub>



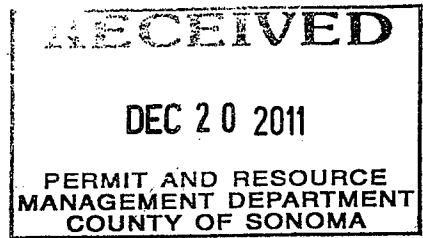
$$\begin{aligned}\text{CO}_2\text{e} &= 0.89 \text{ metric tons CO}_2 + (1.75\text{E-}5 \text{ metric tons CH}_4 \times 21) \\ &= 0.89 \text{ metric tons CO}_2\text{e}\end{aligned}$$

**Landfill Methane Emissions**

$$\begin{aligned}\text{Metric tons CO}_2\text{e/year} &= 186.77 \text{ tons solid waste/year} \times 0.64 \text{ metric tons CO}_2\text{e/ton solid waste (landfilling with flaring)} \\ &= 119.53 \text{ metric tons CO}_2\text{e/year}\end{aligned}$$

$$\begin{aligned}\text{Total Solid Waste} &= 0.89 \text{ metric tons CO}_2\text{e per year (hauling)} + 119.53 \text{ metric tons CO}_2\text{e per year (landfilling with flaring)} \\ &= 120.42 \text{ metric tons CO}_2\text{e/year}\end{aligned}$$

Source: U.S. Environmental Protection Agency, 2010.



**J. Kapolchok  
+ Associates**

Land Use Planning  
Urban Design

Ratna Ling  
Master Use Permit  
Project Description  
Supplemental Information  
(December 19, 2011)

After review of the submitted documents, referral agency comments and comments from interested parties, it has been requested by the Permit and Resource Management Department (PRMD) that supplemental information regarding the ancillary nature of the religious printing facility and the conformity of the Sacred Text Treasury to the Resource and Rural Development (RRD) zoning code be submitted. Subsequently, information regarding the energy efficiency of the facility, the storage of hazardous materials and the color of the Sacred Text Treasury structures has been requested.

We offer the following information to augment our March 15, 2011 submittal. The following is to be read in conjunction with the previously submitted project materials.

**Religious Printing Facility**

The religious printing use of the property was found by the County in 2004 to be ancillary to the primary retreat use, and remains so today. (The primary use of the property as a retreat center is underscored by the six-fold increase in number of retreats during 2011, 105 as compared to 17 in 2010.) The religious printing facility is not a stand-alone operation but integral and accessory to the retreat center.

Table 1 highlights the ancillary nature of the religious printing facility. Table 2 reflects the integral nature of the facility.

**Table 1: Ancillary Use Based on Measurable Components**

	<b>Ratna Ling Retreat Center</b>	<b>Religious Printing and Publishing Facility</b>
<b>Land Area</b>	118.5 acres or 98.75%	1.5 acres or 1.25%
<b>Septic Utilization</b>	95%	5%
<b>Water Use</b>	97.5%	2.5%
<b>Energy Use (electricity and gas)</b>	76%	24%
<b>Business property value</b>	63%	37%
<b>Hours of Operation</b>	24 hours	7am to 10 pm
<b>Traffic (Based on estimated vehicle trips per day)</b>	94.27%	5.72%

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The Sonoma County General Plan defines “ancillary” as a “use related to and subordinate to the primary use of the land.” Table 1 above depicts the subordinate nature of the printing and publishing facility from a physical component/impact perspective. Table 2 addresses the relatedness of the printing and publishing use to the retreat use.

**Table 2: Interrelation between the Religious Printing and Publishing Facility and the Ratna Ling Retreat Center<sup>1</sup>**

	<b>Ratna Ling Retreat Center</b>	<b>Religious Printing and Publishing Facility</b>
<b>Purpose</b>	“A place for retreat, contemplation, meditation and the spread of the Buddhist teachings and practices collectively known as the Dharma.”	The printing and publishing of the sacred texts is a religious practice. The Tibetan book is seen as the embodiment of the Buddha’s voice, a symbol of religion itself.
<b>Duties</b>	Many retreatants devote time to the religious practice of working on the sacred text production.	Many press volunteers participate in retreat activities. Volunteers also participate in retreat support, such as meal preparation and serving.
<b>Ceremonial/Ritual/Contemplation</b>	The retreats at Ratna Ling are educational, spiritual, contemplative and meditative.	Likewise, the work practice of the volunteers involves religious ritual and contemplation. (Attachment A)
<b>Silence/Speaking</b>	Silence and essential speech are part of the retreat experience.	Silence and essential speech are also practiced by the volunteers while making books.

### **Sacred Text Treasury**

A concern has been raised that the Sacred Text Treasury is merely the storage or warehousing of finished books. This is not the case.

<sup>1</sup> Table 2 abbreviates the historical context, volunteer requirements, work schedule and practices. For a more complete description, see Attachment A.

Completed or partially completed texts and art are not simply stored but reverentially deposited and placed in a Sacred Text Treasury. Texts are brought to and placed in the Treasury in a very specific manner and the treasury itself is prepared to receive the texts. Tibetan Buddhists believe that texts and art are manifestations of enlightened body, speech and mind.

The following is a description of the practice of placing texts or art in the Sacred Text Treasury:

In each treasury, there is an altar adorned with flowers, incense, and water bowls, honoring the Buddha. Twice a day, water and incense are offered in a ceremony that includes aspirations to enlightenment for the sake of all beings, and the chanting of mantras of purification. The ceremony concludes with a mantra that dedicates the benefit accumulated to the welfare of all beings. These ceremonies activate the blessings and protection of the enlightened ones. The daily honoring of the enlightened ones wherever texts and art are stored purifies the space, making it a fit receptacle for these manifestations of sacredness. It is critical for the smooth operation and success of the project of preserving this precious spiritual tradition, dedicated to the well-being of all, and it is also valuable for spiritual growth of the individual participants and strengthens the community of practitioners. This profoundly beneficial action is an essential daily part of our tradition.

### **Energy Efficiency**

A GHG Emissions report is being prepared for the project and is expected to confirm earlier calculations that the project is well below any established GHG impact criteria. This report will outline the numerous energy efficient, carbon reducing aspects of the project. As a matter of conscious design, the Ratna Ling facility is very environmentally pro-active. All organic waste is composted. Much of the food is produced in the on-site gardens or bought locally. All meals are vegetarian. The Nyingma Senior Center and separate Wellness Center (both previously permitted but not yet fully constructed) are designed to be platinum green buildings. Ratna Ling intends to install solar panels, uses electric golf carts for on-site transportation and re-uses or recycles 90% of its wastes.

### **Storage of Hazardous Materials**

The Sonoma County Hazmat/Fire Division inspects the Ratna Ling religious printing and publishing use every three years. Ratna Ling's Hazmat Business Plan has been reviewed, approved and is on file with the Agency.

The printing and publishing use produces three waste streams:

1. The mixture of solvent and water from machine-washing the printing blankets on the two newest presses (blanket wash). This is put in 55-gallon drums and taken away by Safety-Kleen.

2. The spent fountain solution from each of the presses. This is also put in 55-gallon drums and disposed by Safety-Kleen.
3. Chemicals used in hand cleaning of the press and printing plates. All of this is absorbed in launderable shop towels that are removed from the site every other week by Aramark.

The follow is a list of press equipment supplies based on 2011 usage and their VOC emissions:

<b>Material</b>	<b>Description</b>	<b>2011 Usage</b>	<b>VOC's (pounds)</b>
Brigl Wash	Press cleanup product	220 gal.	63.80
Metering Roller Cleaner	Specialized roller cleaner	4 gal.	2.96
Asphaltum Gum	Plate storage	6 gal.	4.26
Diamond Etch	Part 1 of fountain solution	35 gal.	34.30
Diamond Alcohol Substitute	Part 2 of fountain solution	20 gal.	124.00
Inks, vegetable based	Black, various colors	2,340 lb.	88.24
<b>Total VOC Emissions</b>			<b>317.56 pounds</b>

### **Color of the Sacred Text Treasuries**

The Sacred Text Treasury structures have been modified, per the suggestion of PRMD, to address visibility. The two structures by the press building are completely shielded by the grade and existing vegetation. The two structures that were placed on the former tennis court are tan on the side (up to ±15 ft.) and green on the remaining portions of the side and green on the top area, tan on the ends and light blue on the side visible from Ratna Ling. This color combination was suggested to address visibility from Meyers Grade.

# Tibetan Text Preservation as Spiritual Practice

## 1. Historical context

The fabrication of religious texts has been an important part of the spiritual practice of Buddhist practitioners since the beginnings of Buddhism in Tibet in the 7th century. The Tibetan book is at once the embodiment of the Buddha's voice, a principal means of education, a source of tradition and authority, an economic product, a finely crafted aesthetic object, a medium of Buddhist written culture, and a symbol of the religion itself.

Buddhist texts were hand-copied by monks and nuns, scholars and hermits using paper and ink. Starting in the 11th century texts were sometimes printed using carved woodblocks (see *The Culture of the Book in Tibet* by Kurtis R. Schaeffer, 2009). The knowledge of how to correctly carve the whole texts in reverse and how to print the texts was passed on from teacher to student. This practice was intact until the 1950s, but in the 1960s, most of the sacred texts, wood blocks and book making facilities that formed an essential element in Tibetan civilization were destroyed as part of China's Cultural Revolution, whose slogan was "Create the New by Destroying the Old." As a result, the survival of Tibet's ancient culture was placed in jeopardy.

In pre-1950s Tibet, only monks were allowed to produce religious texts. This is because any religious text is considered the Buddha's speech, and it requires spiritual training to treat the text correctly and assure that its power is not blocked. Certain texts can only be handled by practitioners who have mastered the complex meditation rituals described inside the texts.

Making religious texts is considered a spiritual practice which is highly meritorious for the individual and all beings. Producing Buddhist texts is considered to be at least as powerful for the spiritual development of a student as going on a long retreat. Tarthang Tulku, Head Lama and founder of our church, put this point quite simply more than 30 years ago when he wrote, "The teachings of the Buddha are a manifestation of the Buddha himself, and the propagation of these teachings is the most positive action one can perform."

## 2. Volunteer-practitioners

When Tarthang Tulku came to America as a refugee, he encouraged his Western students to take up this important practice, both for their own spiritual benefit and because of the urgent need to make texts available to Tibetans in exile. As there were no ordained students in the community, the Head Lama decided to train his Western lay students in the practical and ritual aspects of producing religious texts. Although he quite naturally chose to use the best Western print technology, he made sure to keep religious and spiritual practices at the center of text production.

Today, an elaborate process is in place to ensure that people work in ways that mirror the practices used in Tibet. The actual printing is reserved for serious life-time practitioners of Tibetan Buddhism with long years of training in the community. For the other stages in production, long-term Dharma students offer guidance to the short-term (typically six-months) volunteer-practitioners who join in the intensive hand labor necessary to turn the printed sheets into finished books. Supervisors make sure that volunteers understand the significance of their work, use it as a meditative practice, and treat the materials with appropriate care and respect. The entire community of press volunteers observes strict rules of behavior; they also join in daily rituals held at the press building, as described below.

Volunteers who cannot observe these rules are asked to leave. Anyone found to be drinking alcohol, smoking tobacco, or using illicit drugs is asked to leave on 24 hours notice.

The following guidelines are distributed to all volunteers participating in sacred text preservation:

**Wash your hands before working on the texts and avoid fingerprints.**

**Wear clean clothes and take showers regularly.**

**Wear respectful clothing (no belly-free tops or spaghetti straps).**

**Keep the work area clean and neat, put trash in trash cans right away.**

**Do not allow blood on the text. Use Band-Aids if you cut yourself.**

**Do not bring food or drinks next to the texts (closed water bottles are o k).**

**Do not put anything on top of texts and never step over or lean on texts.**

**Prevent texts from touching the floor. If it accidentally happens, touch it to your forehead.**

**Never put text in the trash but use non-production boxes underneath tables.**

**Always carry texts at heart level with both hands; carry no more than 4 books at once.**

**To get as much as you can out of your time working on these texts, use this opportunity to look at yourself. Explore the limits you habitually create for yourself and test acting differently. Feel your body and breath, and pay attention to your emotions and how you communicate with others. Staying mindful and open while you work will naturally lead to a sense of joy as you go about your life.**

**Avoid chattering and practice essential speech as much as you can.**

**Taking any kind of drugs is absolutely prohibited as it will cause serious physical and mental imbalances and disturb the project and our community.**

### **3. Daily work-practice schedule**

#### **3.1 Morning practice at the Press**

Producing sacred texts is referred to as "work practice," as it is an intrinsically spiritual activity. The volunteers chosen to do this practice arrive at the Press at 8 am every morning, Monday through Saturday, after the group morning meditation and breakfast. From 8:00 am to 8:15 am everybody assembles in a circle to chant traditional Buddhist prayers in the Tibetan language. By repeating the refuge prayer three times all participants vow to practice the Buddhist teachings as best as they can

during the day. Several other prayers invoke the lineage masters for their protection and help. During a moment of silent meditation everyone renews their intention to put their meditation instruction into practice while they perform their work.

Following the silent meditation, one of the supervisors reads aloud a passage from a sutra, or teaching of the Buddha. Whenever possible, the reading relates to the books being worked on at the time, so that the volunteers can connect heart and mind with the work they will be doing. This is followed by a brief exercise drawn from the tradition of Tibetan yoga (*kum nye*), used to relax body and mind, focus intention, and prepare for the work-day.

While most volunteers start work at 8:25 am, two volunteers take care of the traditional water and incense offerings. After filling seven offering bowls with clean water and placing them on the altar that stands at the center of the Press, they light frankincense and sandalwood incense, place it in a metal incense burner similar to those used in Catholic cathedrals, and carry it throughout the building while chanting sacred mantras. This serves both to purify the space and as an offering.

### **3.2 Spiritual dimensions of work practice**

After working for two hours, at 10:30 am all volunteers assemble to review a daily practice to be done during work. The practices are taken from Buddhist teachings called "skillful means," which integrate traditional Buddhist practices into everyday activities. Skillful Means practices encourage the volunteers to be mindful in all their interactions, attuned to their bodies and minds, and committed to cultivating awareness, concentration, and energy. The goal of the practice is to use every situation as a means of spiritual growth. During the rest of the day, a volunteer rings a bell periodically to remind all participants of the daily practice.

Volunteers also chant mantras while they work, either silently or aloud. The mantras, consisting of sacred seed syllables, invoke specific qualities of the Buddhas and Enlightened Masters. Apart from this, everyone is encouraged to work in silence and to use only essential speech, which supports individual practice and limits outside distractions. Playing of music is not allowed.

### **3.3 Closing prayers**

At 5:50 pm all volunteers assemble in a circle to read two pages from the *Manjusrinamasamgiti*, an important Buddhist work. After this, the traditional dedication prayer is chanted in Tibetan. By doing this, all the virtue accumulated during the meritorious act of book making is dedicated to the well-being of others. As a conclusion the *Om ye dharma* mantra is chanted three times. Some workers who are on a different schedule continue their work into the evening.

At 6:00 pm the volunteers leave for dinner, followed by required classes in Buddhist history, meditation, Tibetan yoga, or language. One volunteer stays behind and empties the seven water bowls on the altar, following a prescribed ritual.





# February 28, 2014

## Subsequent Mitigated Negative Declaration

Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

Publication Date: February 28, 2014  
Adoption Date:  
State Clearinghouse: February 28, 2014  
Public Hearing Notice Posted: Feb 28, 2014

**SCH #: 2013-**

**File No.:** PLP08-0021

**Project Planner:** Cynthia Demidovich

**Project Name:** Ratna Ling Buddhist Retreat Center

**Project Applicants:** Ratna Ling Buddhist Retreat Center/Jack Petranker

**Project Location:** 35755 and 3600 Hauser Bridge Road, Cazadero

**Decision-making Body:** Sonoma County Board of Supervisors

**Lead Agency:** Sonoma County Permit and Resource Management Department

**Land Use designation:** Resources and Rural Development, 240 acre density

**Area Plan designation:** None

**Zoning:** Resource and Rural Development (RRD), 240 acre density

**Project Deemed Complete:** December 20, 2011

### A. Introduction:

The Sonoma County Permit and Resource Management Department (PRMD) prepared this Subsequent Mitigated Negative Declaration ("SMND") to the previously-adopted Mitigated Negative Declarations, dated July 21, 2004 (SCH #:2004072123) and August 22, 2008 (SCH # 2008062094). Prior to this SMND, PRMD prepared and the Board of Zoning Adjustments adopted a Mitigated Negative Declaration for the Proposed Project. However, upon further review and the applicant's submission of a March 26, 2013 Project Proposal clarifying the project, and for the reasons set forth in this SMND and the record of this matter, PRMD determined that a Subsequent Mitigated Negative Declaration is warranted. All proposed changes in the project are consistent

with the Sonoma County 2020 General Plan.

**B. The Project:**

This is a request for a Master Use Permit (MUP) for the Ratna Ling Buddhist Retreat Center. The MUP will harmonize previously approved and new uses in a single document. The MUP will expand an existing non-commercial Buddhist Retreat Center. No physical expansion of the existing accessory, not-for-profit Tibetan Buddhist printing facility is proposed. The MUP includes and would authorize all of the following:

- 1. Construction of One Dwelling for 12 Occupants.** Construct a small, five-bedroom residence accommodating up to 12 occupants on the 13 acre "Dixie" parcel (APN 109-230-018/36000 Hauser Bridge Road), which is adjacent to the primary Buddhist retreat center parcel;
- 2. Erect Eight Tent Structures on a Seasonal Basis Consistent with Campground Designation for Seasonal Use and a Maximum Occupancy of Three People per Tent per Night.** The tent structures will be erected on existing platforms. There is existing infrastructure consisting of dirt paths, roughly five feet wide, and electricity for the tents. The seasonal use is limited to May 1<sup>st</sup> through October 30th;
- 3. Permanent Structures for Sacred Text Storage in Four Existing Structures.** The aggregate square footage of the four existing sacred text storage structures is 40,560 square feet. The status of these structures will convert from temporary to permanent as a result of the MUP;
- 4. Maximum Site Occupancy and Flexible Use of Residential Units.** The maximum occupancy rate for the project site is 122 people at any one given time. The maximum occupancy is limited to 98 people per night for six months and up to 110 people per night for six months, as follows:  
  
December, January & February: an average of 67 people  
March, April & May: an average of 70 people  
June, July & August: an average of 110 people  
September: an average of 90 people  
October and November: an average of 70 people

Additionally, overnight occupancy for all structures will be open to staff, volunteers, and retreat participants;

- 5. Non-Textual Sacred Art Projects.** The MUP would expressly permit making non-textual sacred art objects at Ratna Ling. According to the Applicant, in the Buddhist tradition, it is a cherished religious practice to make such items as thankas (a sacred art form which combines painting and textiles), malas (strings of prayer beads similar to rosaries), prayer flags, meditation cushions and similar items for devotion and practice. Such art projects could be undertaken by retreatants, as well as by staff volunteers during times of the year when they are not completely engaged by other responsibilities. The Applicant states that, like the sacred texts, the vast majority of such objects produced would be donated and used internally within the related Buddhist organizations; surgery
- 6. Nyingma Senior Center.** It is not necessary for the MUP to authorize completion of the Senior Center because the applicant has a vested right to construct and has partially constructed the Senior Center. This use is only included in the MUP so that there is a comprehensive MUP identifying all uses permitted on site. The Senior Center is a planned 6-bed unit for elderly members of the spiritual community allowable under applicable zoning regulations without a Use Permit. Sonoma County Code, Chapter 26-10-010(p). After obtaining other necessary permits, the foundation and preliminary framing for this structure were completed. Ratna Ling instituted a

voluntary moratorium on construction in 2009 in an effort to be responsive and work collaboratively with neighbors;

**7. Aggregation of Per-Unit Square Footage Storage Capacity.** Under exemptions in the Building Code, the applicant is allowed to erect a 120 square foot storage structure for each of the 34 currently approved residences without obtaining additional permits. The Center wishes to have flexibility in planning the size and location of what it calculates as a total allowable 4,080 square feet of storage capacity, only a portion of which has yet been utilized. Rather than proliferate many small structures, the applicant asks to utilize this total allowable capacity by constructing fewer but larger residential storage buildings, both as shown on the March 26, 2013 Site Plan (as Potential Storage Buildings) and as may be sought by future building permit applications. These storage structures will be used for equipment and supplies, and not for sacred texts;

**8. Limit on Sacred Text Production Traffic.** Truck traffic related to the sacred texts and non-textual sacred art is limited to one (1), twenty-four foot (24') long truck round trip per day. The 24' foot limit is measured from the trailer's kingpin to rear axle and does not include the tractor. This limit applies to truck trips delivering supplies to produce the sacred texts, and non-textual sacred art, and transporting the sacred texts and art off the property.

**9. Increase the Occupancy Limit for the Printing Press Facility from 27 to 94 persons;**

**10. Terminate the Printing Press Facility** authorized by this MUP if the Project Site is conveyed to a property owner who is not affiliated with traditions and practices of Tibetan Buddhism. In the event of this type of conveyance, Ratna Ling will dismantle and remove the printing equipment.

**11. Construct Five New Cottages** - cottages 11, 12, 13 and 14. All cottages are located in disturbed areas. Consistent with the 2004 use permit, each cottage is approximately 1,010 square feet, for a total of 5,050 square feet in new cottage construction. Convert and expand an existing storage building into Cottage 20. Cottage 20 has been relocated to move it farther away from a drainage way.

**C. Background:**

- 1) A brief explanation is required for all answers except "No impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A "No impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies

where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section 17 at the end of the checklist, "Earlier Analysis" may be cross-referenced).

- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
  - a) Earlier Analysis Used. Identify and state where they are available for review.
  - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
  - a) the significance criteria or threshold, if any, used to evaluate each question; and
  - b) the mitigation measure identified, if any, to reduce the impact to less than significance.

#### Surrounding Land Uses and Setting:

The surrounding parcels are large lots that are forested and grassland. Specifically, located to the west is a several-hundred acre parcel in Timber Preserve. The parcels to the south are over 100 acres and are in Preserve. To the north and east are parcels of 100 acres with grazing. The property is uphill from the South Fork of the Gualala River and there are seasonal and intermittent streams on the property that flow to the river.

#### 2004/2008 MNDs and "Approved Project:"

In 2004, the County approved a use permit and adopted a Mitigated Negative Declaration authorizing a Buddhist retreat center. The 2004 approvals included 11 cabins on the west side of Hauser Bridge Road for long-term residents; an 18,750 square foot religious printing facility; the use of an existing 13,394 square foot lodge for a meditation hall for retreat participants and a temple for long-term residents, a commercial kitchen and dining room; the construction of a library and resource center; a Healing Center; and 19 new cottages near the meditation hall. The County subsequently acknowledged that the six-bed Senior Center is an allowed use under Sonoma

County Code §26-10-010(p). Ratna Ling obtained all required building permits and partially constructed the Senior Center.

In 2008, the County approved a use permit and adopted another Mitigated Negative Declaration authorizing construction of a 20 acre foot, clay-lined reservoir roughly 250 feet south of the press building. As is discussed later in this SMND, the clay-lined reservoir was constructed. However, the planned water system to supply the reservoir was not. The 2008 approvals also increased the size of the Healing Center. This SMND refers to the 2004 approvals, the Senior Center, and the 2008 approvals as the "Approved Project."

Existing Physical Condition:

This section is a summary of the existing physical condition of the Project Site:

Uses and Structures - The current uses on the Ratna Ling parcels are a Buddhist retreat center, a religious printing press facility, volunteer or work study housing, guest housing, a conference center that consists of a communal kitchen and dining room, offices for staff volunteers and work study participants on both the East and West sides of Hauser Bridge Road, a meditation hall, a library, a garden shed and a classroom facility. In addition to the conference center, there are 14 guest cottages; nine cabins; one commons building; four single-family dwellings; 17 storage buildings; four Sacred Text storage buildings or treasuries; a printing press building; a partially constructed Senior Center; and various remnant buildings, wells, water tanks, and pump houses. The four sacred text storage structures were required to comply with the 2007 version of the California Building Code when the applicant submitted building permit applications for them in 2008. At the time the building permit applications for the sacred text structures were submitted, PRMD staff determined that the structures were exempt from complying with Chapter 7A of the then-existing 2007 California Building Code because they are accessory structures. Almost all of the structures on the Project Site are connected by asphalt paths sized for electric golf carts. These are not full sized roads. Staff, volunteers, and guests park in the main parking lot and use the golf carts, or bicycles, or walk to get around the site.

There are also eight wooden tent platforms in the southwest corner of that portion of the Ratna Ling property lying north of Hauser Bridge Road. The platforms are connected by existing dirt paths, approximately five feet wide and have existing infrastructure, such as electricity.

Traffic - The retreat center currently has 25 volunteers. In 2012, the center had 5,301 retreat days and 1,381 retreat participants. A retreat day is equal to one person attending one day.

Water Use - Currently, the Center's water demand is 4.26 AF/year, but only 1.79 AF/year of groundwater is used to meet this demand. This demand is supplied as follows:

1.79 AF/year	groundwater from wells
<u>2.47 AF/year</u>	<u>Treated surface water from the existing reservoir</u>
4.26 AF/year	Total current water demand

These amounts are not projections; they are based on actual water use at the retreat facility during the last four years. Water supply for the facility is derived from a combination of groundwater and surface water collection. Currently, seven wells (Wells #1 through #5, #7 and #8) and a French drain are operated as part of the groundwater supply component. The surface water component is comprised of the reservoir and rainwater collected from the roof of the press building. All water utilized for domestic consumption is processed through a water treatment system that cleans the water to applicable primary and secondary drinking water standards prior to conveyance through the water distribution system. With the exception of groundwater that is derived from Well #8 (used to irrigate a garden near the press building) and the French drain, all the remaining groundwater that is pumped is used exclusively for domestic water supply. The surface water sources are used

for domestic water supply, landscape/garden irrigation, and fire suppression.

**D. CEQA Standard for the Revised Subsequent MND:**

The California Environmental Quality Act (CEQA) Guidelines Sections 15162 through 15164 set forth the criteria for determining the appropriate additional environmental documentation, if any, to be completed when there is a previously adopted Negative Declaration covering the project for which a subsequent discretionary action is required. PRMD prepared this SMND to the previously adopted MNDs prepared for the Approved Project. This SMND is governed by Section 15162 (a) of the CEQA Guidelines, which provides that where a negative declaration has been adopted for a project, "no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

- 1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
- 2) Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
- 3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the Negative Declaration was adopted, shows any of the following:
  - a) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;
  - b) Significant effects previously examined will be substantially more severe than shown in the previous EIR;
  - c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
  - d) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative."

Section 15162(b) provides that if a subsequent EIR is not required under 15162 (a), then "the lead agency shall determine whether to prepare a subsequent negative declaration, an addendum, or no further documentation."

Section 15164 of the Guidelines states that an addendum to an adopted negative declaration may be prepared when only minor technical changes or additions are necessary, or if "none of the conditions described in Section 15162 for the preparation of a subsequent EIR or negative declaration have occurred." An addendum appears warranted here. However, an addendum need not be circulated for public review or comment. In the interest of full public disclosure and review, the County has prepared this Subsequent MND and will submit it to the State Clearinghouse and circulate it for public and agency review for 30 days.

This SMND does not "re-open" either of the previously adopted MNDs. Instead, as required by CEQA, this SMND examines the difference in impacts that would result from the March 26, 2013 Project Proposal, as compared to those of the Approved Project analyzed in the previous MNDs. The SMND specifically evaluates whether the County's approval of the proposed revisions to the Approved Project would trigger the need for a subsequent EIR under CEQA Guideline Section 15162(a), as described above. The SMND examines whether approval would result in a new significant environmental effect or a substantial increase in the severity of a previously identified significant effect due to:

- (1) Substantial changes proposed in the project;
- (2) Substantial changes that would occur with respect to the circumstances under which the project is undertaken; or
- (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the prior MNDs were certified.

As is more fully explained below, PRMD has reviewed the information regarding the March 26, 2013 Project Proposal and determined that this SMND to the previously-adopted MNDs is appropriate. The March 26, 2013 Project Proposal, as described above in this initial study checklist, will result in very few physical changes to the environment, none of which are substantial changes to the proposed project; there is no change in the circumstances of the project; and there is no new information that could not have been known with the exercise of reasonable diligence that will result in a new significant environmental effect or a substantial increase in the severity of a previously identified significant effect.

The physical changes to the environment are:

- The only new, not yet permitted construction is the five-bedroom residential dwelling unit and new storage buildings. The storage buildings will be used for residential storage and not for sacred text storage;
- The erection of tents on existing wood platforms that will be served by existing infrastructure and dirt paths that are roughly five feet wide;
- Increased water demand of 2.03 AF/year. The increased demand will be met exclusively with rain water captured in or on the banks of the existing, clay-lined reservoir and water that is collected from building roofs. The applicant has volunteered for a condition of approval curtailing occupancy during a drought year;
- The removal of one Oak tree and three Bay trees for construction of the Healing Center, which the applicant has a vested right to construct as a result of the 2004 use permit;
- Completion of the partially constructed Senior Center, which is approximately 5,900 square feet. The foundation, driveway, parking, and major structural supports all exist.;
- Truck traffic related to the sacred texts and non-textual sacred art is limited to one (1), twenty-four foot (24') long truck round trip per day. The 24' foot limit is measured from the trailer's kingpin to rear axle and does not include the tractor. This limit applies to truck trips delivering supplies to produce the sacred texts, and non-textual sacred art, and transporting the sacred texts and art off the property.

Other changes that are not direct changes to the existing physical condition are as follows:

- Increase the occupancy limits for the printing press building from 27 to 94.
- The MUP will change the temporary status of the four existing Sacred Text Storage Buildings to permanent, but this is not a physical change to the environment because these structures already exist;

- Those portions of the MUP authorizing the operation of a printing facility for production of sacred texts and other works of art shall terminate in the event that the Project Site is conveyed to a third party not affiliated with the traditions and practices of Tibetan Buddhism. In the event of this type of conveyance, the applicant will dismantle and remove the printing equipment.
- Changing the seasonal occupancy limits. In 2010, there were 17 retreats conducted with an average number of 14 participants, or 238 participants, plus staff and volunteers. The proposal statement underlying the 2004 Use Permit projected that by 2011 there could be as many as 120 retreats per year with an average of 25 participants, or 3,000 retreat participants per year, plus staff and volunteers. The March 26, 2013 Project Proposal requests seasonal occupancy with a maximum occupancy limit of 98 people per night for six months and 110 people per night for six months, as follows:

December, January & February: an average of 67 people  
March, April & May: an average of 70 people  
June, July & August: an average of 110 people  
September: an average of 90 people  
October and November: an average of 70 people

According to the Applicant, it is important to note that these revised occupancy limits will not be reached every night because retreats are typically weekend events and this is a total occupancy limit, which includes retreat participants, staff, and volunteers.

#### **E. Environmental Finding:**

Potential impacts related to the MUP were identified and analyzed in the previously-adopted MNDs and the impacts were determined to be less than significant with the incorporated mitigation measures and monitoring program. The applicant agreed to all those mitigation measures and monitoring as conditions of approval of the Approved Project. This SMND considers the March 26, 2013 Project Proposal and concludes that its impacts would either be the same as or less than those identified in the previously-adopted MNDs or can be reduced to less than significant with mitigation incorporated.

This statement and attachments constitute the Subsequent MND to the previously-adopted MNDs as proposed for adoption by the Sonoma County Board of Supervisors if it determines to approve the Modified Project.

New attachments to the SMND include the following:

1. W-Trans letter dated January 10, 2013;
2. EBA Engineering Geologic Report for General Plan Policy WR-2e/Groundwater Supply Analysis dated March 26, 2013;
3. EBA Engineering letter dated March 26, 2013, responding to the Kamman comment letter;
4. Ted Winfield & Associates letter and report dated March 13, 2013, updating Biotics Information;
5. CV for Gene Gretchen, Site Manager for Ratna Ling;
6. Updated Site Plan dated March 26, 2013;
7. Updated Proposal Statement dated for Ratna Ling Master Use Permit Application (PLP08-0021), March 26, 2013;
8. Memo from Ben Neuman to Cynthia Demidovich, dated April 9, 2012;
9. Email from Roberta MacIntyre, Fire Marshal, to Ben Neuman dated May 18, 2012;
10. Letter dated July 9, 2013 from Clement, Fitzpatrick & Kenworthy, with attached percolation tests, requesting a reduction from 6 to 5 bedrooms for the additional residence.
11. Letter from Clement, Fitzpatrick & Kenworthy dated June 20, 2013 attaching photographs of Ratna Ling.
12. Administrative Determination and Clarification Letter from DeWayne Starnes, Interim Director of PRMD and Chief Building Official for Sonoma County dated October 10, 2013 with attachments.



13. Mutual Aid Agreement.
14. Letter/Email from Fire Marshal MacIntyre dated December 13, 2013.
15. Letter and Ratna Ling Membrane Structures Documentation from Clement, Fitzpatrick & Kenworthy, dated January 21, 2014.
16. Memo from Fire Marshal MacIntyre dated February 12, 2014.
17. Memo from DeWayne Starnes, Chief Building Official for Sonoma County dated February 14, 2014, with attachments.

**F. Other Attachments:**

1. Board of Zoning Adjustments Resolution No. 04-021, dated September 9, 2004;
2. Attached to the SMND:
  - Vicinity map; site plan; Planning application; APN page; State Clearinghouse completion letter signed by Terry Roberts, Director, dated August 24, 2004 (from the circulation of the original MND); State Clearinghouse completion letter signed by Terry Roberts, dated August 15, 2008, of the 2008 Use Permit.

**G. Location of Prior MNDs:**

The 2004 and 2008 MNDs are available for review at PRMD, 2550 Ventura Avenue, Santa Rosa, CA 95403, during PRMD's regular business hours of 8:00 a.m. – 4:00 p.m. Monday through Thursday.

**RESPONSIBLE AND TRUSTEE AGENCIES: PRMD did not identify any responsible or trustee agencies as a result of the March 26, 2013 Project Proposal. However, and in an abundance of caution, PRMD sent copies of the SMND directly to the following agencies:**

The U. S. Army Corps of Engineers (ACOE)

The North Coast Regional Water Quality Control Board (NCRWQCB)

California Department of Transportation (Caltrans)

California Department of Fish and Wildlife

California Department of Forestry

U.S. Fish and Wildlife Service

North Sonoma County Air Pollution Control District

Timber Cove Fire Protection District

**Initial Study Checklist:**

This checklist is taken from Appendix G of the State CEQA Guidelines. For each item, one of four responses is given:

**No Impact:** The project would not have the impact described. The project may have a beneficial effect, but there is no potential for the project to create or add increment to the impact described.

**Less Than Significant Impact:** The project would have the impact described, but the impact would not be significant. Mitigation is not required, although the project applicant may choose to modify the project to avoid the impacts.

**Potentially Significant Unless Mitigated:** The project would have the impact described,

and the impact could be significant. One or more mitigation measures have been identified that will reduce the impact to a less than significant level.

**Potentially Significant Impact:** The project would have the impact described, and the impact could be significant. The impact cannot be reduced to less than significant by incorporating mitigation measures. An environmental impact report must be prepared for this project.

Each question on the checklist was answered by evaluating the project as proposed, that is, without considering the effect of any added mitigation measures. The checklist includes a discussion of the impacts and mitigation measures that have been identified. Sources used in this Initial Study are listed.

The applicant has agreed to accept all mitigation measures listed in this checklist as conditions of approval of the Modified Project and to obtain all necessary permits.

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is "Less than Significant with Mitigation" as indicated by the checklist on the following pages.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Aesthetics                         | <input type="checkbox"/> Agricultural & Forest Resources | <input type="checkbox"/> Air Quality             |
| <input type="checkbox"/> Biological Resources               | <input type="checkbox"/> Cultural Resources              | <input type="checkbox"/> Geology/Soils           |
| <input type="checkbox"/> Greenhouse Gas Emission            | <input type="checkbox"/> Hazards & Hazardous Materials   | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use and Planning              | <input type="checkbox"/> Mineral Resources               | <input type="checkbox"/> Noise                   |
| <input type="checkbox"/> Population/Housing                 | <input type="checkbox"/> Public Services                 | <input type="checkbox"/> Recreation              |
| <input type="checkbox"/> Transportation/Traffic             | <input type="checkbox"/> Utilities/Service Systems       |  |
| <input type="checkbox"/> Mandatory Findings of Significance |  |  |

**1. AESTHETICS**

*Would the modifications to the Approved Project:*

a) Have a substantial adverse effect on a scenic vista?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**1.a. Less than Significant Impact:** The previously-adopted MNDs explained that the implementation of the Approved Project would not result in any significant adverse aesthetic impacts. Construction of the Healing Center, five cabins, erecting the eight tents on existing platforms, constructing residential storage facilities and completing construction of the Senior Center, will not result in any visual impacts because these structures are not visible from a public road. The five-bedroom dwelling may be minimally visible from Hauser Bridge Road, however, it is down a roughly 600 foot existing driveway and will be constructed on an existing building pad that currently has piled vegetation debris on it. Large, mature Oak Trees, which will be

preserved, screen most of the building pad site from Hauser Bridge Road, thus any visual impact from new construction will be less than significant.

The proposed storage buildings, for residential use, will also be screened by large trees that will be preserved. The applicant submitted photographs of the area where the tents will be erected on the existing tent platforms. Topographically, there is a highly vegetated small hill that screens the camp area from Hauser Bridge Road, so even when the tents are erected, they will not be visible from a public road.

The printing press and sacred text storage buildings are part of the existing physical condition. Increasing the occupancy of the printing press structure and changing the sacred text storage structures from temporary to permanent will have no visual impacts because these structures already exist and the proposed project will not change their size, shape, color, or occupancy classification under the California Building Code.

Site Topography: The site is wooded with a hilly topography and only small parts of it can be seen from Hauser Bridge Road.

Scenic Resources: The site is not part of a County-designated scenic resources area and consists of existing structures. One of the existing sacred text treasuries located on the east side of Hauser Bridge Road is minimally visible from Hauser Bridge Road. The applicant previously replaced the white exterior membrane of these structures with a tan, green, and blue membrane(s) so that these existing structures blend with the surrounding landscape.

Site Visibility: The site is partially visible from Hauser Bridge Road. With the exception of the five-bedroom dwelling, no new construction will be visible from a public road. A small portion of the five-bedroom dwelling may be visible from one location on Hauser Bridge Road. However, the building pad for this structure is down a curved roughly 600' driveway and there are many mature Oak Trees, which will be preserved, that screen the building pad and almost all of the five bedroom dwelling from view.

Proposed Building Components: The new construction consists of: (i) the Healing Center; (ii) completing the partially-constructed Senior Center; (iii) five new guest cottages; (iv) a five-bedroom dwelling; and some residential storage space. It is important to note that the applicant has a vested right for all new construction except for the five-bedroom dwelling and the storage buildings. All new structures will match the architectural style of the existing facilities, which includes neutral exterior colors and rust-colored metal roofs to blend with the natural, wooded surroundings.

The MUP and new construction will not result in a substantial adverse effect on a scenic vista and no mitigation is required.

b) Substantially damage scenic resources, including, but not limited to trees, rock outcroppings, and historic buildings within a state scenic highway?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**1.b. Less Than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause substantial damage to scenic resources, trees, rock outcroppings, or historic buildings within a state scenic highway. The March 26, 2013 Project Proposal notes that construction of the Healing Center, which has the applicant has a vested right to construct under

<p>the 2004 Approvals, will result in the removal of four trees - one Oak Tree and three Bay Trees. While not required, the applicant is volunteering to plant 12 replacement trees as part of the Project Proposal. Adherence to the Project Proposal will be incorporated into the conditions of approval.</p>				
<p>c) Substantially degrade the existing visual character or quality of the site and its surroundings?</p>	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	
<p><b>Comment:</b></p> <p><b>1.c. Less than Significant Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would substantially degrade the existing visual character of the site or its surroundings. Except for the five-bedroom dwelling, new construction (e.g., the cottages, Healing Center, Senior Center, and storage building(s)) is not visible from a public road. Large Oak Trees, which will be preserved, and a curved roughly 600' driveway screen most of the view of the five-bedroom cottage from view from Hauser Bridge Road.</p> <p>No mitigation is needed.</p>				
<p>d) Create a new source of substantial light or glare which would adversely affect day or nighttime view in the area?</p>	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	
<p><b>Comment:</b></p> <p><b>1.d. Less than Significant Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now create a new source of substantial light or glare that would adversely affect day or nighttime view in the area. The five-bedroom dwelling, storage buildings for residential use, and erecting tents on existing tent platforms will not create a new source of substantial light or adversely affect day or nighttime views. The County's standard condition of approval, that lighting be motion activated, will be required for the MUP. The existing lighting does not create glare or impact day or nighttime views.</p>				

**2. AGRICULTURE AND FOREST RESOURCES**

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.

Would the modifications to the project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<p><b>Comment:</b></p> <p><b>2.a. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now convert Prime farmland to a non-agricultural use. The Sonoma County Important Farmlands Map (1996) designates the property as grazing land. According to the March 26, 2013 Project Proposal the project would continue as an existing non-agricultural use. There will be no conversion of farmland to a non-agricultural use.</p>				
b) Conflict with existing zoning for agricultural use, or Williamson Act Contract?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<p><b>Comment:</b></p> <p><b>2.b. No Impact.</b> Since the MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause a conflict with the existing zoning or a Williamson Act contract. The Project Site is within the Resources and Rural Development (RRD) zoning district, but is not under a Williamson Act contract. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions that the project would not conflict with existing zoning or a Williamson Act Contract.</p>				
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 4526) or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<p><b>Comment:</b></p> <p><b>2.c. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause a conflict with forest land or timberland zoning. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions that there is no conflict with existing zoning for forest land, timberland or zoned timberland production.</p>				
d) Result in the loss of forest land or conversion of forest land to non-forest use?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**2.d. No Impact:** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in the loss of forest land. The March 26, 2013 Project Proposal, as described in this initial study checklist, does not change the previously-adopted MNDs' conclusions that the project will not result in the loss of forest land or conversion of forest land to a non-forest use.

e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion to Farmland, to non-agricultural use or conversion of forest land to non-forest use?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**2.e. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in other changes in the environment that could result in conversion of farmland to non-agricultural use or forest land to non-forest use. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project will not result in the loss of forest land and will not convert forest land to a non-forest use.

**3. AIR QUALITY**

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.

*Would the modifications to the project:*

a) Conflict with or obstruct implementation of the applicable air quality plan?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**3.a. Less than Significant Impact.** The project is in the North Sonoma County Air Pollution Control District (NSCAPCD). The NSCAPCD does not have an adopted air quality management plan. Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause a conflict with an air quality plan. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions.

b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**3.b. Less than Significant Impact.** The Sonoma County General Plan Open Space and Resource Conservation Element addresses pollutants from mobile sources (e.g., transportation sources). The following goal and policy is relevant to the proposed project:

Goal OSRC-16:

Preserve and maintain good air quality and provide for an air quality standard that will protect human health and preclude crop, plant and property damage in accordance with the requirements of the Federal and State Clean Air Acts.

State and Federal standards have been established for the "criteria pollutants": ozone, carbon monoxide, nitrogen dioxide, sulphur dioxide, and particulate (PM10 and PM2.5). To determine whether standards for any of these pollutants would be violated, the emissions from both stationary and mobile sources must be considered.

The proposed project will not emit significant amounts of criteria pollutants. The project will not add any new equipment or processes that would have significant emissions or require permits from the air district.

Mobile sources include vehicle traffic. This traffic will emit carbon monoxide, nitrogen oxides (NO<sub>x</sub>), particulates, and Volatile Organic Compounds (VOC). Vehicles do not emit ozone directly, but ozone will form in the atmosphere from NO<sub>x</sub> and hydrocarbons in the exhaust gasses.

The NSCAPCD has established significance thresholds for the following criteria pollutants:

Carbon monoxide	100 tons/year
VOC	40 tons/year
NO <sub>x</sub>	40 tons/year
Total Suspended Particulates	25 tons/year

The Bay Area Air Pollution Control District developed simple screening methods to determine whether project traffic would generate sufficient emissions to warrant more detailed computer modeling (BAAQMD CEQA Guidelines, 1996). These screening methods may also be used in the NSCAPCD. Based on these screening methods, the emission of criteria pollutants would be less than significant.

The first screening method involves a comparison of the proposed project to a list of other projects that are considered to generate enough traffic to warrant further analysis. All of the examples in the list generate at least 3000 trips per day. This is far more traffic than would result from the proposed project as the existing retreat center and proposed project will generate an average of 29 trips per day and 58 trips on peak days. The projected traffic trips include the existing physical condition plus new trips resulting from the MUP.

The BAAQMD recommends computer modeling for carbon monoxide emissions when a project would generate 10,000 trips per day. Since the NSCAPCD has the same threshold of significance for carbon monoxide (100 tons/year), the same screening level is valid. Given the low traffic generation of this project relative to that screening level the emission of carbon monoxide would be less than significant.

Tim Rimpof of the URS Corporation prepared a GHG analysis dated January 18, 2012. This analysis showed the GHG emissions from the little physical construction in the project will be 67 CO<sub>2</sub>e. Operating the project will produce 448 metric tons of CO<sub>2</sub>e/year. Combined this is 525

metric tons CO<sub>2</sub>e/year, which is substantially below the BAAQMD threshold of 1,100 metric tons CO<sub>2</sub>e/year.

**3.b. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause a conflict with an air quality plan. According to the California Environmental Protection Agency Air Resources Board's PM 2.5 Area Designation Recommendations Annual Standard dated October 28, 2013, Sonoma County is in attainment for PM 2.5. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions that the project would not violate any NSCAPCD air quality standard.

c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**3.c. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in a cumulatively considerable net increase in emissions. The project will generate relatively low traffic volumes and the emissions of ozone precursors (hydrocarbons and NO<sub>x</sub>) and particulates would not be cumulatively considerable. According to the California Environmental Protection Agency Air Resources Board's PM 2.5 Area Designation Recommendations Annual Standard dated October 28, 2013, Sonoma County is in attainment for PM 2.5.

d) Expose sensitive receptors to substantial pollutant concentrations?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**3.d. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now expose sensitive receptors to substantial pollutants. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project will not create substantial pollutant concentrations or expose sensitive receptors to pollutants.

e) Create objectionable odors affecting a substantial number of people?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**3.e. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that



would now create objectionable odors affecting substantial number of people. The March 26, 2013 Project Proposal does not include anything that will generate odors.

**4. BIOLOGICAL RESOURCES**

*Would the modifications to the project:*

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**4.a. and 4.b. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now have a substantial adverse effect on special status plant or animal species, or affect any riparian habitat or other sensitive natural communities. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the Project Site, according to the Open Space Map for Planning Area 1 of the General Plan, is not designated within a BR (Biotic Resource) combining district. This means that there are no designated riparian corridors or critical habitat areas within the Project Site where physical changes will occur. The Project Site is above the 100-year flood line and is not designated as flood plain on the zoning map. The 2008 biotics study was updated on March 13, 2013 by Dr. Ted Winfield. Dr. Winfield concluded that all new construction will occur in disturbed areas and that there is no impact to wildlife. Furthermore, the Project Site is not located in a VOH (Valley Oak Habitat) district, nor is it located in the study area of the California Tiger Salamander. The March 26, 2013 Project Proposal would not result in a new or substantially more severe impact on special status species, riparian habitat, or sensitive natural communities because it has been determined that none exist on the portion of the Project Site that will change because of the March 26, 2013 Project Approval.

c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**4.c. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now have a

substantial adverse effect on wetlands, marshes, or vernal pools, etc. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project will not affect any wetlands. There are some wetlands on the Project Site, however, the proposed project's uses and new construction will not occur in or near any wetland.

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**4.d. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now interfere substantially with the movement of any native resident, migratory fish or wildlife species or migratory wildlife corridors. As described in the March 26, 2013 Project Proposal, the Project will use additional rainwater for water supply. However, this water is limited to rainfall that falls directly on to the existing clay-lined reservoir, the banks of the clay-lined reservoir or from one French drain, and rainwater that is already harvested from the roof of the printing press building. This rainfall currently falls onto and remains in the clay-lined reservoir and there is no new rainwater harvesting. Since the reservoir has a clay lining and the rainfall that falls on the surface of the reservoir is and has been captured in the reservoir for at least five years, there is no new impact to run-off or surface water. There are three ponds on the Project Site, however, the water in these ponds will not be used to supply the project because the water is for fire suppression purposes only. The large reflection pond (northernmost pond) is infrequently used as supplemental landscaping water. Ratna Ling has used a few thousand gallons of water from this pond for landscaping as needed over the years. This water use from this pond is authorized by State Water Resources Control Board Water Rights Permit No. 16973, approved on November 1, 1997. It is worth noting that the South Fork of the Gualala is dry, or almost dry, in the Fall.

The previous biotics studies all concluded that no special status species were found and none are expected to occur on the Project Site. Dr. Winfield's March 13, 2013 biotics update noted that the five cabins, Senior Center, Healing Center, storage units for residences, and the five-bedroom dwelling will all be constructed in disturbed areas and will not affect movement of any migratory species or wildlife.

e) Conflict with any local policies or ordinances protecting biological resources, such as tree preservation policy or ordinance?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**4.e. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause a conflict with any local policies or tree preservation ordinance. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions of no impact from a conflict with local policies or ordinances protecting biological resources or tree preservation ordinance. Dr. Winfield's March 13, 2013 biotics update found that constructing the Healing Center, which the

applicant has a vested right to construct, will result in the removal of one Oak Tree and three Bay Trees. Even though it is not necessary, the applicant is volunteering to plant 12 replacement trees. This replanting will become a condition of approval for the Project.

f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**4.f. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause a conflict with any adopted Habitat Conservation Plan or Natural Community Conservation Plan. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions, because the Project Site is not located in an area subject to a habitat conservation plan or natural community conservation plan.

**5. CULTURAL RESOURCES**

*Would the modifications to the project:*

a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**5.a. and 5.b. Less than Significant Impact.** The March 26, 2013 Proposed Project would not result in a new significant environmental effect or a substantial increase in the severity of a previously identified significant effect related to cultural resources due to substantial changes in the project or its circumstances, or new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the earlier MNDs were adopted. There may be cultural resource located on the property, however, the March 26, 2013 Project Proposal is geographically removed from and will not affect this resource. See the following studies: 1) Cultural Resources Study, Archaeological Resource Service, Eric Strother, January 20, 2000. 2) An additional supplemental letter was submitted by William Roop on January 3, 2008 (confidential on file at the Permit and Resource Management Department). Supplemental Letter, Archaeological Resource Service, William Roop, May 25, 2004, and January 3, 2008 (confidential on file at the Permit and Resource Management Department). Mitigation Measures 5.b. and 5.c. from the 2004 MND and 2008 MND will remain in effect.

c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**5.c. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now directly or indirectly destroy a unique paleontological resource or a unique geologic feature. The March 26, 2013 Proposed Project does not change the previously-adopted MNDs' conclusions. The geology of the site, the fact that historically the site has been under agricultural cultivation (apple orchard), and the nature of the project make it extremely unlikely that unique paleontological resources would be destroyed.

d) Disturb any human remains, including those interred outside of formal cemeteries?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**5.d. Less-than-Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause a disturbance of any human remains. The March 26, 2013 Proposed Project does not change the previously-adopted MNDs' conclusions because it is highly unlikely the project will disturb buried human remains. See response 5.b. and 5.c, above. In the event that human remains are unearthed during construction, state law requires that the County Coroner be contacted in accordance with Section 5097.98 of the Public Resources Code and Section 7050.5 of the State Health and Safety Code to investigate the nature and circumstances of the discovery. At the time of discovery, work in the immediate vicinity would cease until the Coroner permits work to proceed. If the Coroner determines that the remains are Native American, the Coroner will contact the Native American Heritage Commission. The Native American Heritage Commission will identify the person or persons believed to be most likely descended from the deceased Native American. The most likely descendent makes recommendations regarding the treatment of the remains with appropriate dignity. Mitigation Measures 5.a and b from the previously adopted MNDs, which will continue to apply to the Project as modified, incorporate these requirements of state law for the proper handling of any human remains that may be encountered.

**6. GEOLOGY AND SOILS**

*Would the modifications to the project:*

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:  i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.				
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**Comment:**

**6.a.i. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now expose people or structures to potential substantial adverse effects due to the Alquist-Priolo Earthquake Fault Zone. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the Project Site is not within a delineated Alquist-Priolo zone.

ii. Strong seismic ground shaking?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**6.a.ii. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would result in a new or substantially more severe significant impact from strong seismic ground shaking. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the Sonoma County Relative Hazard from Seismic Shaking Map (California Division of Mines and Geology) shows the project is located on unconsolidated alluvium and is not subject to liquefaction. Any new construction will be subject to the California Building Code and built to withstand strong ground shaking.

iii. Seismic-related ground failure, including liquefaction?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**6.a.iii. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause seismic ground failure or liquefaction. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because a less than significant impact from ground failure or liquefaction. The Sonoma County Seismic Shaking and Tsunami Special Report 120 map (CA Divisions of Mines and Geology) indicated the Project Site is not located in a liquefaction area. Any new construction will be subject to the California Building Code.

iv. Landslides?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
b) Result in substantial soil erosion or the loss of topsoil?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**6 a. iv. and 6. b. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now

result in substantial soil erosion or the loss of topsoil. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions of a less than significant impact from soil erosion or loss of top soil because the Proposed Project includes almost no grading. Nevertheless, any grading, cuts and fills require drainage review and the issuance of a Grading permit. An erosion control plan must be included in the grading permit plans, and approved by PRMD's Grading & Storm Water Section. The Project Site is not in a landslide area. The proposed development is required to meet current California Building Code requirements.

c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**6.c. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause a geologic unit or soil to become unstable as a result of on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse. All of Sonoma County is subject to seismic shaking. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions of a less than significant impact from unstable geologic units or soils. The Sonoma County Seismic Shaking and Tsunami Special Report 120 map (CA Divisions of Mines and Geology) indicated the Project Site is not located in a liquefaction area or a landslide area. The project development would require building and grading permits; as described above. Drainage improvement and erosion control plans to ensure that soils will remain stable are required to be reviewed and approved by PRMD prior to issuance of building and grading permits.

d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**6.d. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause a substantial risk to life or property due to expansive soil. The Sonoma County Soils Survey (U.S. Department of Agriculture, 1972 shows that the project is located on Empire Loam soil. This soil has low shrink-swell characteristics.

e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**6.e. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in soils that are incapable of supporting the existing, on-site septic system that currently serves the Buddhist Retreat Center. The applicant will construct a new septic system to serve the five-bedroom dwelling unit. The soils on the "Dixie Parcel" (APN 109-230-018) where the five-bedroom dwelling unit will be constructed have proven to be adequate to construct a septic system per permit numbers SEV08-0802 and SEV08-0902 on file at PRMD.

**7. GREENHOUSE GAS EMISSIONS**

*Would the modifications to the project:*

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**7.a. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would result in greenhouse gas emissions that would have a new or substantially more severe significant impact on the environment. The March 26, 2013 Project Proposal does not show that the Project will have a significant impact for GHG.

County's Significance Threshold for GHG Emissions

The previously-adopted MND used BAAQMD's draft significance threshold of 1,100 metric tons of CO<sub>2</sub>e per year for determining the project's GHG emissions impact. That draft threshold was adopted by BAAQMD in June 2010, but called into question by an order issued March 5, 2012, in *California Building Industry Association v. BAAQMD* (Alameda Superior Court Case No. RGI0548693). The order requires BAAQMD to set aside its approval of all the significance thresholds adopted in June 2010 until it has conducted further environmental review under CEQA. However, the claims made in the case concerned the environmental impacts of adopting the thresholds, that is, how the thresholds would indirectly affect land use development patterns. Those issues are not relevant to the scientific soundness of the BAAQMD's analysis of what levels of GHG emissions should be deemed significant. The County agrees that the GHG emissions threshold is supported by substantial evidence. Accordingly, the County as lead agency has elected to continue to use a GHG emissions threshold of 1,100 metric tons of CO<sub>2</sub>e per year to evaluate project emissions.

On November 2, 2010, the Board of Supervisors approved all state mandated model codes including the new California Green Building Standards Code (CalGreen), which became effective January 1, 2011. All new buildings are required to be constructed in conformance with CalGreen Tier 1 level of compliance. These standards, which result in buildings that are more energy efficient, will apply to the new construction.

Applicant's GHG Study

Tim Rimpo of the URS Corporation prepared a GHG analysis dated January 18, 2012. This analysis showed the GHG emissions from the little physical construction in the project will be 67

CO2e. Operating the project will produce 448 metric tons of CO2e/year. Combined construction and operation will produce 525 metric tons CO2e/year, which is substantially below the BAAQMD threshold of 1,100 metric tons CO2e/year.

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**7.b. Less than Significant Impact.** The Project's GHG emissions do not significantly increase above existing conditions. The Project will not conflict with adopted policies or regulations for reducing the emissions of greenhouse gases.

**8. HAZARDS AND HAZARDOUS MATERIALS**

*Would the modifications to the project:*

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**8.a. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials.

The existing operation of the accessory press facility generates minimal amounts of hazardous materials. The dye is a non-toxic vegetable based ink dye and a water-based plate making process is employed. The only hazardous materials will be rags used to wipe out ink cans, wastewater from draining the press one time per week and water from press operators washing their hands. These minimal hazardous materials are stored in 55 gallon drums and are removed from the Project Site by a properly licensed hazardous materials removal service. The applicant has also complied with all CUPA and other requirements by filing and maintaining a hazardous materials plan with the Department of Emergency Services. The Hazardous Materials/Fire Division of the Department of Emergency Services inspects the Project Site every three years. Constructing the five-bedroom dwelling and erecting tents on existing tent platforms will not generate any hazardous materials.

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	



**Comment:**

**8.b. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now create a significant hazard to the public or the environment through the release of hazardous materials into the environment. See further discussion under 8.a. above.

c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**8c. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now emit hazardous emissions or hazardous waste. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the Project Site is not located within one quarter mile of any existing or proposed school.

d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**8.d. No Impact:** Since adoption of the previous MNDs, there are no changes in the project or changes in circumstances under which the project is undertaken that would now place the Project Site on the list of hazardous materials sites. The Project Site was not listed in the site under Government Code section 65962.5. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the Project Site is not on the list of hazardous materials sites.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**8.e. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would result in a new significant safety hazard associated with an airport. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusion because the Project Site is not within an airport land use plan nor is it within two miles of a public airport or public use airport.

f) For a project located within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**8.f. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would result in a new significant safety hazard associated with a private airstrip. The March 26, 2013 Project Proposal and this initial study checklist do not change the previously-adopted MNDs' conclusions because the Project Site is not within the vicinity of a private airstrip(s).

g). Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**8.g. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now impair or interfere with an adopted emergency response plan or emergency evacuation plan. No adopted emergency response plans or emergency evacuation plans exist for the area.

The Project Site is within the Timber Cove Fire Protection District's (TCFPD) jurisdiction for emergency response. Because TCFPD is an all-volunteer fire district, the Sonoma County Department of Emergency Services (DES) has a contract with TCFPD to perform code compliance and plan check.

Like all other fire protection districts in Sonoma County, TCFPD benefits from a county-wide "Mutual Aid Agreement." The Mutual Aid Agreement provides supplemental protection in the event of an emergency where the response requires the assistance of more than one Fire Protection District. The Mutual Aid Agreement is supplemented by the REDCOM system, which dispatches the closest engine to respond to emergencies, including fires, and ensures back up and support for emergency first responders. In the REDCOM system, each local Fire Protection District specifies the emergency equipment that the District wishes to respond to within geographic regions in the District or for a specific address. In addition to the Mutual Aid Agreement and REDCOM system, any fire chief can request a "Second Alarm" or "Third Alarm," which will provide additional emergency response and support. Thus, in the event of a serious fire event, the other Fire Protection Districts will provide support and aid to TCFPD, as would occur anywhere else within the county, including remote areas. Currently, the first response to a fire at the Project Site includes Timber Cove and agencies from Fort Ross, Sea Ranch, Cazadaro, Monte Rio, and Cal Fire. On June 15, 2012, Roberta MacIntyre, the Sonoma County Fire Marshal, Zippy Singer, the TCFPD fire chief; and Ben Neuman, PRMD's Division Manager for both Building Safety and Code Enforcement, met at the Project Site to discuss the code requirements for the sacred text storage buildings. This meeting included a comprehensive inspection of all sacred text storage buildings.

After the meeting, Ms. MacIntyre, the Fire Marshal, recommended fire code compliance conditions of approval for the Project, all of which the applicant accepted and agreed to

implement. Fire Marshal MacIntyre inspected above-ground and below-ground sprinkler systems for the facility during the summer of 2013. A properly qualified fire-sprinkler contractor conducted the test and the system passed.

The County's Chief Building Official issued an Administrative Determination and Clarification on October 10, 2013 confirming that: (i) based on their permit application date(s), the sacred text structures were required to comply with the 2007 California Building Code, and (ii) under County policy and practice at the time the applicant submitted building permits for the sacred text storage structures, the structures were exempt from complying with the Chapter 7A of the then-existing California Building Code because they were "accessory structures."

On December 13, 2013, the applicant's representative submitted a "Certificate of Flame Resistance" for the tent membrane structures. The purpose of the certificate is to provide proof that the membrane structures meet the National Fire Protection Association (NFPA) 701 standards, as required by Section 3102. This information was required by the Sonoma County Fire Marshal in the correspondence date December 9, 2013. It was later determined that certificate only applied to one of the four tent membrane structures.

On January 21, 2013, the applicant's representative submitted the following documentation to the Permit and Resource Management Department for review:

- 1) A set of drawings for tent number 2, 3, and 4;
- 2) An e-mail exchange between Vern Losh and Nathan Stobbe dated December 18, 2013;
- 3) A "Certification of Flame Resistance" for tents 2, 3, and 4.

Roberta MacIntyre, Fire Marshal, submitted correspondence dated February 12, 2014, to the Project Planner. After reviewing the documentation submitted by the applicant's representative on January 21, 2014, the fire marshal determined that sufficient evidence was provided to prove that the membrane structures are in compliance with the requirements for membrane structures per section 3102 of the 2007 California Building Code.

DeWayne Starnes, Chief Building Official for Sonoma County, submitted correspondence dated February 14, 2014, to the Project Planner. After reviewing the documentation submitted by the applicant's representative on January 21, 2014, the Chief Building Official, determined that sufficient evidence was provided to prove that the membrane structures are in compliance with the current code. The Chief Building Official also states the tent structures are defined as accessory structures, and are not required to comply with Chapter 7A of the 2007 California Building Code which governs materials and construction methods for exterior wildfire exposure for structures located in a Wildland-Urban Interface (WUI) fire area.

However, after several visits to the Project Site, reviewing the Chief Building Official's October 10, 2013 Administrative Determination and Clarification, reviewing the relevant fire permits for the Project Site, and reviewing the documentation submitted by the applicant's representative on January 21, 2014, the Fire Marshal is satisfied with the fire code compliance plan and that the Project Site will meet the requirements of the Sonoma County Fire Code and the tent membrane structures are in compliance with section 3102 of the 2007 California Building Code. (see attachments)

h). Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
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wildlands are adjacent to urbanized areas of where residences are intermixed with wildlands?				X
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**Comment:**

**8.h. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now expose people or structures to a significant risk of loss, injury or death involving wildland fires. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions regarding fire or other safety issues. According to the Public Safety Element for Planning Area 1 of the General Plan, the Project Site is in an area that may contain substantial forest fire risk and hazards. However, the structures, including the sacred tent storage structures complied with all requirements in place at the time the building permit applications were submitted. When PRMD plan checked the sacred text storage structures, PRMD required the structures to meet the then-existing criteria for permanent structures. Additionally, all new construction must meet the Fire Safe Standards at the time of construction, which will minimize the risk of losses due to fire. Project development will continue to be required to conform to Fire Safe Standards related to fire sprinklers, emergency vehicle access and water supply. See Response 8.g, above also.

**9. HYDROLOGY AND WATER QUALITY**

*Would the modifications to the project:*

a) Violate any water quality standards or waste discharge requirements?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**9.a. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in violations of any water quality standards or waste discharge requirements. PRMD's Drainage Review Division reviewed and approved the 2004 Approved Project and the 2008 proposal statement from the same applicant. After review and consideration, staff required that the 2004 Approved Project and 2008 proposal must comply with National Pollution Discharge Elimination System's (NPDES) requirements and were covered by the State General Construction Permit, as administered by the North Coast Regional Water Quality Control Board (NCRWQCB). Sonoma County Code section 11.16.060 et seq., the County's Grading Ordinance, requires compliance with adopted best management practices (BMPs) that mitigate impacts to waterways. The Project, as set forth in the March 26, 2013 Project Proposal, will be conditioned to obtain grading permits prior to issuance of building permits. Compliance with the current version of the County's Grading Ordinance and all other the mitigation measures in the previous MND related to Hydrology and Water Quality, will ensure the March 26, 2013 Project is designed to provide effective erosion control during construction and post construction, must be implemented. Best Management Practices are required.

b) Substantially deplete groundwater supplies or interfere substantially with	Potentially Significant Impact	Less than Significant with	Less than Significant Impact	No impact
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groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?		Mitigation Incorporation		
			X	

**Comment:**

**9.b. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in the potential to substantially deplete groundwater supplies or interfere substantially with groundwater recharge in the area and adversely affect pre-existing nearby wells.

The March 26, 2103 Project Proposal, as described in this initial study checklist, does not change the previously-adopted MNDs' conclusions that there will be a less than significant impact on groundwater supplies or interference with groundwater recharge to nearby wells because the Project will not use additional groundwater as water supply. According to EBA Engineering, the Buddhist Retreat Center's water demand is 4.26 AF/year, but only 1.79 AF/year of groundwater is used to meet this demand. This demand is supplied as follows:

1.79 AF/year	Groundwater from wells
<u>2.47 AF/year</u>	<u>Treated surface water from the existing reservoir</u>
<b>4.26 F/year</b>	<b>Total current water demand</b>

These amounts are not projections; they are based on actual water use at the retreat facility during the last four years.

The applicant obtained a use permit for a water system in 2008. This system included a clay-lined reservoir that was to be filled with a combination of groundwater and rainwater. This system was only partially constructed and some components, such as the four acre trench system, do not exist. Likewise, the applicant does not use groundwater from wells to recharge the reservoir. The 20 acre foot clay-lined reservoir was constructed and is currently filled with rainwater that falls directly on the reservoir or the shallow banks of the reservoir. There is also a French drain on the eastern end of the reservoir which drains into the reservoir. Ratna Ling has used and will continue to use rainwater that is harvested from the roof of the printing press building and is used to recharge the reservoir. No other water supplies the reservoir.

Water Supply - With the MUP, the water demand will increase from 4.26 AF/year to 6.29 AF/year. This is an increase of 2.03 AF/year. There is no impact because the 2.03 acre-feet increase in water supply is less than the capacity of the existing 20 acre-feet reservoir, the reservoir has the capacity to meet that increase and the total water demand is 4.26 acre-feet per year. The increased demand will be met exclusively with rainwater captured in or on the banks of the existing, clay-lined reservoir and water that is currently collected from building roofs. Since the MUP will not change the amount of groundwater the Center uses, there is no change in groundwater consumption. Nevertheless and since groundwater will be used to partially supply the final operation, the applicant's consultant, EBA Engineering, prepared a Groundwater Availability Study<sup>1</sup> in accordance with Sonoma County General Policy WR-2e. This study analyzed the reservoir's recharge and concluded that, with the increased water use, the reservoir's water balance is neutral and there is adequate water to supply the structures and uses allowed by the Master Use Permit.

<sup>1</sup> Geologic Groundwater Report for General Plan Policy WR-2e, prepared by Mike Delmanowski at EBA Engineering, dated March 26, 2013.

However, the applicant is volunteering the following condition of approval:

In the event of a drought year, the applicant shall proportionally reduce its occupancy to correspond to the reduced rainfall. For purposes of this condition "drought year" shall mean that there is less than 18" of rainfall for the entire rainy season, as the rainfall is measured on the Project Site on March 1 of each year. The applicant may install its own rain meter or may hire a consultant to measure the rainfall. In the event that there is less than 18" of rainfall on March 1, the applicant shall do all of the following: (i) reduce water used to supply landscaping and all other non-domestic uses and (ii) have a qualified person, as determined by PRMD, calculate proportionally reduced occupancy rates based on the amount of water available after the applicant reduces the water demand for non-domestic uses. The applicant shall adhere to the qualified person's reduced occupancy recommendations.

Even though the water balance for the increased reservoir uses is neutral and this condition of approval is not essential, the applicant volunteers this condition.

The existing groundwater use for the off-site properties within the cumulative impact area is estimated to be 6.0 AF/yr, with a potential future total water use of 7.5 AF/yr if the properties are fully developed according to their current maximum permitted densities.

The groundwater storage capacity within the cumulative impact area is calculated to be 1,770 AF. The existing and proposed groundwater use at the Ratna Ling facility (1.79 AF/yr) represents approximately 0.1 percent of the groundwater in storage. The same calculations for the Project Site alone equates to 246 AF and 0.7 percent, respectively.

Results from the water balance analysis indicate that approximately 1,595 AF/yr is available for groundwater recharge within the cumulative impact area. The existing and proposed groundwater use at the Project Site (1.79 AF/yr) represents approximately 0.1 percent of this annual groundwater recharge volume. The combined water use for both the on-site and off-site properties equates to approximately 0.5 percent (existing) and 0.6 percent (future), respectively. Similar water balance calculations for the Project Site alone indicate an estimated groundwater recharge volume of approximately 196 AF/yr. The corresponding percentage of the proposed groundwater use as compared to the estimated groundwater recharge volume equates to approximately 0.9 percent.

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**9.c. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that now would result in a new or substantially more severe impact from erosion or siltation on or off-site due to alteration of an existing drainage pattern. The March 26, 2013 Project Proposal does not include the alteration of the course of a stream, river, or drainage way. There is very little new construction and all of it must adhere to standard permitting procedures for grading and building permits required under the Sonoma County Code's Grading Ordinance and General Construction Permit. This will ensure the March 26, 2013 Project Proposal does not substantially alter the existing

drainage pattern of the site or area in a manner that would result in substantial erosion or siltation on- or off-site.

d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**9.d. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in a new or substantially more severe impact of flooding on- or off-site due to substantial alterations in the existing drainage pattern of the site or area or the alteration of the course of a stream or river, or due to a substantial increase in the rate or amount of surface runoff. The March 26, 2013 version of the project does not alter the course of any stream, river or drainage way. In fact, Cottage 20 was moved in order to move it farther from a small drainage way. The March 26, 2013 Project, as described in this initial study checklist, does not change the previously-adopted MNDs' conclusions because the project would continue to be subject to the Sonoma County Code and Grading Ordinance, as well as SUSMP (Standard Urban Storm Water Mitigation Plan) guidelines and Low Impact Development (LID) requirements based on the project's location within the County. The Project would not substantially alter the existing drainage pattern of the site or area, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site.

e) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**9.e. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in creating or contributing runoff water which would exceed the capacity of existing or planned storm water drainage systems. The March 26, 2013 Project, as described in this initial study checklist, does not change the previously-adopted MNDs' conclusions because the construction will not create additional runoff beyond that already analyzed in the previous MNDs, nor does it change the fact that the project is subject to the County Grading Ordinance and the grading permit and drainage review process.

f) Otherwise substantially degrade water quality?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

<b><u>Comment:</u></b>				
<p><b>9.f. Less than Significant Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now substantially degrade water quality standards. The March 26, 2013 Project Proposal, as described in this initial study checklist, does not change the previously-adopted MNDs' conclusions that the Approved Project will not substantially degrade water quality. Compliance with both the State and County Standards will insure that potential impacts to water quality will be avoided.</p>				
g) Place housing within a 100-year hazard area as mapped on a federal Flood hazard Boundary of Flood Insurance Rate Map or other flood hazard delineation map?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<b><u>Comment:</u></b>				
<p><b>9.g. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now place housing within a 100-year hazard area. The Project Site is not in a flood hazard zone and will not place housing in a flood hazard zone.</p>				
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<b><u>Comment:</u></b>				
<p><b>9.h. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now place within a 100-year flood hazard area structures that would impede or redirect flood flows. See response 9.g., above.</p>				
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<b><u>Comment:</u></b>				
<p><b>9.i. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam. See response 9.g., above.</p>				
i) Inundation by seiche tsunami or	Potentially	Less than	Less than	No impact



mudflow?	Significant Impact	Significant with Mitigation Incorporation	Significant Impact	
				X
<p><b>Comment:</b></p> <p><b>9.j. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause inundation by seiche, tsunami, or mudflow. See Response, 9.g., above.</p>				

**10. LAND USE AND PLANNING**

*Would the modifications to the project:*

a) Physically divide an established community?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**10.a. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now physically divide an established community. The Project Site is located in an isolated part of Sonoma County where there is no established or named community. A county road divides the Project Site, but neither the parcels nor the Project Site divide any settlements, town or village.

b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**10.b. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now conflict with any applicable land use plan, policy, or zoning ordinance adopted for the purpose of avoiding or mitigating an environmental impact.

General Plan Consistency Discussion - In 1989, the now superseded Sonoma County General Plan was adopted. The Ratna Ling site was given a Resources and Rural Development (RRD) land use designation by the 1989 plan. Section 2.8.1 of the 1989 plan listed as permitted uses in the RRD land use category "public and private schools and churches." It also allowed "lodging, campgrounds and similar recreational and visitor serving uses" provided that such uses did not run afoul of the primary purpose of the RRD District to protect resource areas.

On September 9, 2004, the Sonoma County Board of Zoning Adjustments adopted resolution approving UPE 04-0032. The major entitled uses approved by UPE 04-0032 included "a non-commercial retreat center and monastery" and, in recognition of the integral religious significance of the Sacred Text production to members of the Ratna Ling spiritual community, the construction of "a new 18,750 square foot religious printing facility" described as "non-commercial" and as "an ancillary use to the monastery and non-commercial retreat center." The findings in the September 9, 2004, resolution, found that the proposed use was consistent with the RRD land use designation and applicable zoning district regulations and that the proposed use would not be detrimental to the health, safety, peace, comfort and general welfare of persons or property in the area. The resolution also found that the proposed project would not interfere with the resource of this site as it would not involve the loss of timber; would not interfere with geothermal resource production; the site is not identified as an aggregate resource site in the Aggregate Resources Management Plan; and watersheds, fish, and wildlife habitat will be protected.

On September 23, 2008, the now effective Sonoma County General Plan 2020 was adopted. The Natural Resource Land Use Policies are set forth in Section 2.7 of the 2020 Plan. Permitted RRD uses carried forward from the 1989 General Plan include "public and private schools" and "places of religious worship." The RRD land use designation continues to allow "lodging, campgrounds and similar recreation and visitor serving uses" with approval of a Use Permit provided they do not interfere with or detract from the purposes of the district.

The uses sought pursuant to this MUP are clarifications and expansions of the previously approved uses, all of which have been found by the County to be consistent with both the RRD General Plan land use designation and RRD implementing zoning regulations. The uses of the Ratna Ling site for religious practice, the housing of individuals associated with that practice, and the ancillary printing of Sacred Texts which are an integral part of the Ratna Ling Buddhist religious practice have all ready been approved by the County as are acceptable uses in the RRD General Plan land use category. The requested additions to existing and previously approved uses do not pose a threat to the resource values of the site.

As proposed, the project is compatible with the surrounding neighborhood. Existing structures are either not visible or they are screened from public roads; no exterior noise is generated by operating the press machines; traffic is reduced as volunteers and retreat guests would remain on-site rather than travel to and from the site on a daily basis.

The proposed project would not involve the loss of timber; would not interfere with geothermal resource production; the site is not identified as an aggregate resource site in the Aggregate Resources Management Plan; and watersheds, fish, and wildlife habitat will be protected. There is adequate water supply as a new reservoir was constructed to capture runoff water from the site to serve the retreat center, the accessory printing, storage facility and 5-guest room retreat/house.

The proposed project is consistent with the General Plan designation of Resource and Rural Development.

Zoning Ordinance Consistency Discussion: The Project Site is zoned RRD, which allows lodges and campgrounds subject to a use permit provided that lands needed for commercial timber production, geothermal production, and aggregate production, and lands needed for protection of watershed, fish and wildlife habitat, biotic resources, and agricultural production activities are protected. The proposed project would not involve the loss of timber; would not interfere with geothermal resource production; the site is not identified as an aggregate resource site in the Aggregate Resources Management Plan; and watersheds, fish, and wildlife habitat will be protected. The RRD Zoning District allows accessory structures. The March 26, 2013 Project Proposal contains very little new construction. The maximum site coverage allowed

for structures under the RRD zoning is 5.0 acres. The lot coverage for all existing and proposed structures will result in lot coverage of approximately 3.3 acres. The March 26, 2013 Project Proposal is well below the site coverage limits. The March 26, 2013 Project Proposal also meets the 150' setback from property lines requirements. The March 26, 2013 Project Proposal is consistent with the RRD zoning.

c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**10.c. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now conflict with any applicable habitat conservation plan. The March 26, 2013 Project Proposal does not change the previously- adopted MNDs' conclusions because the Project Site remains outside the range of the California Tiger Salamander. The Project Site is not located in an area subject to a habitat conservation plan or natural community conservation plan.

No mitigation is required.

**11. MINERAL RESOURCES**

*Would the modifications to the project:*

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**11.a. and 11.b. No Impact.** Since the previous MNDs were adopted there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in the loss of a known mineral resource or result in the loss of a mineral resource recovery site as delineated in a local general plan. The Project Site is not zoned Mineral Resources (MR) and is not known to have mineral resources on the site. There are no known mineral resources near the Project Site, other than gravel mining in the Gualala River. The March 26, 2013 Project Proposal does not include anything that would reduce or cause the loss of a mineral resource.

**12. NOISE**

Would the modifications to the project result in:

a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<p><b>Comment:</b></p> <p><b>12. a. No Impact:</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan. The center is a Buddhist Retreat Center with meditation, classes and yoga. Almost all classes are taught indoors and none produce significant noise. When there is an outdoor class it is yoga or meditation and no outdoor class produces any noise greater than a normal conversation. When checking in, staff, volunteers, and retreat participants are given a written reminder that Ratna Ling is a sacred place. The printing presses are fully contained inside the printing press structure and do not generate noise that exceeds County noise limits established by Table NE-2 of the General Plan.</p>				
b) Exposure of persons to or generation of excessive ground borne vibration or ground borne noise levels?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	
<p><b>Comment:</b></p> <p><b>12.b. Less Than Significant Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in exposure of persons to or generation of excessive ground borne vibration or ground borne noise levels.</p> <p>During construction of the project development, temporary ground borne vibrations and noise will occur. The Modified Project as described in this initial study checklist does not change the previously-adopted MNDs' conclusions because these levels would be considered less than significant because they would be short-term and temporary, and would be limited to daytime hours. The applicant will not undertake construction activities before 7:00 a.m. During a previous construction period, the Applicant met with neighbors and addressed all construction issues, including carpooling, signs identifying Ratna Ling construction trucks, etc., and Ratna Ling will continue these practices to minimize any disruption to the community. No other activities or uses associated with the Modified Project would expose persons to or generate excessive ground borne vibration or ground borne noise levels.</p>				
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**12.c. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project.

As discussed above under 12.a, the March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project would not result in a substantial permanent increase in ambient noise levels in the project vicinity. Construction activities may produce temporary noise. However, construction noise is finite and the project will be conditioned to comply with the noise limits in Table NE-2 of the General Plan for all noise, including construction noise.

d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**12.d. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**12.e. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in an impact associated with airport noise. The March 26, 2013 Project Proposal as described in this initial study checklist does not change the previously-adopted MNDs' conclusions because the Project Site is not within an airport land use plan as designated by Sonoma County or within two miles of a public airport or public use airport.

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**12.f. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in an impact associated with noise from a private airstrip. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because there are no known private airstrips within the vicinity of the Modified Project.

**13. POPULATION AND HOUSING**

*Would the modifications to the project:*

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**13.a. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now induce substantial population growth in the area. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project only includes constructing one 5 bedroom dwelling and five cottages. The project does not include a substantial amount of businesses or infrastructure, and therefore would not induce substantial population growth either directly or indirectly.

b) Displace substantial numbers of existing housing necessitating the construction of replacement housing elsewhere?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**13.b. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now displace a substantial number of existing housing or require replacement housing elsewhere. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project does not involve the removal of any housing and does not result in the need to construct replacement housing elsewhere. Instead the project proposes to construct one five-bedroom dwelling.

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**13.c. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project does not include any displacement of a substantial number of people or create a need to provide replacement housing elsewhere.

**14. PUBLIC SERVICES**

*Would the modifications to the project:*

a) Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service rations, response times or other performance objectives for any of the public services:	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
Fire protection?			X	
Police?			X	
Schools, parks, or other public facilities?			X	
Parks?			X	
Other public facilities?			X	

**Comment:**

**14.a. Less Than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities or result in the need to add new governmental facilities or public services. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project would not result in the need for expanded fire protection and police facilities, schools, parks, or other public facilities.

**15. RECREATION**

*Would the modifications to the project:*

a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact

physical deterioration of the facility would occur or be accelerated?				X
<p><b>Comment:</b></p> <p><b>15.a. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now increase the use of existing neighborhood and regional parks or other recreational facilities. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project does not increase the use of regional parks or recreational facilities.</p>				
b) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<p><b>Comment:</b></p> <p><b>15.b. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that includes a recreational facility or requires the construction of a recreational facility. The March 26, 2013 Project Proposal does not change the previously adopted MNDs' conclusions because the project does not include or require the construction of recreational facilities.</p>				

**16. TRANSPORTATION/TRAFFIC**

*Would the modifications to the project:*

a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	
<p><b>Comment:</b></p> <p><b>16.a. Less than Significant Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would cause a conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit.</p> <p>The proposed project will generate an average of 29 trips per day and 58 trips on peak days. The projected traffic trips include the existing physical condition <u>plus</u> new trips resulting from the MUP. It should also be noted that retreat participants arrive and park in an on-site parking lot and then walk or bicycle to events. Since the retreat curriculum occupies the entire day, there are few, if any, trips generated by retreat participants after they arrive. Volunteers also either walk, bicycle or use electric golf carts to move around the site.</p>				



Truck traffic related to the sacred texts and non-textual sacred art is limited to one (1), twenty-four foot (24') long truck round trip per day. The 24' foot limit is measured from the trailer's kingpin to rear axle and does not include the tractor. This limit applies to truck trips delivering supplies to produce the sacred texts, and non-textual sacred art, and transporting the sacred texts and art off the property.

Traffic reports analyzing the project did not identify any service level impacts or vehicular accident rates exceeding applicable thresholds.

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**16.b. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken which would result in a conflict with an applicable congestion management program or level of service standards. See discussion under item 16.a above.

c) Result in change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**

**16.c. No Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would result in changes to air traffic patterns. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project does not include air transportation, nor would it affect air traffic patterns.

d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**

**16 d. Less than Significant Impact.** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would result in substantially increased hazards due to design features or incompatible uses.

The project is conditioned to require the applicant to contact Sonoma County's Department of Transportation and Public Works to pay for installation of a "curve warning" and 15 mph sign as is

set forth in W-Trans' July 29, 2011 Traffic Study. The purpose of the "curve warning" and 15 mph signs is to warn drivers that this portion of Hauser Bridge Road is narrow and is winding.

e) Result in inadequate emergency access?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**Comment:**  
**16.e. No Impact:** The March 26, 2013 Project Proposal will not result in a new significant environmental effect or a substantial increase in the severity of a previously identified significant effect related to emergency access due to substantial changes in the project or its circumstances. There is no new information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the Board adopted the prior MNDs.

f) Result in inadequate parking capacity?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X

**16.f. No Impact:** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken which result in any inadequate parking capacity. Ratna Ling has an on-site parking lot that retreat participants use.

f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	

**Comment:**  
**16.g. Less than Significant Impact:** Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken which conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities.

**17. UTILITIES AND SERVICE SYSTEMS**

*Would the modifications to the project:*

a) Exceed wastewater treatment requirements of the applicable Regional Water	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No impact
--	--------------------------------	---------------------------------------	------------------------------	-----------

Quality Control Board?		Incorporation		
			X	
<p><b>Comment:</b></p> <p><b>17.a. Less than Significant Impact. (Refer to discussion under item 6.e. of Geology and Soils above in this initial study checklist).</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would result in wastewater treatment facility impacts. The Project Site is in a rural area of the County where surrounding parcels are developed and utilize individual on-site septic systems for waste disposal. The required tests have demonstrated the site has soils capable of supporting the five-bedroom dwelling unit.</p>				
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<p><b>Comment:</b></p> <p><b>17.b. No Impact. (Refer to discussion in item 17.a. above in this initial study checklist).</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities for existing structures.</p> <p>The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the Project Site is served by an on-site septic system and the soils on the "Dixie Parcel" (APN 109-230-018) where the five-bedroom dwelling unit will be constructed have proven to be adequate to construct a septic system per permit numbers SEV08-0802 and SEV08-0902 on file at PRMD.</p>				
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<p><b>Comment:</b></p> <p><b>17.c. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result a new or substantially more severe environmental impact related to the construction of new storm water drainage facilities or expansion of existing facilities. The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project does not result in any meaningful increase of storm water runoff from that determined for the Approved Project.</p>				
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact

expanded entitlements needed?				X
<b>Comment:</b>				
<p><b>17.d. No Impact.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in the ability to provide the proposed project with water. There is a 2.03 acre-feet increase in water use with the proposed project. However, there is no impact because the 2.03 acre-feet increase in water supply is less than the capacity of the existing 20 acre-feet reservoir, the reservoir has the capacity to meet that increase and the total water demand is 4.26 acre-feet per year. The increase in water demand of the project above what was already analyzed in the previously-adopted MNDs.</p>				
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<b>Comment:</b>				
<p><b>17.e. No Impact.</b> The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project will not be served by a public or private wastewater treatment provider. Refer to discussion above under item 17.a. in this initial study checklist.</p>				
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
				X
<b>Comment:</b>				
<p><b>17f. No Impact.</b> The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project would not meaningfully increase the solid waste demands of the project above those already analyzed in the previously-adopted MNDs.</p>				
g) Comply with federal, state, and local statutes and regulations related to solid waste?	Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No impact
			X	
<b>Comment:</b>				
<p><b>17.g. Less than Significant Impact.</b> The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project would continue to comply with statutes and regulations related to solid waste.</p>				

**18. MANDATORY FINDINGS OF SIGNIFICANCE**

	YES	NO
<p>a) Do the modifications to the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</p> <p><b>Comment:</b></p> <p><b>18. a. No.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now result in a degradation of the quality of the environment, substantially reduce the habitat of fish or wildlife species, threaten to eliminate a plant or animal community, or eliminate important examples of the major periods of California history or prehistory.</p> <p>The March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project would not reduce or eliminate any plant or animal communities or rare or endangered plant or animal species since it was determined by a qualified Biologist that none exist on the Project Site. Any on-site wetland will be avoided and retained on the Project Site.</p>		X
<p>b) Do the modifications to the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects.</p> <p><b>Comment:</b></p> <p><b>18.b. No.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now cause cumulatively considerable impacts in connection with the effects of past projects or the effects of other current projects. The changes in the project are the following: the construction of a five-bedroom single family dwelling, erect eight tent structures on a seasonal basis with a maximum occupancy of three people per ten per night, convert four temporary existing sacred text storage structure to permanent sacred text storage structures, and construct residential storage buildings not to exceed 4,080 square feet in size. Since the previous MNDs were adopted, no additional projects have been identified in the area that would change the prior cumulative impacts analysis.</p>		X
<p>c). Do the modifications to the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?</p> <p><b>Comment:</b></p> <p><b>18.c. No.</b> Since the previous MNDs were adopted, there are no changes in the project or changes in circumstances under which the project is undertaken that would now have environmental effects which will cause</p>		X

substantial adverse effects on human beings, either directly or indirectly. As analyzed throughout this SMND, the March 26, 2013 Project Proposal does not change the previously-adopted MNDs' conclusions because the project would not result in any substantial direct or indirect adverse effects on human beings.		
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**NEW ATTACHMENTS TO SUBSEQUENT  
MITIGATED NEGATIVE DECLARATION**

**PLP08-0021 - Ratna Ling Retreat Center**



January 10, 2013

Mr. Gene Gretchen  
Ratna Ling Retreat Center  
35755 Hauser Bridge Road  
Cazadero, CA 95421

Whitlock & Weinberger  
Transportation, Inc.

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## **Ratna Ling Retreat Center Traffic Study**

Dear Mr. Gretchen;

We are in receipt of comments regarding the *Ratna Ling Retreat Center Traffic Study* dated July 29, 2011, from Mr. Andrew R. Kluter of TJKM Transportation Consultants, as provided to the County of Sonoma in a letter dated April 3, 2012. Following are responses to Mr. Kluter's comments.

### **Project Description**

Currently there are 14 guest cottages on the Ratna Ling Site. The expanded site would include 20 guest cottages, a six-bedroom cottage, a seasonal campground, staff lodging and supporting dining and retreat facilities. This is an increase of six new guest cottages and the six-bedroom cottage as well as the supporting facilities. For analysis purpose, the six-bedroom cottage was treated as six guest cottages, so the trip generation estimate is based on a total of 12 new guest cottages.

Seasonal variations in retreat usage were not addressed since the analysis is based on peak operation, or occupation of all available cottages. Any lesser occupation would reasonably be expected to have a lesser impact, so no consideration need be made of such conditions. Further, based on the expected operations of the site, seasonal residents would likely generate less traffic than retreat guests as they would leave the site less frequently. Additional consideration of seasonal variations is discussed in the Study Area section below.

### **Study Area**

Vehicle counts were obtained near the project site for one week in February 2011, and showed that daily traffic on Hauser Bridge Road varies from approximately 50 to 80 vehicles per day. Of these trips an average of approximately five trips occurred during the a.m. peak hour and six during the p.m. peak hour.

Few agencies in the area have published seasonal traffic trends. One such agency, the City of Napa, in its *Revised Policy Guidelines: Traffic Impact Analysis* (March 24, 2008) requires that traffic volumes be adjusted to represent "Average August Thursday Traffic". As a test, these standards were applied to the Ratna Ling Analysis. Since the counts were obtained in February, they would need to be multiplied by 1.161. The highest traffic volumes were found to have occurred on a Monday, so the applicable day of week multiplier would be 1.043, for an overall multiplier of 1.211 to obtain "Average August Thursday Traffic," or the peak of the peak based on the experience of the City of Napa. This would increase volumes to 61 to 97 vehicles per day and an average of six trips during the a.m. peak hour and



seven during the p.m. peak hour. Such an increase, or in fact a much greater increase, would not change any of the findings or recommendations.

The analysis criteria are based on standards published by the American Association of State Highway and Transportation Officials (AASHTO) in *Guidelines for Geometric Design of Very Low-Volume Local Roads*. This guide is intended for streets with an average daily traffic volume (ADT) of up to 400 vehicles per day. The highest traffic volumes observed on Hauser Bridge Road of approximately 80 vehicles per day were one-fifth of this threshold; therefore it is reasonable to assume that, even with seasonal variations in traffic, the roadway would continue to be classified as a **very** low-volume road.

### Trip Generation

It is acknowledged that the proposed Ratna Ling Retreat Center does not exactly match the Institute of Transportation Engineers' (ITE) land-use description for Recreational Homes (ITE Land Use #260). Trip generation rates for various residential, lodging, recreational and religious land-use categories were considered for this analysis; however, given descriptions of the various land-use options available, it was determined that Recreational Homes was the closest match for the proposed retreat center. It is further acknowledged that there is a limited amount of trip generation development data collected for Recreational Homes and published by ITE, with no data points near the size of the proposed project; however, the use of this rate was still determined to be the best possible match out of the options available.

The commenter suggested that the trip generation rates should be developed at a peer resort site and applied to the Ratna Ling. However, there are no such sites in the region, making it infeasible to perform such a comparison. The next best alternative would be to develop trip generation based on the site's proposed operations. Although not discussed in detail in this report, an estimated trip generation was prepared by the applicant based on expected operations, but it was not used as it was found to be lower than the ITE *Trip Generation*, 9<sup>th</sup> Edition, rates applied. Since daily operations may vary over time, and to ensure a conservative analysis, trip generation rates presented by ITE were applied. For comparison purposes Table 1 provides a summary of the trip generation information presented in the report, and the site-specific trip generation is summarized in Table 2.

**Table 1**  
**Application of ITE Trip Generation Rates**

Land Use	Units	Daily	
		Rate	Trips
<b>Proposed – All Units</b>			
Recreational Homes	26 du	3.16	82
Truck Trip	1 round trip	2	2
<b>Total</b>			<b>84</b>

Note: du = dwelling unit

**Table 2  
Site Specific Trip Generation**

<b>Trip Type</b>	<b>Assumptions Applied</b>	<b>Annual Round Trips</b>	<b>Annual Trip Ends</b>	<b>Peak Day</b>
60 Guests per retreat	2 guests per car, 60 retreats per year	1,800	3,600	30 **
37 Staff Volunteers	2 per car, one trip per week	962	1,924	10 **
4 car trips to/from Odiyan	6 days per week	1,248	2,496	8
1 truck trip to/from Odiyan	1 trip per week	52	104	2
3 service vehicles	3 trips per week per vehicle	156	312	2
2 service cars	6 days per week	624	1,248	4
1 printing truck	1 per day	365	730	2
<b>Total</b>		<b>5,207</b>	<b>10,414</b>	<b>58</b>
<b>Annual Average Daily Trips</b>		<b>14</b>	<b>29</b>	<b>N/A</b>

Source: Ratna Ling Retreat Center

Note: \*\* Peak Day traffic is based on the start or end of a retreat with all guests either arriving at the site, or leaving the site

Applying the expected operations and stated assumptions, it is estimated that Ratna Ling would generate an average of 29 daily vehicle trips, with a peak day of 58 vehicle trips. It should be noted that this is total vehicle trips expected to be generated at the site, not just new trips associated with the proposed expansion.

When compared to the ITE trip generation of the 84 daily trips, peak daily operations would have to increase by nearly 50 percent to reach the conservative rates applied. Further, the average number of 29 daily trips projected is just more than one-third of the estimate used based on the ITE rates.

It was noted in the report that based on application of the ITE rates, it would be expected that the existing 14 guest rooms on the site would currently generate 44 daily trips. Given the fact that only 50 to 80 daily trips were counted on Hauser Bridge Road, and that there are other properties that take primary access from Hauser Bridge Road, it appears that the Ratna Ling Center is unlikely to generate as many trips as would be assumed based on use of the standard rates since only three to four homes would likely generate the incremental difference in trips between the 44 assumed to be generated by Ratna Ling and the 50 to 80 that were counted. This further supports the conclusion that use of ITE rates represents a conservative analysis, and in fact, likely overstates the project's potential impacts. Finally, it should be noted that the use of any standard rate is likely to overestimate project trips since most resort guests come and go on a daily basis, often multiple times per day, while retreat guests arrive and stay for a period of several days, making few trips during their stay. Because of the type of project being evaluated as well as its setting, the suggestion that further data collection should be performed to validate the trip generation rate does not appear to be reasonable.

### Site Access

It is acknowledged that sight distance and turn-out areas along Hauser Bridge road do not meet applicable standards published by AASHTO. As stated in the report, major reconstruction of Hauser Bridge Road would be necessary to improve sight distance. AASHTO identifies that while **designing a new street to full standards is ideal**, modification to existing sub-optimal streets may not be feasible or necessary, as described below:

*Given the geometry of stopping sight distance on horizontal and crest vertical curves, the cost for even marginal or incremental improvements make reconstruction of very low-volume local roads to increase stopping sight distance not cost-effective except in unusual cases...Because sight distance improvements are unlikely to be cost-effective under most circumstances, the existing sight distance on a very low-volume local road may be allowed to remain in place unless there is evidence of site-specific safety problem attributed to inadequate sight distance.*

Two large pull-outs are available on Hauser Bridge Road between Seaview Road and Ratna Ling Retreat Center along with several areas with shoulders that permit a driver to partially pull off the road. Additionally, there are several areas where a driver could partially pull off of Hauser Bridge Road, thus allowing an opposing driver to pass. While it would be preferable to provide more turn outs, as with the sight distance, since there are **no demonstrated safety issues** with the configuration, no modifications are recommended, though the traffic study does recommend use of smaller trucks for site-generated trips and installation of improved warning signage. Because drivers have been able to negotiate this road without crashing into each other in the past, it is reasonable to expect that they will continue to do so in the future.

### Other Issues

The proposed project would increase truck traffic on the road from one round-trip every other day to one round-trip every day, or one additional trip end per day. While this is a doubling of total truck trips, it is a still a very low number. In addition to trucks generated by the Ratna Ling Center, Hauser Bridge Road would be expected to serve trips by FedEx, UPS, the US Mail service, and others on a daily basis. While a classification count was not performed, it is reasonable to expect that there are at least three or four truck trips daily, on average, in addition to any generated by the Ratna Ling Center.

### Safety

The proposed project would add an average of one additional truck trip per day, which does not result in a substantial amount of new traffic on Hauser Bridge Road. Since drivers of trucks sit higher than drivers of most cars, they will have a better view of conditions around them. Further, trucks are easier to see by an oncoming driver.

The commenter requested that additional collision analyses be completed for Meyers Grade Road, Seaview Road and Timber Cove Road. While the traffic volumes necessary to complete a full analysis are not available, collision records were reviewed for the requested streets to determine if there were any apparent trends that would indicate a safety issue. During the five-year period of 2006 through 2010, the three roadway segments experienced between two and five reported collisions each, for an average of one or fewer collisions per year. Below is a discussion of the reported collisions on these three roads, and the collision search results are enclosed for reference.

### *Meyers Grade Road*

There were three reported collisions on Meyers Grade Road during the five-year period with two of the collisions attributed to a driving on the wrong side of the road. Two travel lanes are on Meyers Grade Road with a marked center line, so there is no apparent deficiency in the roadway facilities provided that would potentially correct these collisions.

### *Seaview Road*

During the five-year period, there were five reported collisions on Seaview Road. The type, location and primary collision factor cited for all of the collisions vary, resulting in no apparent trend that would be indicative of a historic safety issue on Seaview Road.

### *Timber Cove Road*

While the two reported collisions on Timber Cove Road were both attributed to unsafe speed resulting in a driver running off the road, they occurred at different locations. Therefore, there is no apparent collision trend that would indicate a historic safety issue on Timber Cove Road.

### Bicycle Safety

Hauser Bridge Road, along with adjacent routes, is very popular among bicyclists; however, it is not designated in the Sonoma County Transportation Authority's *Countywide Bicycle & Pedestrian Plan* as an existing or planned future bicycle route. Because of the widths, alignment and grades of these roadways, as well as their location in a rural area, cyclists who travel these routes are typically experienced riders who cycle frequently as opposed to the casual, recreational rider. As a result, such riders are well aware of the potential for conflict with vehicular traffic, and ride accordingly.

The commenter noted that Meyers Grade Road, Kruse Ranch Road and Fort Ross Roads are planned to be designated as future Class III Bicycle Routes. It is expected that the project would add traffic to these roads, but at such a low volume that the impact to bicyclists will be negligible.

Since the route is used for organized bicycle rides, such as the Gran Fondo, it is recommended that Ratna Ling coordinate their schedule to ensure that there is not any truck traffic going to/from the site during these events.

The commenter expressed concerns that slower moving bicyclists would delay vehicle traffic on Hauser Bridge Road and therefore, when combined with the projected increase in traffic, result in worsened operations. Due to the narrow, winding nature of Hauser Bridge Road, it was observed that drivers typically travel at speeds of 10 to 15 miles per hour (mph), which is consistent with the speed that the experienced riders traveling on this roadway are capable of riding. As a result, bicyclists would be expected to have little impact on the travel speeds of vehicles on the route and conflicts such as were indicated by the comment are not expected.

### Road Wear

The proposed project would result in one additional truck trip end per day. The traffic index (TI) for current and proposed operations was calculated for Hauser Bridge Road assuming one round trip daily by a two-axle truck (such as UPS or FedEx). Two scenarios were calculated where the Ratna Ling truck was assumed to be either a two-axle or three-axle truck. Based on these two scenarios, it was

Mr. Gene Gretchen

Page 6

January 10, 2013


determined that the TI would increase by 0.15 to 0.26, which is less than the County's threshold of 0.5 that would indicate a significant impact. The TI calculations are attached for reference.

We hope this information will assist you in responding to traffic issues.

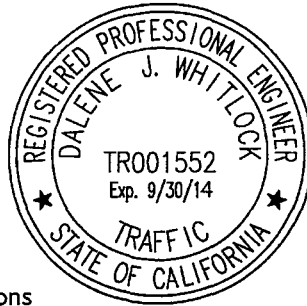
Sincerely,



Tony Henderson, PE  
Engineer



Dalene J. Whitlock, PE, PTOE  
Principal



DJW/tdh/SOX378.R2C

Enclosures: Traffic Index Calculations

## Hauser Bridge Road TI Calculation

### Ratna Ling Retreat Center Traffic Impact Study

#### Scenario 1

##### *Assumptions*

Hauser Bridge Road was treated as a single lane road, with one round trip equally 2 ADT on the travel lane regardless of direction

Existing: One carrier vehicle per day (ie: FedEx, UPS); One Ratna Ling Truck every other day, plus one additional weekly Ratna Ling Truck (2/7 of an average daily trip) - A total of 3.29 average daily truck trips

Project Added: One additional Ratna Ling Truck every other day (for total of one truck per day) - one additional average daily trip

Truck Size: Assume all trucks are two axle

	ESAL	Truck ADT	20-Year ESAL	Project Traffic	20-Year ESAL
2-axle	1380	3.29	4534	1	5914
3-axle	3680		0		0
4-axle	5880		0		0
5-axle	13780		0		0
			4534		5914
			TI =	4.74	4.89
			<b>TI Increase =</b>		<b>0.15</b>

#### Scenario 2

##### *Assumptions*

Hauser Bridge Road was treated as a single lane road, with one round trip equally 2 ADT on the travel lane regardless of direction

Existing: One carrier vehicle per day (ie: FedEx, UPS); One Ratna Ling Truck every other day, plus one additional weekly Ratna Ling Truck (2/7 of an average daily trip) - A total of 3.29 average daily truck trips

Project Added: One additional Ratna Ling Truck every other day (for total of one truck per day) - one additional average daily trip

Truck Size: Assume all trucks are two axle

	ESAL	Truck ADT	20-Year ESAL	Project Traffic	20-Year ESAL
2-axle	1380	2.29	3154		3154
3-axle	3680	1	3680	1	7360
4-axle	5880		0		0
5-axle	13780		0		0
			6834		10514
			TI =	4.97	5.23
			<b>TI Increase =</b>		<b>0.26</b>



March 26, 2013

Ms. Tina Wallis  
Clement, Fitzpatrick & Kenworthy  
3333 Mendocino Avenue, Suite 200  
Santa Rosa, CA 95403-2233

**RE: GEOLOGIC REPORT FOR GENERAL PLAN POLICY WR-2e  
RATNA LING BUDDHIST RETREAT CENTER (PLP08-0021)  
35755 AND 36000 HAUSER BRIDGE ROAD, CAZADERO, CALIFORNIA  
EBA JOB No. 12-1880**

Dear Ms. Wallis:

This Geologic Report presents the results of a groundwater availability study conducted for the Ratna Ling Buddhist Retreat Center (Ratna Ling) located at 35755 and 36000 Hauser Bridge Road, in Cazadero, California (see Figure 1, Appendix A for site location). The groundwater availability study was implemented to comply with requirements set forth in Policy WR-2e of the Sonoma County General Plan (SCGP) based on the property's location within a Class 4 groundwater availability area as designated in the SCGP's Water Resources Element. As stipulated in Policy WR-2e, sites within a Class 3 or 4 groundwater availability area must conduct a study to determine whether there are adequate existing and future groundwater supplies to accommodate the proposed development demands and to estimate the effects of drawdown, if any, within the designated cumulative impact area. This report was prepared to meet these objectives.

## **1.0 EXECUTIVE SUMMARY**

The groundwater availability study is for the proposed expansion of the existing Ratna Ling facility that will include some minor new construction and an increase in maximum occupancy. The study was performed in conformance with Policy WR-2e of the SCGP based on the property's location within a Class 4 groundwater availability area. The study included: performance of a site reconnaissance; research of local geologic/hydrogeologic literature, Water Well Driller's Reports (WWDRs), zoning information and previous water availability studies performed by others; determination of the cumulative impact area; projections of existing and future water use; water balance calculations; and evaluation of drawdown characteristics. Pertinent findings from these efforts included the following:

- The project site is underlain by Franciscan Formation materials that generally produce water via secondary porosity features and typically exhibit specific yield characteristics of less than 3 percent. Yield characteristics are often seasonal, with higher yields occurring during the spring and lower yields occurring in the late summer-early fall.
- The primary surface water feature in the area is the South Fork Gualala River which lies east and north of the project site at distances ranging from 700 to 2,800 feet.
- The cumulative impact area for the study encompasses approximately 903 acres and includes nine properties (including the project site).
- Both the existing and projected groundwater use for the Ratna Ling facility is 1.79 acre-feet per year (AF/yr); i.e., annual groundwater use will not change as a result of the proposed expansion.
- The existing groundwater use for the off-site properties within the cumulative impact area is estimated to be 6.0 AF/yr, with a potential future total water use of 7.5 AF/yr if the properties are fully developed according to their current maximum permitted densities.
- The groundwater storage capacity within the cumulative impact area is calculated to be 1,770 AF. The existing and proposed groundwater use at the Ratna Ling facility (1.79 AF/yr) represents approximately 0.1 percent of the groundwater in storage. The same calculations for the project site alone equates to 246 AF and 0.7 percent, respectively.
- Results from the water balance analysis indicate that approximately 1,595 AF/yr is available for groundwater recharge within the cumulative impact area. The existing and proposed groundwater use at the project site (1.79 AF/yr) represents approximately 0.1 percent of this annual groundwater recharge volume. The combined water use for both the on-site and off-site properties equates to approximately 0.5 percent (existing) and 0.6 percent (future), respectively. Similar water balance calculations for the project site alone indicate an estimated groundwater recharge volume of approximately 196 AF/yr. The corresponding percentage of the proposed groundwater use as compared to the estimated groundwater recharge volume equates to approximately 0.9 percent.
- The likelihood of on-site pumping causing drawdown interference in existing or future off-site water supply wells is considered low.
- The potential influence of existing or proposed on-site groundwater use on surface water flows in the South Fork Gualala River, if any, is considered to be diminimous in nature.

Based on the proposed water use and findings from the groundwater availability analysis, it is concluded that the proposed expansion will not have a significant impact on current and future groundwater availability at the project site, nor within the cumulative impact area under existing or foreseeable future use conditions. The annual groundwater supply requirement for the project site represents only a fraction of the groundwater in storage within both the cumulative impact area and the property, and the amount of potential groundwater recharge significantly exceeds the groundwater use demands for each of the scenarios evaluated. Since the estimated



groundwater recharge is one to two orders of magnitude greater than the demand calculated for the foreseeable future groundwater use scenario, the aquifer should be capable of meeting the groundwater supply requirement during periods of drought.

## **2.0 BACKGROUND INFORMATION**

### **2.1 Site Description**

Ratna Ling is located on two properties totaling 125 acres identified as Assessor's Parcel Nos. 109-230-018 and 024. A site plan illustrating the primary site features is presented as Figure 1 (Appendix A). As shown on Figure 1, Hauser Bridge Road trends north-south through the Ratna Ling property. The majority of the facility development is located on the east side of Hauser Bridge Road. This portion of the facility includes a main lodge, conference center, meditation hall, senior center (under construction), water treatment and storage facility, two sacred text treasuries, and miscellaneous cottages and remnant structures. The western portion of the facility, in turn, includes a press building, two sacred text treasuries, a small house, miscellaneous cabins and storage structures, and a 20 acre-foot (AF) reservoir associated with the facility's water management system. Other noteworthy features include four man-made ponds that were constructed sometime prior to 1983. The remaining non-developed portions of the property are comprised of dense timberland.

Water supply for the facility is derived from a combination of groundwater and surface water collection. Currently, seven wells (identified herein as Wells #1 through #5, #7 and #8) and a groundwater inceptor trench are operated as part of the groundwater supply component. The surface water component, in turn, is comprised of the reservoir and rainwater collected from the roof of the press building. All water utilized for domestic consumption is processed through a water treatment system that cleans the water to applicable primary and secondary drinking water standards prior to conveyance through the water distribution system. With the exception of groundwater that is derived from Well #8 (used to irrigate a garden near the press building) and the groundwater interceptor trench, all the remaining groundwater that is pumped is used exclusively for domestic water supply. Conversely, the surface water sources are used for domestic water supply, landscape/garden irrigation, and fire suppression. Please refer to Figure 2 (Appendix A) for the locations of the water supply components.

### **2.2 Proposed Expansion**

The proposed expansion of the facility will include construction of a new six-bedroom cottage, four new residential storage buildings, and restoring a seasonal campground for eight tent structures. In addition, the proposed Use Permit modification includes increasing the maximum occupancy on the site at any one given time from the existing 67 people per day to anywhere from 65 to 110 people per day, depending upon the time of year. The increased occupancy rates were established based on the existing water management system's capacity and its ability to maintain a neutral water balance under normal climatic conditions. Further details regarding this water balance are presented in Subsection 5.1 (*On-Site Water Use*) of this report.

### 2.3 Local Hydrogeology

A geologic map published by the California Geological Survey for the southern portion of the Gualala River watershed (Fuller et al., 2002) indicates that the project site area is underlain by marine siltstone associated with the Coastal Belt Franciscan Complex (Eocene to Early Cretaceous). Rock slide geomorphic features are also depicted in the northwest and southeast portions of the property. Wagner and Bortugno (1982) identify the area as being comprised of marine sandstone, shale and conglomerate associated with the Coastal Belt Franciscan Complex. Previous work performed at the property by E.H. Boudreau (1985) describes that most of the site is underlain by shaley mélange, with the southern portion being comprised of sandstone. The geology observed during EBA's site visit was generally consistent with Boudreau's findings. Please refer to Figure 3 (Appendix A) for a geologic map of the site vicinity as based on Fuller et al. (2002).

Consistent with the geology described above, the site's existing water supply wells are completed in Franciscan Formation materials. According to *Bulletin 118-4* (California Department of Water Resources [CDWR], 1982), Franciscan Formation materials generally produce water via secondary porosity features (i.e., fractures, faults, etc.) and typically exhibit specific yield characteristics of less than 3 percent. Yield characteristics are often seasonal, with higher yields occurring during the spring and lower yields occurring in the late summer-early fall. The conditions at the site generally simulate this pattern.

The South Fork Gualala River represents the primary surface water feature in proximity of the project site. As shown on Figures 2 and 3 (Appendix A), segments of the South Fork Gualala River are located east and north of the site at distances ranging from approximately 700 to 2,800 feet. The South Fork Gualala River flows from south to north and discharges into the Gualala River at a point approximately 16 miles northwest of the site.

### 2.4 Local Climate

According to the *County Wide Rainfall Map* prepared by the Sonoma County Water Agency (2005), the average annual rainfall at the location of the project site is approximately 58 inches per year. The mean annual potential evapotranspiration ( $ET_0$ ) for the area is estimated to be approximately 33 inches per year based on a *1999 Reference Evapotranspiration Map* prepared by the California Irrigation Management Information System (<http://www.cimis.water.ca.gov-etomap.jpg>). Local pan evaporation data for the area is not available. In the absence of such information, historical pan evaporation data published by CDWR (1979) for seven northern California Coastal Range weather stations (i.e., Warm Springs Dam, Coyote Dam, Ferndale, Butler Ranch, Covelo, Lake Pillsbury and Willow Creek) were averaged to calculate a pan evaporation rate for the project site of approximately 52 inches per year. This translates to an actual evaporation rate of approximately 37 inches per year based on a pan coefficient of 0.7.

### 3.0 RESEARCH

The following subsections provide a summary of the scope of research performed and the corresponding findings used to implement the hydrogeologic assessment. The scope of the research was developed to comply with the Policy WR-2e guidelines.

#### 3.1 Site Reconnaissance

EBA conducted a site reconnaissance of the property on November 7, 2012. The purpose of the site reconnaissance was to observe local geologic, hydrogeologic and topographic features, as well as to confirm the existing water management system components. Pertinent findings from this site visit are presented below. Please see Figures 2 and 3 (Appendix A) for the features referenced herein.

- As previously outlined in Subsection 2.3 (*Local Hydrogeology*), EBA found the site geology to be generally consistent with that previously described by Boudreau (1985), including the presence of shaley mélange throughout most of the property. Exposed sandstone units were observed in the southern portion of the site.
- An abandoned concrete spring box was observed on the hillside several hundred feet west of the Twin Ponds. The spring box was equipped with an old pump and pressure tank that were in disrepair. Water was present inside the spring box, but there was no evidence of flowing water or discharge.
- A spring or bog was observed further west and uphill from the abandoned concrete spring box. A second spring was also observed within a drainage approximately 150 feet east of the Twin Ponds.
- The reservoir was approximately 65 percent full (estimated). This translates to approximately 12.4 acre-feet (AF) of contained water. The remaining on-site ancillary ponds contained variable amounts of water.
- An interceptor trench system was observed on the south-southwest side of the reservoir. This system intercepts groundwater seepage on the upslope side of the reservoir. Groundwater intercepted by this system drains to a collection well on the west end of the trench, whereupon the water is pumped into the reservoir.
- Water supply wells #1, #2, #4 and #5 were currently in use for domestic water supply, while Well #8 was being used to irrigate the meditation garden near the press building. Well #7 was disabled at the time of the inspection due to a controller issue. Provisions are reportedly being made to repair the controller in order to bring Well #7 back on line. None of the groundwater pumped from the water supply wells is processed through the reservoir supply system.
- Areas equipped with dedicated irrigation systems include landscaping around the main lodge, conference center and meditation hall, as well as a garden area east of the reservoir. Water supply for this use is derived from the reservoir. Ratna Ling staff

indicated that a water truck will occasionally pump water from several of the ancillary ponds to irrigate miscellaneous trees/plants not encompassed by the dedicated irrigation systems. Other than this sporadic use, water retained in the ancillary ponds is not utilized for water supply as part of the site operations.

- The roof of the press building is equipped with a rain collection system to capture rainwater during precipitation events. This water is collected in a tank and subsequently pumped to the reservoir for water supply use. This represents the only building that is currently equipped with such a system.

As part of the site visit, EBA also performed a general reconnaissance of properties to the north and south of the site as could be viewed from Hauser Bridge Road and/or the property line. Observations revealed very rural properties with dense timberland and sparse development. These observations are generally consistent with aerial satellite images available on Google. The only potential water supply feature that was observed during the site reconnaissance was a polyethylene tank visible from Hauser Bridge Road on the south-adjacent parcel near the site's southern property boundary. However, the use of this tank could not be discerned. A dwelling on the south-adjacent parcel was also seen in the distance from the site's southern property boundary. While it can be presumed that this dwelling is serviced by a water supply well or spring box, the location of the water supply source could not be verified.

### **3.2 Water Well Drillers Reports (WWDRs)**

WWDRs maintained by CDWR were reviewed to obtain pertinent information for the area regarding water supply use, well completion depths, yields, etc. The scope of the CDWR research encompassed available records for wells located within Sections 21, 22, 27 and 28 of Township 9 North (T9N), Range 13 West (R13W), Mount Diablo Baseline and Meridian. The off-site search radius was set at approximately ½-mile of the project site property boundary as a means of obtaining available information representative of the local hydrogeologic conditions. The results of this research identified 20 water supply wells or boreholes, 16 of which corresponded to the project site. The following breakdown provides a summary of the well/borehole and water supply characteristics for both the on-site and off-site locations:

- *Number of Water Supply Wells:* 11
- *Number of Geotechnical Boreholes:* 3
- *Number of Dry Holes:* 6
- *Drilling Depths:*
  - Range: 45 to 320 feet below ground surface (BGS)
  - Average: 167 feet BGS
- *Well Completion Depths:*
  - Range: 45 to 284 feet BGS
  - Average: 135 feet BGS
- *Static Groundwater Levels (includes dry holes)*
  - Range: 9 to 244 feet BGS
  - Average: 88 feet BGS

- *Reported Yields (includes dry holes):*
  - Range: 0 to 25 gallons per minute (GPM)
  - Average: 5.4 GPM

As presented above, there were six documented cases of dry hole conditions. Each of these cases occurred on the site property. The borehole depths ranged from 62 to 244 feet BGS.

Overall, the lithologic descriptions recorded on the respective WWDRs are consistent with Franciscan Formation materials. In general, lithologic descriptions included mostly interbeds of shale and sandstone to varying degrees. In addition, references to "soft gray rock" and "hard gray rock" are recorded, which also likely corresponds to shale and greywacke (a type of sandstone) rock types, respectively. It is worth noting that one of the WWDRs for a property south of the site notes a significant thickness of sandstone, which is consistent with the sandstone observations observed by Boudreau (1985) and EBA in the southern portion of the site property.

### **3.3 Assessor's Parcel Maps**

County assessor's parcel maps for the area were reviewed to assist in identifying neighboring property boundaries and addresses. This information, in turn, was used to establish the number of properties within a ¼- to ½-mile search radius of the project site. Findings from this exercise identified eight properties ranging in size from approximately 40 to 500 acres. While it appears that the four off-site WWDRs identified as part of the CDWR file search likely coincide with these properties, only two could be confirmed based on the information provided on the WWDR. A review of County of Sonoma, Permit and Resource Management Department's (CS-PRMD's) online permit history reports and a file search for nearby WR-2e reports (see Subsection 3.6) revealed no additional well or well permit information for the identified properties.

### **3.4 Interviews**

EBA conducted an interview with Weeks Drilling & Pump Company (Weeks) to obtain a drilling contractor's insight on the local groundwater conditions. Weeks, which drilled a number of the boreholes and wells on the project site property, conveyed that the area is notorious for highly variable conditions and that such conditions are typical of the Franciscan Formation. Groundwater yields are commonly low and will vary seasonally. As for any potential changes in groundwater conditions that they might have observed over time, Weeks indicated that making such an assessment is difficult due to the noted unpredictability of the water-bearing properties from one location to another.

### **3.5 Zoning Information**

Zoning designation records maintained by CS-PRMD were reviewed for neighboring properties within the ¼- to ½-mile search radius to evaluate potential future uses and implications of the proposed project on future groundwater use in these areas. Findings from this research revealed that the project site itself, as well as two of the adjoining properties to the southwest and southeast are located within a Rural Residential District (RRD). This zoning designation is intended to provide protection of lands for various resources in areas designated for very low density residential development. The remaining six properties are designated as Timberland

Production (TP), which provides for timberland zoning and the conservation and protection of land capable of producing lumber and forest products.

With regard to zoning density, Combining Districts specifying residential density and/or minimum parcel or lot size for the parcels, lots and/or the area includes B6 districts which specify maximum permitted density limitations in the area of 160 to 240 acres.

### **3.6 Other WR-2e Reports**

EBA researched CS-PRMD's historical database and files for properties in the area that had subdivision projects, extra units or planning projects as a means of potentially identifying properties that may have been required to prepare a WR-2e report. No WR-2e reports were found as part of this exercise. However, Ratna Ling's records included a series of groundwater reports or letters prepared for the site by Boudreau (1985, 1999a, 1999b and 1999c) when the property was owned by others and identified as "Timberhill Ranch". Noteworthy information contained in these respective documents as it pertains to water supply is summarized below.

#### **January 7, 1985 Report**

Boudreau's initial investigation focused on the geology and groundwater supply characteristics at the site to evaluate the potential for increasing the summer water supply from 5 GPM to 15 or 20 GPM. A target daily or yearly water demand was not presented in the report. As a result of this investigation, Boudreau recommended the drilling of a new test well to a depth of 200 to 300 feet BGS. Since the existing water supply wells were all drilled within shaley mélange zones, it was recommended that the new test well target the massive sandstone unit in the south-southwest portion of the property. Also for consideration was the deepening of an existing well by another 100 feet or more based on the presence of sandstone at the well's existing completion depth.

#### **July 13, 1999 Letter**

The purpose of the study was to further evaluate the project site's groundwater potential to support the Timberhill Ranch's water supply demands. At the time of the study, water supply was needed to accommodate a maximum water use of 50 people per day. Six wells were being utilized at that time for water supply. While WWDRs reported yields ranging from 1 to 20 GPM for these wells based on "blow" tests, Boudreau expressed reservations based on the short duration of the tests and the time of year in which they were performed. Thus, it was recommended that longer pumping tests (i.e., 48 hours) be performed to obtain more accurate estimates of the well fields' production capabilities. It should be noted that it does not appear that the test well recommended as part of the above 1985 investigation was ever installed.

#### **August 21, 1999 Letter**

This letter summarized the results of a pumping test performed on Wells #2 and #3 (formally referenced by Boudreau as Wells #3 and #1, respectively) on August 15, 1999. Based on a water demand of 3,250 gallons per day (GPD)(i.e., 65 people at a unit usage rate of 50 GPD/person), Boudreau concluded that there is an adequate supply of groundwater for the present and proposed facilities.

### November 8, 1999 Letter

In this letter, Boudreau simply reiterates the conclusions presented in his August 21, 1999 letter that there should be no shortage of water based on the proposed water use. He further states that there should be no adverse impact on wells on neighboring properties.

### **3.7 Documentation of Expended Effort**

Approximately 160 hours have been expended in identifying existing wells within the area of interest, as well as other pertinent information with respect to the local hydrogeologic conditions, determination of aquifer characteristics, and evaluation of the water management system. This estimate reflects the cumulative time expended by EBA in researching the information (i.e., site reconnaissance, literature searches, interviews, and telephone calls) and performance of various calculations and modeling.

## **4.0 CUMULATIVE IMPACT AREA**

The definition of "cumulative impact area" corresponds to the change in a specific area resulting from the incremental impact of the project when added to other closely related past, present, and reasonably foreseeable future projects. Based on this criterion, existing and future site development characteristics and zoning designations for surrounding properties were considered, coupled with the site hydrogeology and the nature of the proposed expansion, to estimate the cumulative impact area for the proposed project.

An important consideration in establishing the cumulative impact area for this project is the local topography and hydrogeology. Since the site is located at the crest of a topographic ridge line, the cumulative impact area can be projected radially outward from the property. With that said, the South Fork Gualala River is located anywhere from 700 to 2,800 feet east and north of the site and serves as a hydrologic boundary feature, thereby defining the cumulative impact area in these directions. Similarly, the tributary west of the site that flows northward and discharges to the South Fork Gualala River defines the western cumulative impact area boundary. Finally, due to the absence any prominent topographic or hydrogeologic features south of the site, the cumulative impact area boundary in this direction was conservatively set at a distance of ¼-mile from the southern property line. Please refer to Figure 2 (Appendix A) for an illustration of the established cumulative impact area as defined above. Based on the stated boundary designations, the overall size of the cumulative impact area is approximately 903 acres and encompasses nine properties (including the project site).

## **5.0 SUMMARY OF EXISTING / PROJECTED GROUNDWATER USE**

The following subsections provide a general synopsis of both the existing and projected water uses (including groundwater) associated with the proposed development, as well as estimates of the off-site groundwater use on adjoining and nearby properties located within the cumulative impact area.

## 5.1 On-Site Water Use

### Existing

The existing water use at the project site was based on data maintained by Ratna Ling over the period of 2010 through 2012. Ratna Ling utilizes a computer-controlled software system (Supervisory Control and Data Acquisition [SCADA] System) to measure and monitor water use at the facility. The primary water demand uses include domestic water supply, garden and landscape irrigation, and fire suppression. A breakdown of the respective water uses is summarized as follows:

- *Domestic Water Supply:* 2.78 acre-feet per year (AF/yr)
- *Garden and Landscape Irrigation:* 1.33 AF/yr
- *Fire Suppression Testing:* 0.09 AF/yr
- *Incidental Losses in Distribution Lines:* 0.06 AF/yr

Based on the data outlined above, the existing annual water use at the project site equates to 4.26 AF/yr. Of this demand, a total of 1.79 AF/yr is derived from groundwater based on the following breakdown: 1) 1.47 AF/yr from the on-site water supply wells that is used for domestic water supply; 2) 0.22 AF/yr from the groundwater interceptor trench that is diverted to the reservoir; and 3) 0.11 AF/yr from Well #8 that is used to irrigate the garden near the press building. The water supply wells are operated from June through October, whereupon their use is suspended during the rainy season to allow for recovery. The groundwater interceptor trench is operated year-round. Treated surface water is used to supplement the remainder of the domestic water demands, as well as for irrigation and fire suppression.

### Future

The future water demand for domestic supply will increase due to the higher occupancy being requested as part of the Use Permit modification. As previously noted, the increased occupancy rates were established based on the existing water management system's capacity and its ability to maintain a neutral water balance under normal climatic conditions. In this regard, the domestic water supply demand is based on the following occupancy rates (including staff and guests):

- *January and February:* 65 people per day
- *March through May:* 70 people per day
- *June through August:* 110 people per day
- *September:* 90 people per day
- *October and November:* 70 people per day
- *December:* 65 people per day

Data collected during the 2011 and 2012 calendar years indicate a unit water usage rate of 50 GPD per person for both staff and guests. Additional incidental losses (assume 10 percent increase) can also be assumed due to extension of the water distribution system. Any water uses associated with the new 6-bedroom cottage and seasonal campground is accounted for by the increased occupancy figures. There are no proposed changes to the irrigation and fire



suppression uses. A breakdown of the revised water estimates for the future operations is summarized as follows:

- *Domestic Water Supply:* 4.80 AF/yr
- *Garden and Landscape Irrigation:* 1.33 AF/yr
- *Fire Suppression Testing:* 0.09 AF/yr
- *Incidental Losses in Distribution Lines:* 0.07 AF/yr

According to the aforementioned adjustments, the future annual water use at the project site upon implementing the proposed modifications equates to 6.29 AF/yr. This represents a 2.03 AF/yr increase from the existing water demands, which will be derived solely from surface water stored in the reservoir. No additional groundwater will be pumped to supplement the increased water demand and the overall groundwater production and management will remain consistent with the existing operating protocols.

### Reservoir Analysis

In light of the projected water demand increase and the reliance on reservoir storage to supplement the increase, a water balance analysis was performed for the reservoir to verify whether it is capable of meeting the water demands during a normal precipitation year. The water balance analysis entailed calculation of the various water inputs and outputs associated with the reservoir and modeling the corresponding water level over the course of an entire calendar year. The water inputs included: direct rainfall onto the reservoir; contributions from the groundwater interceptor trench; rainwater collected from the roof of the press building; and residual process water associated with the domestic groundwater treatment system. The water outputs, in turn, included: evaporation from the reservoir surface; domestic water use; landscape irrigation; fire system testing; and incidental losses within the water distribution system. The normal climate condition scenario used annual rainfall and actual evaporation rates of approximately 58 and 37 inches, respectively (see Subsection 2.4 [*Local Climate*]).

A spreadsheet summarizing the results of the water balance analysis is enclosed in Appendix B. As presented in the spreadsheet, the baseline elevation in the reservoir was designated at 1,090 feet mean sea level (MSL). This corresponds to the estimated water level elevation in the reservoir at the time of EBA's November 7, 2012 site reconnaissance. This elevation is considered to represent a reasonable baseline as the date generally corresponds to the beginning of the rainy season (i.e., November). In fact, this baseline elevation is likely conservatively low in light of the below normal precipitation year that occurred in 2011-2012. Under a normal precipitation year, the resulting water level elevation over one complete hydrologic cycle is modeled to be 1,089.9 feet MSL, which is comparable to the baseline elevation of 1,090 feet MSL. Thus, the water balance in the reservoir can be considered essentially neutral for this scenario, thereby demonstrating that the water management system can adequately accommodate the proposed occupancy rates under normal conditions. In the event of a drought year(s), it is EBA's understanding that Ratna Ling is volunteering for a Condition of Approval for reduced occupancy once drought conditions have been identified. Based on historical rainfall data, annual rainfall during drought years equates to approximately 29 inches, with approximately 75 percent of the rainfall (22 inches) occurring between the months of November and March. Thus,

if less than 22 inches of rainfall occurs prior to April 1 of the calendar year, the reduced occupancy provisions will be implemented accordingly.

## **5.2 Off-Site Groundwater Use**

### **Existing**

The cumulative impact area established for this project encompasses eight off-site properties. While WWDRs were identified for only four of these properties, it is conservatively assumed herein from a water use perspective that each property has a 3-bedroom, single-family dwelling unit with a corresponding domestic and incidental water use of 0.75 AF/yr (i.e., 0.25 AF/yr per bedroom) per dwelling. This translates to an existing annual groundwater use of 6.0 AF/yr for the off-site properties located within the cumulative impact area.

### **Future**

In regards to future water use, only one of the off-site properties has a maximum permitted density that would allow the property to be further divided into two additional parcels (three total) under the current zoning designation. This would potentially allow for two additional single-family dwelling units at a combined water use of 1.5 AF/yr. Thus, the overall future annual groundwater use for off-site properties located within the cumulative impact area equates to 7.5 AF/yr.

## **6.0 GROUNDWATER AVAILABILITY ANALYSIS**

As outlined in the introduction of this report, the primary objectives of the groundwater availability analysis were to evaluate whether there are adequate existing and future groundwater supplies to accommodate the proposed expansion and to estimate the effects of drawdown within the designated cumulative impact area. The following subsections address each of these issues.

### **6.1 Water Supply Capabilities**

#### **Groundwater Storage Capacity**

The storage capacity for the cumulative impact area was estimated by multiplying the volume of the aquifer by its specific yield. In this regard, the cumulative impact area encompasses approximately 903 acres. As for aquifer thickness, the average static groundwater level in the area (including "dry" holes) based on WWDR information equates to approximately 88 feet BGS. The maximum aquifer depth, in turn, was set at 284 feet BGS, which coincides with the deepest water supply well on the project site. This equates to an aquifer thickness of 196 feet. Finally, one percent was assumed for the aquifer's specific yield or secondary porosity volume. Using this information, the storage capacity for the aquifer was calculated by multiplying the respective variables. The corresponding results indicate a storage capacity of 1,770 AF for the entire cumulative impact area. Conversely, the aquifer storage capacity within the project site's property boundary (125.34 acres) equates to 246 AF.

As presented in Subsection 5.1 (*On-Site Water Use*), the groundwater supply requirement for the future project operations is 1.79 AF/yr. This estimated annual groundwater supply requirement represents approximately 0.1 and 0.7 percent of the groundwater in storage within the cumulative impact area and beneath the site, respectively.

### Water Balance

A general estimate of water balance was determined by comparing groundwater recharge characteristics to the projected on-site groundwater use. In this regard, the groundwater recharge estimate for the cumulative impact area was calculated by assuming that precipitation represents the primary source of potential inflow into the underlying aquifer, and run-off and evapotranspiration represent the primary outflow variables. Whereas other secondary sources of inflow (i.e., groundwater inflow from upgradient boundaries, recharge from irrigation, etc.) and outflow (i.e., groundwater outflow along downgradient boundaries, discharge from surface springs, etc.) contribute to the overall groundwater recharge characteristics, these secondary sources were assumed to be relatively equal, resulting in no net gain or loss. Based on this approach, the following equation was used to calculate potential groundwater recharge:

$$\text{Groundwater Recharge} = P - (R + ET_a)$$

where "P" is equal to precipitation (in AF/yr), "R" is equal to run-off (in AF/yr), and "ET<sub>a</sub>" is equal to actual evapotranspiration (in AF/yr). Details regarding the calculation of each of these variables are presented below. Please note that the reservoir area (1.5 acres) was subtracted from the following calculations as rainwater that falls within the reservoir footprint is not available for potential recharge. Furthermore, it is assumed that no infiltration losses occur from the base of the reservoir and the other on-site ancillary ponds. This assumption is conservative in that some degree of infiltration likely occurs that would otherwise increase the groundwater recharge potential for the project site as calculated herein.

#### *Precipitation (P)*

The total volume of precipitation that falls within the cumulative impact area was calculated by multiplying the annual precipitation rate (58 inches per year) by the size of the cumulative impact area (901.5 acres). This equates to a total precipitation volume within the cumulative impact area of approximately 4,357 AF/yr.

#### *Run-off (R)*

The percentage of the total precipitation that results as outflow (i.e., run-off) was estimated by comparing the ground slopes within the cumulative impact area to type curves for various surfaces, including buildings/roads, ¼-acre residential lots (miscellaneous developed areas within the Ratna Ling facility) and vegetated surfaces (Sonoma County Water Agency, 1983). The breakdown of slope conditions included 5 percent slopes (109 acres), 10 percent slopes (21.5 acres), 15 percent slopes (15 acres) and 20 percent slopes (756 acres). The corresponding run-off coefficients (i.e., percent of precipitation that results as run-off) used for the various conditions ranged from 0.35 and 0.90. These run-off coefficients were multiplied by the percentage of the annual precipitation volume that falls within each area to determine the annual

outflow run-off volume. The corresponding results reveal an annual run-off volume from the cumulative impact area of 1,944 AF/yr.

### *Actual Evapotranspiration (ET<sub>a</sub>)*

As previously noted in Subsection 2.4 (*Local Climate*), the mean annual potential evapotranspiration (ET<sub>o</sub>) for the area is estimated to be 33 inches per year, which translates to a total ET<sub>o</sub> volume of approximately 2,479 AF/yr within the cumulative impact area. Using an ET<sub>a</sub> conversion factor of 0.33 to account for periods when soil moisture is below field capacity and plants are in dormancy, the corresponding annual ET<sub>a</sub> volume for the site is approximately 818 AF/yr. Please note that the aforementioned ET<sub>a</sub> conversion factor is based on a USGS study conducted for the Alexander Valley region (Metzger et. al., 2006). In the absence of any site-specific evapotranspiration data for the project site, the same conversion factor has been assumed for the purpose of this analysis.

Using each of the calculated values in the "Groundwater Recharge" equation, the corresponding estimated volume of water available for groundwater recharge is approximately 1,595 AF/yr. Based on the estimated groundwater supply requirement for the proposed development of 1.79 AF/yr, the proposed groundwater use represents approximately 0.1 percent of the estimated annual groundwater recharge volume within the cumulative impact area. The combined groundwater use, in turn, for both the on-site (proposed) and off-site (existing) properties equates to approximately 0.5 percent of the estimated groundwater recharge volume. Finally, the potential future groundwater use in the event the off-site properties within the cumulative impact area are fully subdivided and developed combined with the proposed on-site use equates to approximately 0.6 percent of the estimated groundwater recharge volume.

Similar water balance calculations as outlined above were performed for the project site alone. The results from these calculations indicate an estimated groundwater recharge volume of approximately 196 AF/yr. The corresponding percentage of the proposed groundwater use as compared to the estimated groundwater recharge volume equates to approximately 0.9 percent.

## **6.2 Drawdown Characteristics**

Due to the highly variable and fractured controlled nature of the underlying aquifer, no definitive projections are provided for drawdown characteristics associated with the project site's pumping operations. Whereas pumping in unconsolidated or poorly consolidated alluvial or bedrock aquifers will typically induce radially-shaped cone-of-depressions, a more linear or unidirectional flow pattern will often occur in more competent bedrock aquifers dominated by fracture flow. In cases of high fracture heterogeneity, drawdown can occur over great distances along the trace of the fracture(s), with little or no drawdown in directions perpendicular or discordant to the fracture trace. Such conditions have been exhibited at the project site based on the occurrence of "dry holes" located in close proximity to producing wells. With that said, the likelihood of on-site pumping causing drawdown interference in existing or future off-site water supply wells is considered low based on the substantial size and minimal development of the neighboring properties, coupled with the inherent variability that significantly reduces the odds of such an occurrence. Furthermore, as previously noted, there are no proposed changes to groundwater pumping volumes at the project site, which will result in no appreciable changes in groundwater conditions historically observed in the area.

### 6.3 Conclusions

Based on the proposed water use and the estimates presented herein, it is concluded that the proposed expansion will not have a significant impact on current and future groundwater availability at the project site, nor within the cumulative impact area under existing or foreseeable future use conditions. As presented earlier, the existing and projected groundwater supply requirement for the proposed expansion represents only 0.1 percent of the groundwater in storage within the cumulative impact area, and only 0.9 percent within the project site alone. Furthermore, the amount of potential groundwater recharge significantly exceeds the groundwater use demands for each of the scenarios evaluated. Since the estimated groundwater recharge is one to two orders of magnitude greater than the demand calculated for the foreseeable future groundwater use scenario, the aquifer should be capable of meeting the groundwater supply requirement during periods of drought.

Additional data supporting the above conclusions are the observed recovery of groundwater levels during the winter and early spring period when the water supply wells are not utilized. The following presents the groundwater levels measured in Wells #1, #2, #4 and #5 during the Fall 2011 and Spring 2012:

- *Well #1:* 88.2 versus 9.8 feet BGS
- *Well #2:* 73.4 versus 0.9 feet BGS
- *Well #4:* 139.3 versus 23.6 feet BGS
- *Well #5:* 59.3 versus 12.2 feet BGS

As demonstrated above, each of the wells exhibited significant recovery during the 2011-2012 rainy season, which actually represented a below normal precipitation year. As such, there is no discernable evidence that the groundwater extraction operations are permanently exhausting the groundwater supply, nor are there any indications that the surface water collection features associated with Ratna Ling's water management system are hindering groundwater recharge. While there are seasonal limitations with the existing extraction well network (i.e., groundwater yields decline during the late summer-early fall), full replenishment of the aquifer appears to occur during the rainy season, thereby providing a reasonable balance.

### 7.0 SURFACE WATER / AQUATIC HABITAT

Policy WR-2e requires that the scope of the groundwater assessment encompass potential impacts to surface waters and aquatic habitats. In this regard, the primary surface water feature corresponds to segments of the South Fork Gualala River, which are located east and north of the project site's water supply wells at distances ranging from approximately 1,600 to 3,800 feet. Considering the substantial setback from the river, the marginal yield characteristics of the underlying aquifer, and the minor groundwater use as compared to the surrounding watershed area, it is estimated that the potential influence of the existing and proposed on-site groundwater use on surface water flows in the South Fork Gualala River, if any, is diminimous in nature.


## 8.0 LIMITATIONS

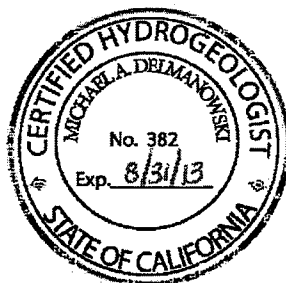
This report was prepared in accordance with generally accepted standards of professional hydrogeologic consulting principles and practices at the place and time this study was performed. This warranty is in lieu of all other warranties, either expressed or implied. The conclusions presented herein are based solely on information made available to us by others, and includes professional interpretations based on limited research and data. Based on these circumstances, the decision to conduct additional investigative work to substantiate the findings and conclusions presented herein is the sole responsibility of the Client. This report has been prepared solely for the Client and any reliance on this report by third parties shall be at such party's sole risk.

## 9.0 CLOSING

EBA appreciates the opportunity to be of service to you on this project. If you should have any questions regarding the information contained herein, please do not hesitate to contact our office at (707) 544-0784.

Sincerely,  
**EBA ENGINEERING**

  
Mike Delmanowski, P.G., C.E.G., C.Hg.  
Senior Hydrogeologist



Appendices: Appendix A - Figures  
Appendix B - Reservoir Water Balance Analysis

## 10.0 REFERENCES

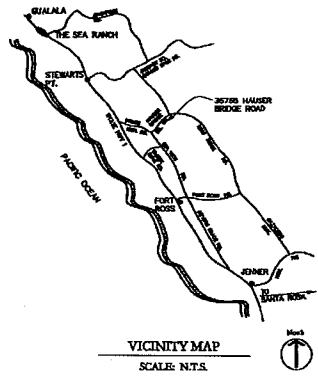
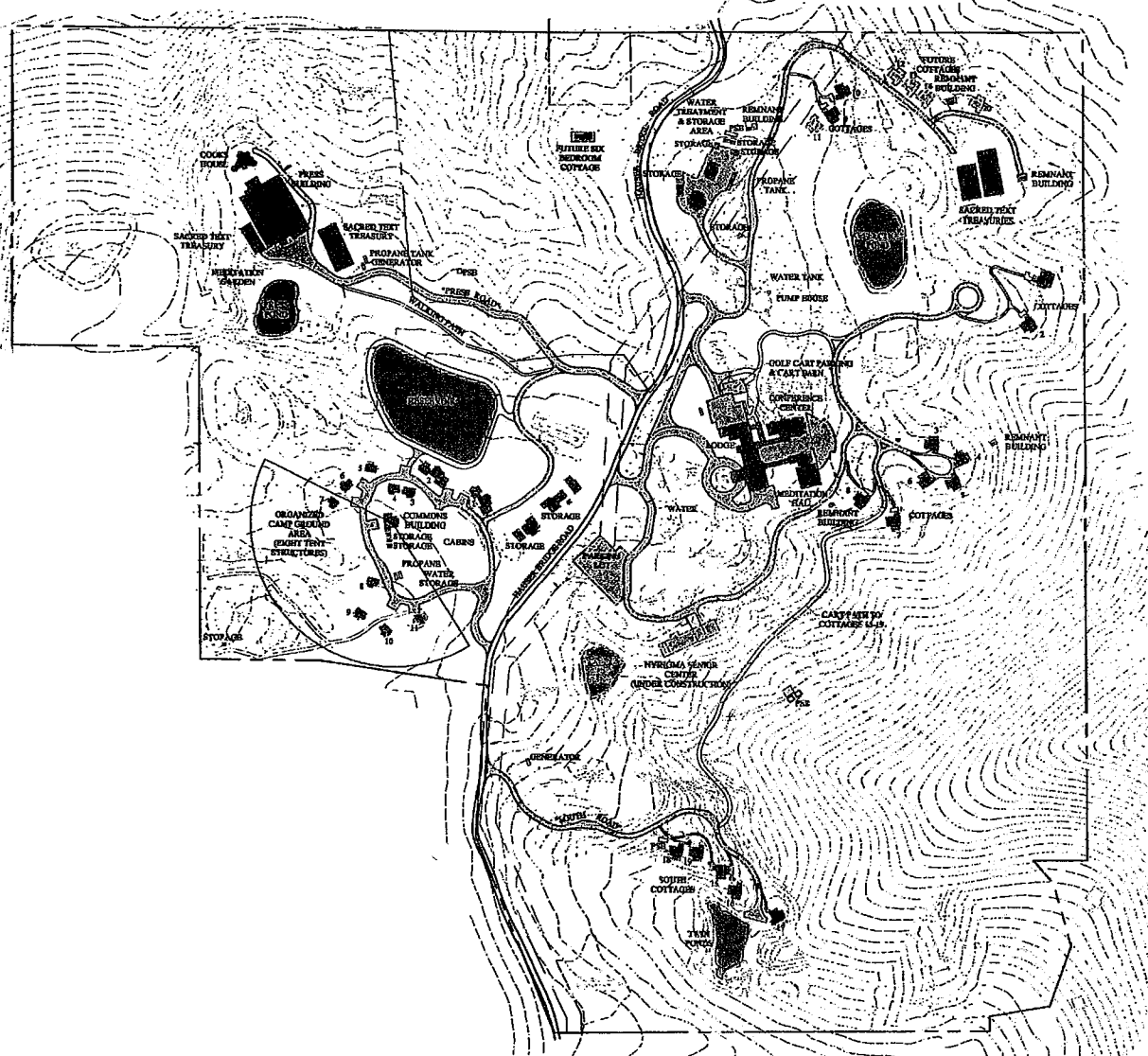
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**APPENDIX A**

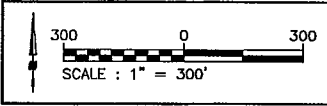
**FIGURES**



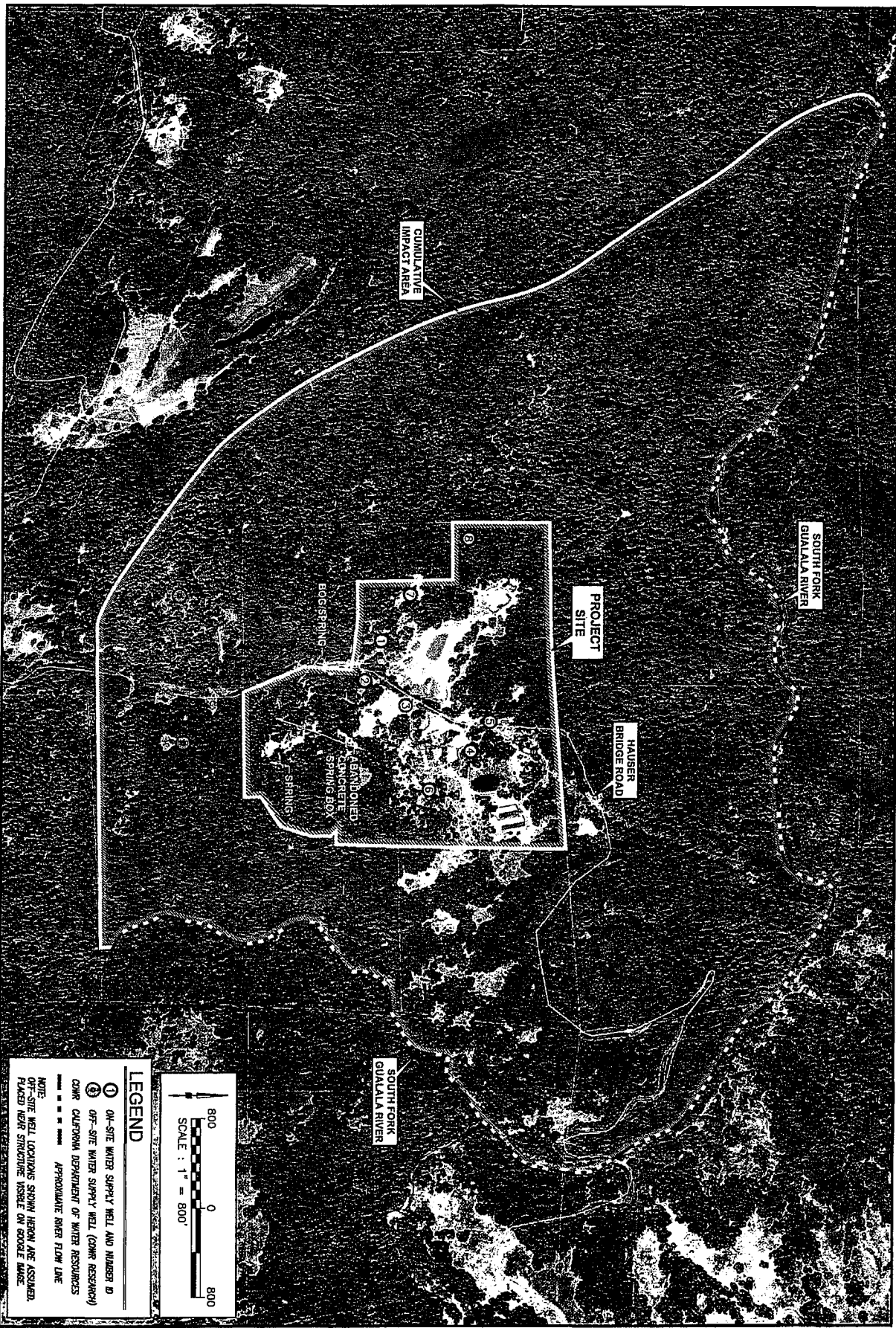
**SITE PLAN**  
RATNA LING BUDDHIST RETREAT CENTER  
35755 AND 36000 HAUSER BRIDGE ROAD  
CAZADERO, CALIFORNIA



- LEGEND**
- EXISTING ROAD / DRIVEWAY
  - EXISTING STRUCTURE
  - STRUCTURE CURRENTLY UNDER CONSTRUCTION
  - PROPOSED STRUCTURE
  - POTENTIAL STORAGE BUILDING



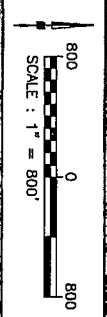
SOURCE: SHERWOOD DESIGN ENGINEERS, 2011 (MODIFIED)



**LEGEND**

① ON-SITE WATER SUPPLY WELL AND NUMBER ID  
 ② OFF-SITE WATER SUPPLY WELL (CONR RESEARCH)  
 CONR CALIFORNIA DEPARTMENT OF WATER RESOURCES  
 APPROXIMATE RIVER FLOW LINE

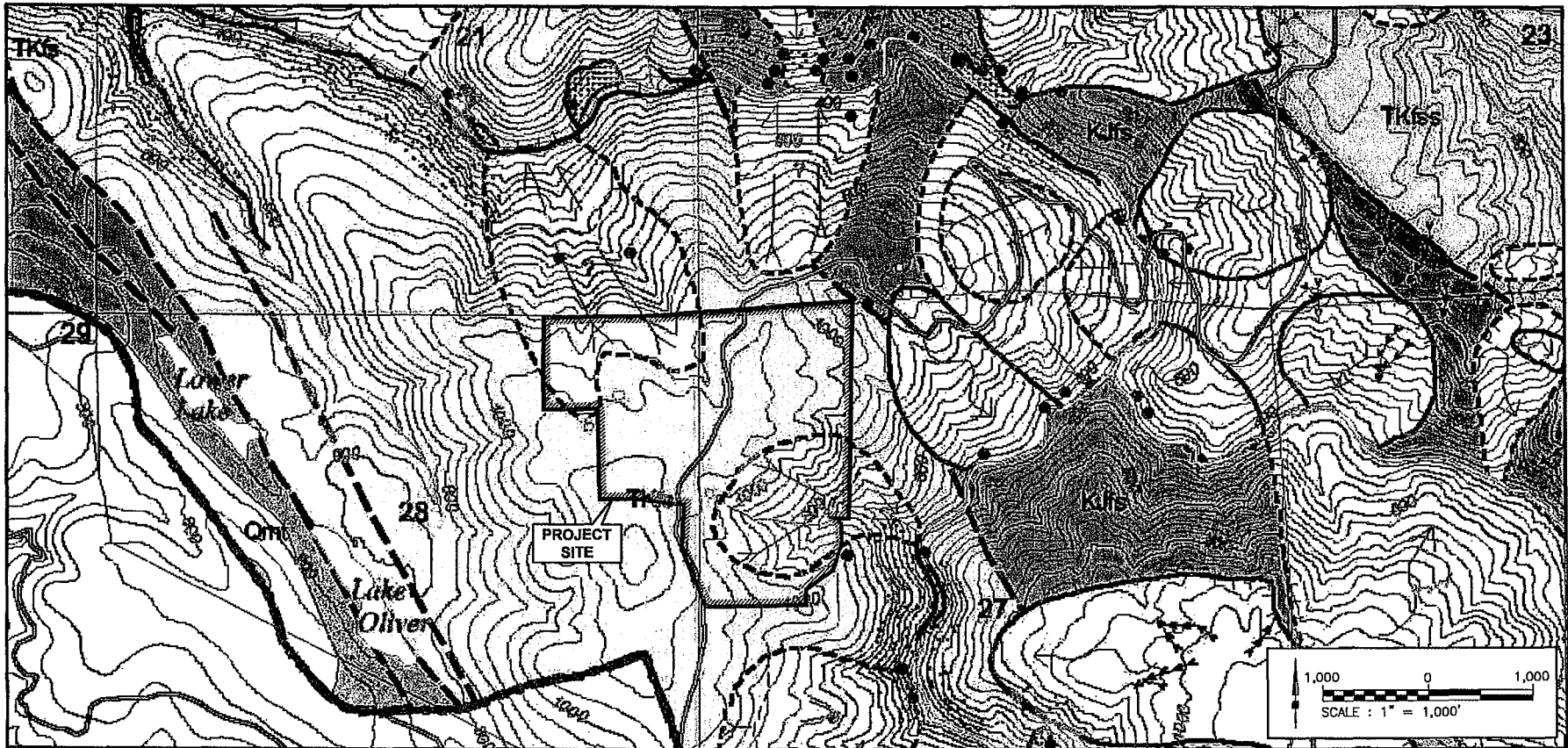
NOTE: OFF-SITE WELL LOCATIONS SHOWN HEREON ARE ASSUMED PLACED NEAR STRUCTURE BASED ON GOOGLE EARTH.



**CUMULATIVE IMPACT AREA**

RATNA LING BUDDHIST RETREAT CENTER  
 35755 AND 36000 HAUSER BRIDGE ROAD  
 CAZADERO, CALIFORNIA

FIGURE  
**2**  
 12-1880



**LEGEND**

**SURFICIAL DEPOSITS (HOLOCENE-PLEISTOCENE)**

**Qmt** Marine terrace deposits

**UNDIFFERENTIATED FRANCISCAN COMPLEX (CRETACEOUS)**

**Serpentinite**

**COASTAL BELT FRANCISCAN, INCLUDES COASTAL TERRANE (Eocene-Early Cretaceous)**

**TKfs** Coastal Belt Franciscan - marine sandstone

**TKis** Coastal Belt Franciscan - marine siltstone

**CENTRAL BELT FRANCISCAN, INCLUDES CENTRAL TERRANE (CRETACEOUS)**

**TKcs** Undifferentiated Central Belt Franciscan - siltstone

**MAP SYMBOLS**



**ROCK SLIDE:** Slope movement with bedrock as its primary source material. This class of failure includes rotational and translational landslides, relatively cohesive slide masses with failure planes that are deep-seated in comparison to debris slides or similar steep slides. The slide plane is curved in a rotational slide. Movement along a planar joint or bedding surface may be referred to as translational. Complications with combinations of rotational heads and translational movement or earthflows downslope are common. "Y" indicates a scarp; arrows show direction of movement; queried where the presence of the slide is uncertain; boundary is solid where historically active, dashed where dormant, queried where uncertain.



**DEBRIS SLIDE:** Mass of unconsolidated rock, colluvium, and coarse-grained soil that has moved slowly to rapidly downslope along a relatively steep, shallow, translational failure plane. Debris slides form steep, unvegetated scars in the head region and possibly irregular, hummocky deposits in the toe region. Scars commonly trail and result in unvegetated furrows across the slope depending on slope aspect. Queried where the presence of the slide is uncertain. Boundary is solid where historically active, queried where uncertain.

**SMALL LANDSLIDE:** Landslide too small to delineate at 1:24,000 scale (typically less than 1/8 acre in area or less than 150 feet in length).

**GULLY:** Distinct, narrow channels formed by erosion of soil or soft rock material by running water. Channels are larger and deeper than rills and usually carry water only during and immediately after heavy rain or following the melting of ice or snow. Arrows point downhill; line is queried where uncertain.

**Lithologic Contact:** Solid where location is certain, dashed where approximately located or inferred, dotted where concealed, and queried where continuation or existence is uncertain.

**Fault:** Solid where location is certain, dashed where approximately located or inferred, dotted where concealed, and queried where continuation or existence is uncertain.

**Lineament:** Linear feature of unknown origin noted on aerial photographs.

(SOURCE: Michael S. Fuller, CEG, Wayne D. Hayden, CEG, Michael G. Purchell, RG and Kit Custis, CEG, CHG, 2002)

FIGURE  
3  
12-1980

**GEOLOGIC MAP**  
RATNA LING BUDDHIST RETREAT CENTER  
35755 AND 36000 HAUSER BRIDGE ROAD  
CAZADERO, CALIFORNIA



**APPENDIX B**  
**RESERVOIR WATER BALANCE**  
**ANALYSIS**

RESERVOIR WATER BALANCE ANALYSIS  
 RATNA LING BUDDHIST RETREAT CENTER

Month	WATER TO RESERVOIR					WATER USAGE							RESERVOIR STORAGE				
	Average Precip. Monthly	Rainfall onto Reservoir	Water from Groundwater Interceptor Trench	Water from Press Building Rain Collection System	Water from Groundwater Treatment Discharge	Evaporation	Reservoir Surface Evaporation	Domestic	Garden Irrigation	Lodge Irrigation	Manual Irrigation	Fire System Testing	Incidental Losses	Volume of Water to Reservoir	Storage Volume of Reservoir	Water Surface Elevation	Water Surface Area
	(Inches)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(Inches)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(feet)	(square feet)
Initial	-	-	-	-	-	-	-	-	-	-	-	-	-	-	538,738	1,090.0	50,472
Nov	7.86	37,743	829	9,867	0	0.95	3,991	14,037	0	0	0	0	244	30,167	568,905	1,090.6	52,152
Dec	9.87	47,109	749	12,315	0	0.53	2,395	13,469	0	0	0	0	244	44,064	612,969	1,091.4	54,581
Jan	11.95	57,395	829	15,005	0	0.68	3,080	13,469	0	0	0	0	244	56,435	669,404	1,092.4	57,399
Feb	10.03	48,190	802	12,598	0	0.94	4,520	12,166	0	0	0	0	244	44,662	714,066	1,093.2	59,700
Mar	8.07	38,778	829	10,138	0	1.88	9,362	14,505	0	0	0	0	244	25,633	739,699	1,093.6	60,472
Apr	3.71	17,807	802	4,655	0	2.85	14,384	14,037	0	0	0	0	244	-5,401	734,297	1,093.5	60,312
May	1.73	8,284	829	2,166	0	4.52	22,716	14,505	0	0	0	3,880	244	-30,066	704,231	1,092.0	59,394
Jun	0.53	2,537	829	663	5,515	3.47	27,066	0	4,221	5,811	674	0	244	-28,473	675,758	1,092.5	57,725
Jul	0.12	566	802	148	5,699	6.62	31,836	0	4,221	5,811	674	0	244	-35,572	640,187	1,091.9	56,061
Aug	0.18	859	829	225	1,593	1.65	26,412	16,420	4,221	5,811	674	0	244	-50,276	589,910	1,091.0	53,306
Sep	0.89	4,293	802	1,122	0	4.23	18,783	18,048	4,221	5,811	674	0	244	-41,564	548,346	1,090.2	51,010
Oct	3.12	14,984	829	3,917	0	2.27	9,640	14,505	4,221	5,811	674	0	244	-15,365	532,980	1,089.9	50,140
Totals:	58.00	278,544	9,739	72,819	12,807	36.61	174,185	145,164	21,104	29,057	3,369	3,880	2,928				

Assumptions:

- 1) Starting water surface elevation and capacity based on field observations - 11/7/2012
- 2) Reservoir capacity when full is 825,195 cubic feet

net = 2.38 ac-ft/yr



March 26, 2013

Ms. Tina Wallis  
Clement, Fitzpatrick & Kenworthy  
3333 Mendocino Avenue, Suite 200  
Santa Rosa, CA 95403-2233

**RE: RESPONSE TO KAMMAN HYDROLOGY LETTER  
RATNA LING BUDDHIST RETREAT CENTER  
35755 AND 36000 HAUSER BRIDGE ROAD, CAZADERO, CA  
EBA JOB No. 12-1880**

Dear Ms. Wallis:

EBA Engineering (EBA) has prepared this letter to respond to comments pertaining to potential hydrology issues at the Ratna Ling Buddhist Retreat Center (Ratna Ling) as outlined in a letter prepared by Kamman Hydrology & Engineering, Inc. (Kamman) dated April 4, 2012. Kamman reports the potential for significant hydrologic impacts to the environment resulting from groundwater extraction and surface water collection provisions either currently implemented or proposed as a means to provide domestic and irrigation water supply for the Ratna Ling facility. The primary bases for Kamman's position corresponds to Ratna Ling's location within a groundwater scarce area (according to the Resource Conservation Element of the Sonoma County General Plan [SCGP]) and a reduction in surface water run-off, which could reduce groundwater recharge and surface water contributions to the South Fork Gualala River. This submittal has been prepared to address these issues.

Prior to the preparation of this submittal, EBA conducted a groundwater availability study in accordance with requirements set forth in Policy WR-2e of the SCGP. The primary purpose of the study was to evaluate the affects of groundwater use to supplement a portion of the water supply needed to accommodate Ratna Ling's proposed expansion plans. The study also evaluated whether Ratna Ling's existing water management system, which includes the use of both groundwater and surface water, is capable of meeting the proposed water supply demands under normal rainfall and drought conditions. The scope of work performed included: a site visit to develop an understanding of existing site operations and conditions; research of Water Well Drillers Reports (WWDRs), property uses and zoning for the area; delineation of the potential cumulative impact area; determination of existing and future water demands for Ratna Ling and off-site properties; and water availability and water balance characteristics. The

*L:\project\1880\Response Letter 03.26.13.doc*

825 Sonoma Avenue, Suite C • Santa Rosa, California 95404  
(707) 544-0784 • FAX (707) 544-0866 • [www.ebagroup.com](http://www.ebagroup.com)

corresponding findings are summarized in EBA's *Geologic Report for General Plan Policy WR-2e (Geologic Report)* dated March 26, 2013 (EBA, 2013). The findings from that study provide the primary basis for responding to the Kaman letter.

## RESPONSE TO COMMENTS

Water availability and water balance characteristics are presented below as a means of evaluating whether the issues outlined in Kamman's letter are supported by the site-specific conditions and operations. Also provided herein are responses to miscellaneous topics presented in the letter.

### Water Availability

The Ratna Ling property is located within an area identified by County of Sonoma, Permit and Resource Management Department (PRMD) as having low or highly variable water yield characteristics (Zone 4). Variable water yield characteristics are present at the Ratna Ling property as demonstrated by the "dry" hole conditions encountered on occasion as part of previous drilling activities. Such conditions are not uncommon for the Franciscan Formation, which generally produces water via secondary porosity features (i.e., fractures, faults, etc.) and typically exhibits specific yield characteristics of less than 3 percent (California Department of Water Resources, 1982). Yield characteristics are often seasonal, with higher yields occurring during the spring and lower yields occurring in the late summer-early fall. The conditions at the project site generally follow this pattern.

One of the primary variables influencing a sustainable groundwater supply is the aquifer storage capacity; i.e., how much groundwater is available. Based on the WWDR information, the average static groundwater level in the area (including "dry" holes ) equates to approximately 88 feet below ground surface (BGS). Assuming a maximum aquifer depth of 284 feet BGS and a secondary porosity volume of one percent, the corresponding aquifer storage capacity beneath the site is approximately 246 acre-feet (AF). This capacity significantly exceeds the existing and future groundwater use of 1.79 acre-feet per year (AF/yr). Thus, the aquifer storage characteristics should be sufficient to accommodate the site demands.

Whereas the groundwater produced from the existing water well network is not sufficient to support the overall water demand, it is important to emphasize that this constraint is not necessarily a function of limited aquifer storage characteristics. As outlined in previous groundwater assessments performed at the project site by J.H. Boudreau (1985 and 1999), although the existing water supply wells are completed within mélange formation materials that are inherently poor producers, there is ample space available on the property to expand the system if desired, particularly in the southern portion of the property that offers more favorable conditions based on the presence of sandstone units. However, due to the noted aquifer variability and the associated costs for new well installations, Ratna Ling has elected to subsidize their water needs by using on-site surface water resources as a means of minimizing their risk. This approach is considered by EBA to represent a reasonable and practical solution for meeting their water supply demands.

## Water Balance

The water balance analysis performed by EBA for the project site for a normal precipitation year was compared to the findings presented by Kamman. The four (4) variables of the water balance analysis include precipitation, run-off, evapotranspiration and groundwater extraction. Precipitation represents the primary input variable (recharge), whereas run-off, evapotranspiration and groundwater extraction represent the primary output variables (discharge). In this regard, EBA utilized different values for run-off and evapotranspiration as compared to Kamman. The bases for these differences are as follows:

- EBA calculated run-off (weighted average of 28 inches per year [in/yr]) based on site-specific features using Rational Method C-coefficients (i.e., paving, roofs, vegetated surfaces, etc.) and topographic slopes, whereas Kamman's value (32 in/yr) is based on a more generalized approach that uses regional data. Site-specific characteristics have a higher degree of accuracy.
- Kamman reports an annual potential evapotranspiration ( $ET_o$ ) rate for the site of 40 in/yr based on a 1968 United States Geological Survey (USGS) paper. In contrast, EBA utilized an actual evapotranspiration rate ( $ET_a$ ) of 11 in/yr. According to recent papers published by the USGS (Metzger et. al., 2006 and Farrar et al., 2006), utilizing an  $ET_a$  rate is considered more representative than an  $ET_o$  rate since it accounts for the affects of soil moisture deficit. The  $ET_a$  rate for the project site was calculated by multiplying the  $ET_o$  of 33 in/yr (reference  $ET_o$  zone published by the California Irrigation Management Information System [CIMIS, 1999]) by a factor of 0.33 (Metzger et. al., 2006).

Based on the aforementioned EBA values, the corresponding water balance for the project site equates to a positive 196 AF/yr. In essence, this means that there is an approximate 196 AF/yr surplus available for potential groundwater recharge. As outlined in the previous section, existing and future groundwater use at the project site is 1.79 AF/yr. This represents 0.9 percent of the available surplus. Additionally, if the entire project site operations (6.29 AF/yr) were provided by only groundwater, it would equate to approximately 3.2 percent of the available surplus. The Kamman letter notes that it is unrealistic to assume that all the calculated surplus would be available for recharge and uses a 50 percent reduction as an example. At 50 percent, the corresponding surplus would be more than sufficient to fully compensate for the groundwater extraction under either scenario.

Additional data supporting this conclusion are the observed recovery of groundwater levels during the winter and early spring period when the water supply wells are not utilized. The following presents the groundwater levels measured in Wells #1, #2, #4 and #5 during the Fall 2011 and Spring 2012:

- *Well #1:* 88.2 versus 9.8 feet BGS
- *Well #2:* 73.4 versus 0.9 feet BGS
- *Well #4:* 139.3 versus 23.6 feet BGS
- *Well #5:* 59.3 versus 12.2 feet BGS



As demonstrated above, each of the wells exhibited significant recovery during the 2011-2012 rainy season, which actually represented a below normal precipitation year. As such, there is no discernable evidence that the groundwater extraction operations are permanently exhausting the groundwater supply, nor are there any indications that the surface water collection features associated with Ratna Ling's water management system are hindering groundwater recharge. While there are seasonal limitations with the existing extraction well network (i.e., groundwater yields decline during the late summer-early fall), full replenishment of the aquifer appears to occur during the rainy season.

### Miscellaneous Topics

The Kaman letter places considerable emphasis on the capturing of rainfall by the reservoir and the smaller on-site ancillary ponds and the corresponding impact this condition has on the underlying bedrock aquifer. However, as outlined above, there is currently no evidence to support this statement. As for the ancillary ponds, these features are circa 1983 and have never been part of Ratna Ling's water management system. While the reservoir is equipped with an engineered compacted clay liner, observations of the ancillary ponds by EBA did not reveal any obvious evidence of engineered impervious liners as suggested by Kamman. As a result, the ancillary ponds may actually serve to promote groundwater recharge, a condition that would otherwise not exist if the ponds were not present.

The interception of surface water by Ratna Ling's water management system is also identified by Kamman as a potential concern to both groundwater (reduced infiltration) and surface water flows in the South Fork Gualala River. As discussed above, there are no indications that the collection of surface water is having an appreciable effect on groundwater recharge. Regarding reduced surface water flow contributions to the South Fork Gualala River, the water use calculations presented in the *Geologic Report* (EBA, 2013) indicate that the net reduction in surface water run-off associated with the entire facility equates to approximately 4 AF/yr. By comparison, the overall surface water run-off to the entire South Fork Gualala River basin, assuming a run-off potential of 32 in/yr as reported by Kamman, equates to approximately 133,000 AF/yr. This estimate is considered conservatively low as it does not account for groundwater base flow and surface spring contributions within the basin. We calculate the amount of reduced surface water run-off imposed by the water management system to be 0.003 percent of the overall flow contributions in the South Fork Gualala River basin. This is considered to represent a diminimous amount.

## CONCLUSIONS

Based on EBA's assessment of the local hydrogeologic conditions and water use at the Ratna Ling facility, we can not agree with Kamman's position that Ratna Ling's water management system, both existing and proposed, is overtaxing the underlying groundwater resources or having an appreciable impact on surface flow conditions in the South Fork Gualala River. As presented herein, aquifer storage and water balance calculations demonstrate that the existing and proposed groundwater uses are not excessive based on the site conditions. The remoteness of the property, coupled with the presence of large adjoining rural properties with low density

zoning limitations, further reduces the potential impact to the local aquifer system. Further, impact to groundwater recharge by Ratna Ling's reservoir, ancillary ponds, buildings and impervious surfaces are clearly not supported by the recharge characteristics observed in the on-site water supply wells.

While the aquifer storage characteristics at the site are considered adequate, there are inherent economic risks associated with well drilling at the project site due to the unpredictable nature of the water-bearing fractures; i.e., no guarantee that groundwater will be encountered at a particular location. In light of these circumstances, it is EBA's opinion that Ratna Ling's decision to utilize on-site surface water sources as a means of supplementing it's water demands is a reasonable and resourceful approach that will have less than a significant impact on underlying groundwater.

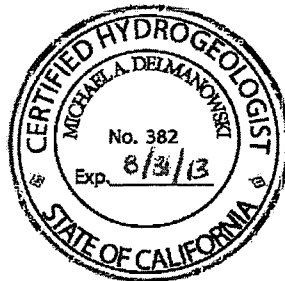
## CLOSING

EBA appreciates the opportunity to be of service to Clement, Fitzpatrick & Kenworthy on this project. If you should have any questions regarding the information contained herein, please do not hesitate to contact our office at (707) 544-0784.

Sincerely,  
EBA ENGINEERING



Mike Delmanowski, C.E.G., C.Hg.  
Senior Hydrogeologist



## REFERENCES

Boudreau, E.H., January 7, 1985, *Geology & Ground Water Potential of the Timber Hill Ranch, 35755 Hauser Bridge Road, Cazadero, California.*

Boudreau, E.H., August 21, 1999, *Letter to Paul Deville of ASA Properties Regarding Water Availability at Timberhill Ranch Property.*

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# Ted Winfield & Associates

1455 Wagoner Drive, Livermore, CA 94550 • (925) 371-6379

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March 13, 2013

Ms. Tina Wallis  
Clement, Fitzpatrick & Kenworthy  
3333 Mendocino Avenue, Suite 200  
Santa Rosa, CA 95403

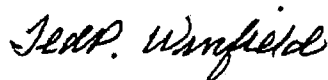
Re: Ratna Ling Retreat Center Report

Dear Tina:

Enclosed is my report titled Ratna Ling Retreat Center Vegetation Communities: Status and Anticipated Impacts that provides the results of my reconnaissance surveys at Ratna Ling concerning the vegetation communities present at each of the proposed building sites and a summary of the effects the proposed work activities would have on the vegetation communities.

Please call if you have any questions or comments.

Sincerely,



Ted P. Winfield, Ph.D.

# **RATNA LING RETREAT CENTER**

**VEGETATION COMMUNITIES:**

**STATUS**

**AND**

**ANTICIPATED IMPACTS**

**Prepared by:**

**Ted P. Winfield, Ph.D.  
Ted Winfield & Associates  
1455 Wagoner Drive  
Livermore, CA 94550**

**March 13, 2013**

## INTRODUCTION

The purpose of this report is to provide information on the current condition of the biological habitat at the proposed sites for construction or placement of pre-fabricated structures at the Ratna Ling Retreat Center in western Sonoma County, CA. The biological resources present at the approximately 119-acre Ratna Ling Retreat Center have been surveyed and described in a number of reports prepared for prior proposed projects between 2004 and 2008<sup>1</sup>.

Reconnaissance surveys of the specific locations of each of the proposed physical changes to the facility were visited on August 20 and October 16, 2012 to document the present conditions of each site, which included a short description of the vegetation cover and photo documentation of the current site conditions at each site. The focus of these reconnaissance surveys was on the status of the vegetation communities at each of the proposed sites.

The following discussion has two main sections. The first section presents a general description of those vegetation communities encountered at each of the proposed sites taken from the report prepared by Valerius and Tatarian (2007, 2008). The second part presents the results of the reconnaissance surveys conducted August 20 and October, 2012 and the photos of each site. This section also contains a site plan showing the location of each of the proposed site where new facilities would be constructed or installed and recent color aerial photographs of the Ratna Ling Retreat Center and surrounding area.

## VEGETATION COMMUNITIES AT THE RATNA LING RETREAT CENTER

The following description of the vegetation communities at the Ratna Ling Retreat Center is taken from Valerius and Tatarian (2007, 2008). They described several vegetation communities as occurring at the site, including grasslands, mixed evergreen forest, ponds, seasonal wetlands and meadows. The site for the proposed facilities will only affect grassland and mixed evergreen forest habitat so only the description of these two vegetation communities is presented below.

### GRASSLANDS

The grassland within the surveyed area is comprised of a mixture of native and non-native grasslands. These grasslands occur in the open areas of the proposed area of the printing facility and the proposed reservoir. Native grasses noted during the 2004 to 2007 plant surveys include purple needlegrass (*Nasella pulchra*), California oatgrass (*Danthonia californica*), blue wildrye (*Elymus glaucus*), Idaho fescue (*Festuca idahoensis*), and

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<sup>1</sup> Valerius, J. and T. Tatarian. 2007. Botanical and wildlife review of the Ratna Ling property 35755 Hauser Bridge Road, Cazadero, Sonoma County, CA. June 2007. Report prepared for Head Lama of the Ratna Ling Retreat Center.

Valerius, J. and T. Tatarian. 2008. Botanical and wildlife review of the Ratna Ling Retreat Center Western and Eastern caves and fill disposal sites. June 2008. Report prepared for Head Lama of the Ratna Ling Retreat Center.

California brome (*Bromus carinatus*). The overall cover of the native grasses is not sufficient to call this type out as native perennial grassland. Mixed in with the natives are the non-native grasses such as annual wildrye (*Festuca [Lolium] multiflorum*), hare barley (*Hordeum murinum* ssp. *leporinum*), soft chess (*Bromus hordeaceus*), ripgut brome (*Bromus diandrus*), dogtail grass (*Cynosurus echinatus*), orchard grass (*Dactylis glomerata*), and Harding grass (*Phalaris aquatica*). A variety of native and non-native forb species also occur in the grasslands.

#### **MIXED EVERGREEN FOREST**

The mixed evergreen forest community is the dominant vegetation within the entire ±108-acre Ratna Ling property. Within the survey area this community occurs at the edges of the grassland area and the edges of the area proposed for development. This community type is comprised of coast live oak (*Quercus agrifolia*), Douglas fir (*Pseudotsuga menziesii*), madrone (*Arbutus menziesii*), tan oak (*Lithocarpus densiflorus* var. *densiflorus*) and coast redwood (*Sequoia sempervirens*). Within the mixed evergreen forest are groves or clusters of redwood trees. Understory shrubs include poison oak (*Toxicodendron diversilobum*), coffeeberry (*Rhamnus californica*), snowberry (*Symphoricarpos mollis*), toyon (*Heteromeles arbutifolia*), California huckleberry (*Vaccinium ovatum*) and rose (*Rosa gymnocarpa*).

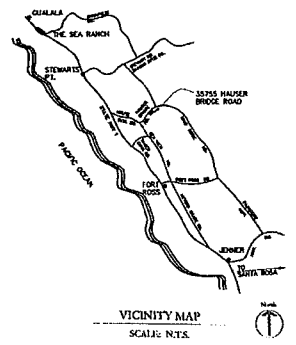
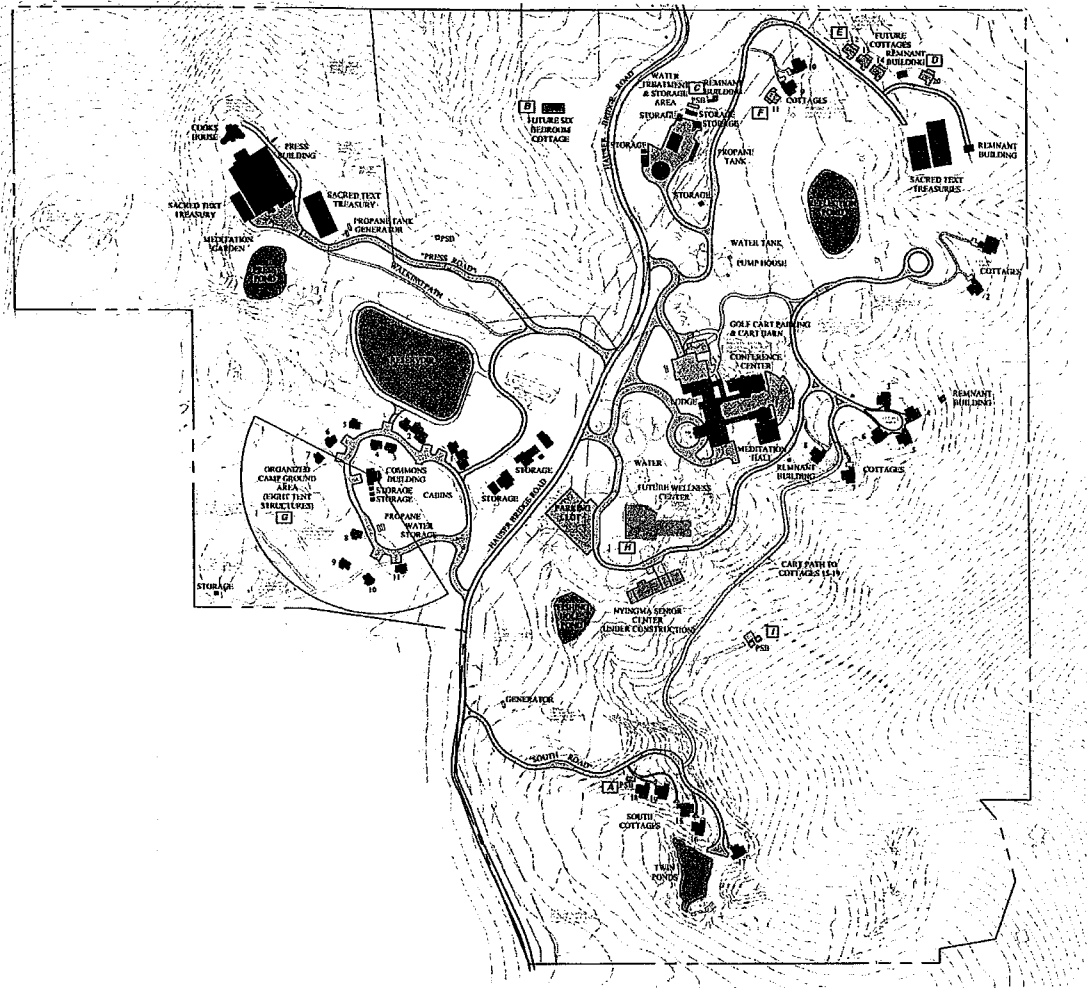
### **RESULTS OF RECONNAISSANCE SURVEYS**

#### **INTRODUCTION**

The sites for proposed new building structures were surveyed on August 20 and October 16, 2012. The purpose of the site reconnaissance surveys was to document the present site conditions to determine if there has been any changes since the initial surveys were conducted at most of the sites. The location of the proposed organized camp ground area had not been previously surveyed and was surveyed on October 16, 2012. This area once functioned as an organized campground area and the foundational supports and decking for the tent structures are still in place and will be restored and re-used, and no new structures area anticipated to be constructed at this location. Roads and other infrastructure also exist in the campground area.

The following describes the site conditions as they existed during the 2012 site reconnaissance surveys, the anticipated impacts to vegetation communities (habitats) present at each site resulting from construction or placement of the proposed structures at each location, and provides photographs of each of the area where new structures are proposed. The locations where the new structures are proposed are shown on Figure 1, which is the site plan for the Master Use Permit, and the aerial recent aerial photograph of the area. The location of the proposed facilities are indicated by the letters on the figures, and the following discussion of each site is keyed to the letters on the figures.

Ratna Ling Retreat Center  
Current Status of Vegetation Communities



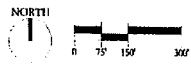
- LEGEND**
- EXISTING ROAD / DRIVEWAY
  - EXISTING STRUCTURE
  - STRUCTURE CURRENTLY UNDER CONSTRUCTION
  - PROPOSED STRUCTURE
  - POTENTIAL STORAGE BUILDING

**SITE PLAN**  
**MASTER USE PERMIT**

CLIENT: HEAD LAMA OF TIBETAN  
NYINGMAPA MEDITATION CENTER

DATE: MARCH 10, 2011

RATNA LING RETREAT CENTER  
CAZADERO, CALIFORNIA



**SHI ARCHITECTS**  
814 Union Street  
San Francisco, CA 94133  
415.441.7700  
www.shiarchitects.com

Figure 1. Site plan showing location of new structures to be constructed.



Ratna Ling Retreat Center  
Current Status of Vegetation Communities

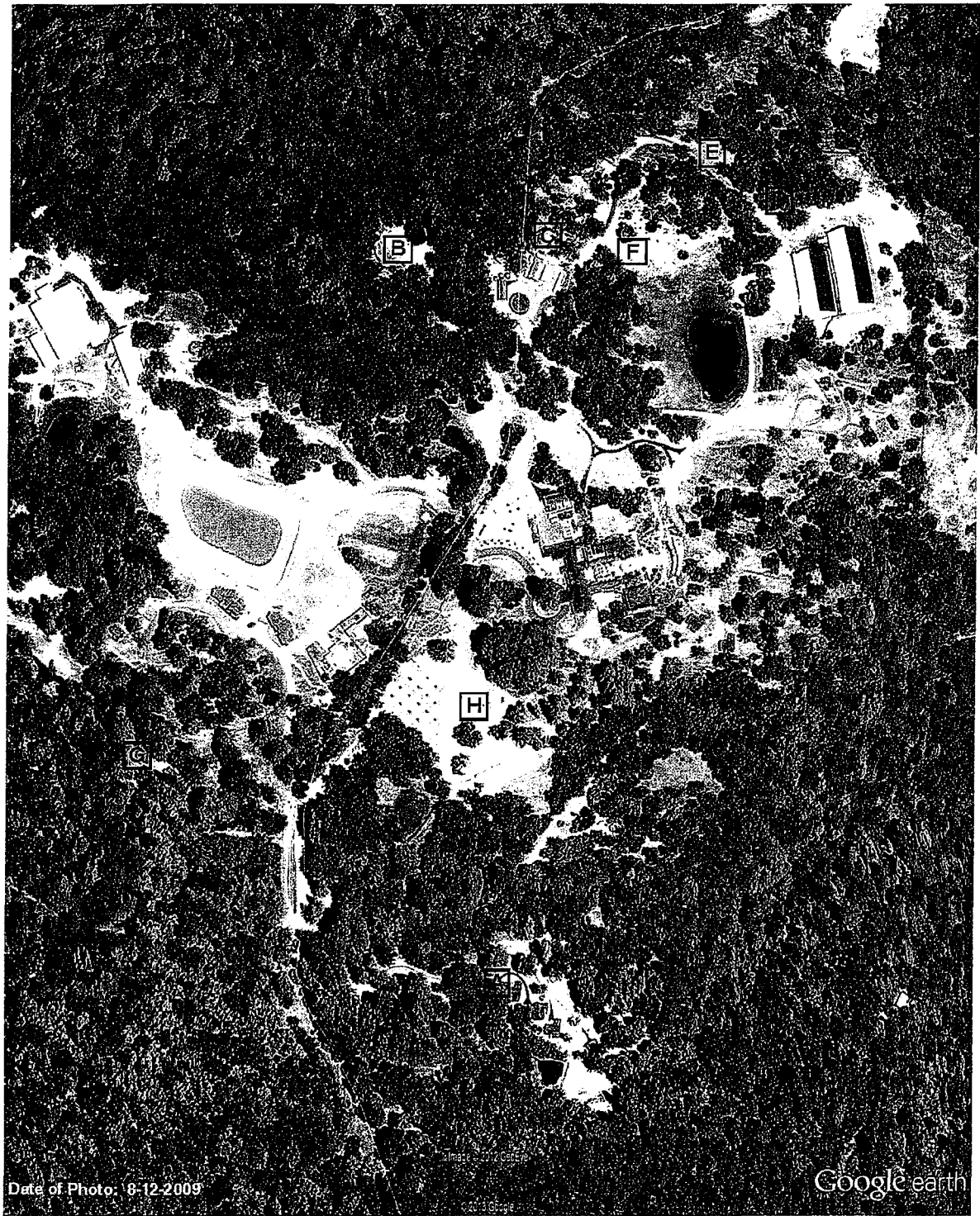
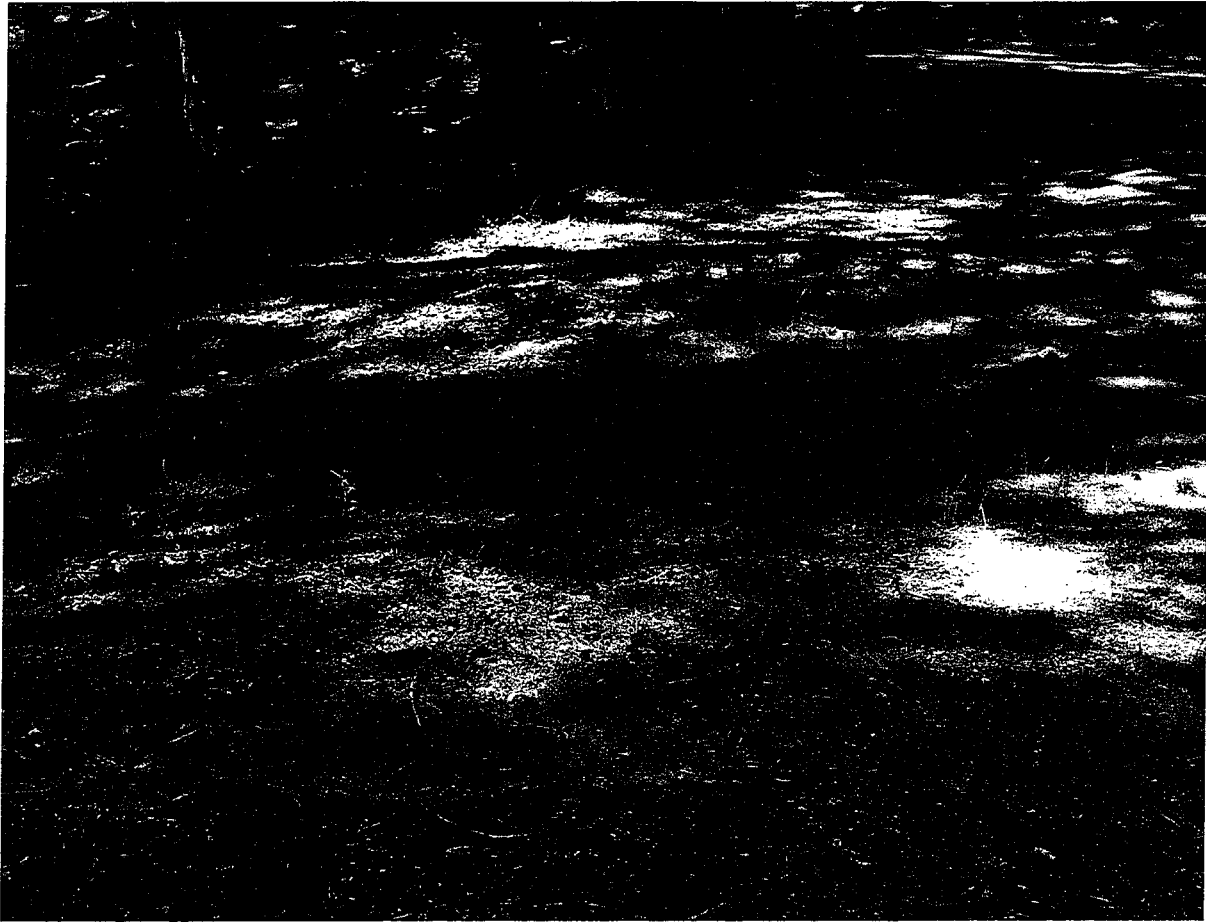


Figure 2. Aerial photo of Ratna Ling Retreat Center showing location of each proposed site for new facilities.

**AREA A. PRE-FAB STORAGE BUILDING (FIGURE 3)**



**Figure 3. Site for pre-fab storage building.**

**Site Conditions.** The site has been previously disturbed and is probably subject to ongoing disturbance from the use of the nearby cabins. The vegetation is dominated by non-native plant species, including dogtail grass (*Cynosurus echinatus*), perennial ryegrass (*Festuca perennis*), hairy cats-ear (*Hypochaeris radicata*), soft chess (*Bromus hordeaceus*), tarweed (*Madia* sp.), Italian thistle (*Carduus pycnocephalus*). Rabbits-foot grass (*Polypogon monspeliensis*), capitate rush (*Juncus capitatus*), and umbrella sedge (*Cyperus eragrostis*), the latter two being native species, are also present in small isolated patches. The dominant tree cover in the area includes coast redwoods (*Sequoia sempervirens*) and Douglas fir (*Pseudotsuga menziesii*).

**Impacts.** The new pre-fab storage shed will be a will be constructed elsewhere and moved to the site. The site where the pre-fab building will be placed will be leveled prior to placement of the building, but solid foundational structures will not be constructed, keeping the area of initial disturbance to a minimum. The area where the small pre-fab storage shed will be placed has limited habitat value due to past and ongoing disturbance associated with the use of the nearby cabins. No trees will need to be cut to install the pre-fab building.



**Figure 4. Site for six-bedroom cottage.**

**Site Conditions.** This site is a disturbed and relatively clear of vegetation. While woody debris and duff covers most of the site, vegetation that is present consists primarily of non-native species, including dogtail grass, Italian thistle, and soft chess. No trees occur at the site, but the site is surrounded by trees, primarily coast live oak (*Quercus agrifolia*) and coast redwood. There is an existing roadway/driveway to the site from nearby Hauser Bridge Road.

**Impacts.** Preparation of the site and construction of the six-bedroom cottage, in placement of a pre-fab six-bedroom cottage will not affect any sensitive plants or trees. The site is disturbed and dominated by non-native plants, and has limited habitat value. There is an existing roadway/driveway to the site that will be used to access the site.

**AREA C. EXISTING STORAGE BUILDING (FIGURE 5).**



**Figure 6. Existing storage building.**

This structure is a portable building that is already in place. The building was placed in the proximity of other buildings and structures. The area was and continues to be subject to regular activity associated with the other buildings. The immediate area of the buildings supports widely scattered and sparse cover of non-native plants.

**AREA D. SMALL COTTAGE (FIGURE 6)**



**Figure 7. Area in vicinity of existing small cabin/storage facility. Existing structure is located to the left of photo.**

**Site Conditions.** The small cabin occurs within a wooded area where the dominant trees include Douglas fir, coast live oak and California bay (*Umbellularia californica*), with scattered tan oak (*Lithocarpus densiflorus*). The understory includes non-native plant species, such as dogtail grass, soft chess, slender wild oats (*Avena barbata*), Harding grass (*Phalaris aquatica*) and the native capitate rush and California oat grass (*Danthonia californica*). The native shrub wood rose (*Rosa gymnocarpa*) is scattered throughout the understory. This area was part of the survey area for prior work done at the site in 2004 and 2005 and

**Impacts.** The current plan is to rehabilitate the existing cabin/storage facility at the site and expand it in the process. The small cabin/storage facility occurs within an area surrounded by Douglas fir and coast live oak and scattered California bay trees. Rehabilitation and expansion of the small cabin will not result in the cutting of any trees. A few branches may need to be trimmed but no trees will be cut to rehabilitate the existing cabin. The understory is dominated by non-native plants and disturbance associated with the rehabilitation and expansion of the existing small cabin/storage facility would not have a substantial effect on the resource values associated with the habitat present at the site. Disturbance associated with rehabilitation and expansion of the existing small cabin will be short-term and temporary. Access to the cabin will be by foot from the nearby roadway.

**AREA E. THREE COTTAGES (FIGURE 7)**



**Figure 7. Site of three cottages**

**Site Conditions.** This site has been disturbed and cleared sometime in the past and currently supports primarily non-native species of plants. There are no trees within the area that would be affected by the three cottages. The dominant plants include dogtail grass, Harding grass, Italian thistle, perennial ryegrass, hairy cats-ear, capitate rush, and bull thistle (*Cirsium vulgare*).

**Impacts.** Construction of the three cottages will affect the ruderal habitat, dominated by non-native plant species, present at the site. No trees will be directly affected by construction of the three cottages.

**AREA F. COTTAGE (FIGURE 8)**



**Figure 8. Site of the cottage.**

**Site Conditions.** The site is an open area covered by tree debris and other organic duff material, with scattered vegetation dominated by non-native plants, such as dogtail grass, Harding grass, hairy cats-ear, bull thistle, wild oats, pennyroyal (*Mentha pulegium*) and bird's-foot trefoil (*Lotus corniculatus*), and scattered native plants including capitates rush and umbrella sedge. One large coast live oak tree occurs at the edge of the area where the cottage will be located but will not be affected by construction of the cottage.

**Impacts.** Construction of the cottage will occur in an area where other cottages are already present (Figure 2). Construction of the cottage will affect ruderal habitat, dominated by non-native plant species, present at the site. No trees will be directly affected by construction of the cottage.

**AREA G. ORGANIZED CAMPGROUND AREA-TENT STRUCTURES (FIGURES 9, 10).**



**Figure 9. Existing tent foundation structure at Organized Campground Area.**





**Figure 10. Existing tent foundation structure at Organized Campground Area.**

**Site Conditions.** The organized campground area occurs in an area dominated by coast redwood and Douglas fir, with scattered California bay trees beneath the canopy. The understory is relatively devoid of plant cover. What ground cover present along the edges of the dense canopy consists of non-native grasses and herbs with some native plants scattered throughout, including dogtail grass, perennial ryegrass, California oat grass, and capitate rush.

**Impacts.** The Organized Campground area has been used in the past as an organized campground and the foundational structures upon which the large tent would be installed are still in place. The foundational structures would need to be rehabilitated and new tents installed. The area disturbed by such activity would be limited to the immediate area of the existing foundation structures. Access to the Organized Campground area would be by foot, bicycle or electric motorized carts. A roadway and other infrastructure are present at the campground area.

**AREA H. WELLNESS CENTER (FIGURE 11)**



**Figure 11. Site of Wellness Center.**

**Site Conditions.** The site of the proposed Wellness Center is a disturbed area that once contained a barn structure. Currently the dominant vegetation community at the site consists of ruderal grasslands with a few scattered trees at the eastern end of the site. The dominant ground cover includes non-native species such as English plantain (*Plantago lanceolata*), hairy cats-ear, soft chess, Italian thistle, perennial ryegrass, Dallas grass (*Dactylis glomerata*), rabbits-foot grass and fiddle dock (*Rumex pulcher*), and native species such as capitates rush, umbrella sedge and California poppy (*Eschscholzia californica*).

The trees located at the eastern end of the site include coast live oak, Douglas fir, coast redwood and California bay. Coast live oak, coast redwood and California bay are protected trees under the Sonoma County Tree Protection Ordinance.

**Impact.** Construction of the Wellness Center will affect disturbed grassland vegetation community dominated by non-native species and the following protected trees: coast redwood – 2; California bay – 6; coast live oak 2. The protected trees removed during construction of the Wellness Center will be mitigated by planting new trees at a 3:1 ratio on the north on the lands immediately surrounding the Wellness Center.

# GENE GRETCHEN

## RECOGNIZED ENVIRONMENTAL EXPERTISE

### MAJOR AWARDS:

2002	European Union Awards for the Environment, Management Award for Sustainable Development, presented by Ms. M. Wallstrom, EU Commissioner for the Environment
2001	Malta Environmental Award for Sustainable Development, presented by the Minister for the Environment
1997	US EPA Stratospheric Ozone Protection Award, presented by Al Gore

### EXPERIENCE:

2008-2009	Group VP, STMicroelectronics Corporate Headquarters  Managed environmental groups for 7 plants in 3 continents, all of which won their respective countries' highest environmental awards
2007-2008	Managing Director, STMicroelectronics, Muar, Malaysia  7500 employees
1993-2007	Managing Director, STMicroelectronics Malta  2400 employees
1980-1993	Managing Director, TAG Semiconductors, Philippines  600 employees

### ENVIRONMENTAL ACHIEVEMENTS IN MALTA:

Reduced water consumption by 90%, recycled ratio over 80%

Reduced land fill from 7 tons per day to 0

Reduced hazardous waste by 90%

Eliminated all Class 1 and 2 hazardous chemicals from production process

Eliminated all Class 1 ODS from production

Recycling of all paper products

Reduced energy usage by 5% per year

Planted over 10,000 trees

Spurred enactment of environmental legislation in Malta; up to 1993, there was neither environmental legislation nor a Minister for the Environment.

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**SPEAKING ENGAGEMENTS:**

2005 Malta	International Semiconductor Environmental Safety and Health Conference (Sponsor and speaker)
1999 Williamsburg, VA	International Semiconductor Environmental Safety and Health Conference
1998 Paris	European Foundation of Quality Management
Multiple Years San Francisco, CA	SEMI West
Multiple Years Europe	SEMI Europe
Multiple Years University of Malta	Guest Lecturer, Corporate Social Responsibility

**BOARD MEMBERSHIP:**

Malta Council for Science and Technology

STMicroelectronics Corporate Steering Committee for Corporate Social Responsibility

Malta Federation of Industry

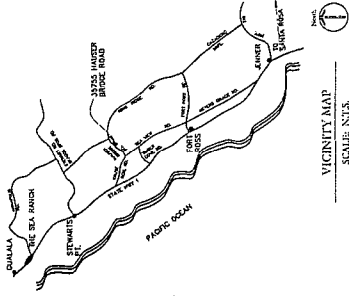
**CERTIFICATES:**

ECO-Management and Audit Scheme (EMAS) 1995  
First Semiconductor facility in the world to be EMAS certified

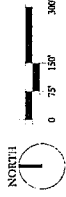
ISO 14001 International Standard for Environmental Protection

**EDUCATION:**

BACHELOR OF SCIENCE, Industrial Technology, California State University at San Luis Obispo  
Numerous Continuing Education Courses on Environmental and Quality Management



- LEGEND**
- EXISTING ROAD / DRIVEWAY (6 FT. TYPICAL)
  - EXISTING STRUCTURE
  - PERMITTED AND YET BUILT FOR VESTED RIGHTS
  - PERMITTED FOR VESTED RIGHTS
  - STRUCTURE CURRENTLY UNDER CONSTRUCTION FOR VESTED RIGHTS
  - PROPOSED STRUCTURE
  - POTENTIAL STORAGE BUILDING
  - NOTES:**
  - 1. ALL NEW CONSTRUCTION ON THIS SITE SHALL BE FOR THE HEAD LAMA OF TIBETIAN NYINGMAPA MEDITATION CENTER (EXCEPT SHARED UTILITIES, WHICH ARE FOR ASSOCIATED WITH THE RETREAT CENTER) AND SHALL BE FOR THE SUPPRESSION.



CLIENT: HEAD LAMA OF TIBETIAN NYINGMAPA MEDITATION CENTER

RATNA LING RETREAT CENTER  
CAZADERO, CALIFORNIA

**SITE PLAN**

**MASTER USE PERMIT**

DATE: MAY 23, 2013

**HERIVOOD**  
ARCHITECTS

20000 SHERWOOD BLVD., SUITE 100  
HERIVOOD, CA 94508  
TEL: 925-962-1111  
WWW.HERIVOODARCHITECTS.COM

## UPDATED PROPOSAL STATEMENT FOR RATNA LING

### MASTER USE PERMIT APPLICATION

MARCH 26, 2013

Applicant/Owner: Ratna Ling Buddhist Retreat Center

Location: 35755 and 36000 Hauser Bridge Road, Cazadero, CA  
APN 109-230-024 and 109-230-018

Subject: Use Permit for Master Plan/Master Use Permit

General Plan: Resources and Rural Development, 240 acre density

Zoning: RRD B6-240

Ord. Reference: Sonoma County Code sections 26-10-020(t) and 26-10-020(cc)

### PROJECT HISTORY & CURRENT REVISIONS

Ratna Ling<sup>1</sup> submitted its initial application dated March 11, 2011. Before submittal and while the application was pending, Ratna Ling spent over three years meeting with neighbors to listen, discuss and consider community input. The initial application was a Master Use Permit application for an expanded retreat use, permanent storage of sacred texts, and other items.<sup>2</sup> The Board of Zoning Adjustments unanimously approved the initial application on June 7, 2012. Depending on the time of year, Ratna Ling will now limit itself to a maximum of 98 people per night for six months and a maximum of 122 people per night for six months of each year. Specifically, Ratna Ling requests that occupancy be limited to:

December, January & February: an average of 67 people  
March, April & May: an average of 70 people  
June, July & August: an average of 110 people  
September: an average of 90 people  
October and November: an average of 70 people

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<sup>1</sup> "Ratna Ling" and "the Center" or "Center" are used interchangeably in this Updated Project Description.

<sup>2</sup> See previous Project Descriptions, dated March 15, 2011 and December 19, 2011. To the extent this updated description conflicts with the 2011 Project Descriptions, this version supersedes the earlier versions.

## PARCEL HISTORY

The 107 acre Ratna Ling property (also called the “Timber Hill Parcel”) was previously used as a private school. In 2000, the County approved an exclusive resort, spa, swimming pool, and freestanding pub on the Ratna Ling property. After the Timber Hill parcel was offered for sale, but before it was purchased, representatives of the religious community that would become Ratna Ling discussed with County officials their intent to use the 107 acre property, not only for a non-commercial retreat center but also, as an integral accessory to the retreat function, for a sacred text printing and publishing facility. In a February 2004 letter to the Board of Supervisors, the Head Lama stated: “Purchase of the Timber Hill property as a retreat center for students whose religious practice is the printing of sacred texts would complete the Odiyan mandala’s southern quadrant . . .” Having received encouragement to proceed, the purchase was made in early 2004 by the church corporation sole, officially known as Head Lama of the Tibetan Nyingmapa Meditation Center (TNMC), the same entity that owns the Odiyan Monastery. In 2008, Ratna Ling purchased the adjacent 13 acre “Dixie Parcel,” which is immediately north and northwest of the Ratna Ling parcel. Combined, these parcels are 120 acres and Ratna Ling proposes to use both for its Buddhist Retreat Center.

## RATNA LING

Members of the Ratna Ling Retreat Center feel fortunate to have occupied a location of physical beauty and spiritual inspiration in western Sonoma County since 2004. By carrying out Tibetan Buddhist religious practices there, and making Buddhist teachings available to retreatants from the community and from around the world, Ratna Ling has endeavored to make positive contributions to the already-recognized culture and reputation of the County for supporting diverse creative activities. Ratna Ling is grateful to the County and its officials, whose endorsement of the Center’s goals have allowed it to pursue projects both compelling in value and unique on an international scale.

Ratna Ling’s operations have evolved, as reflected in a number of different use and building permits issued over time. This evolution has led to some uncertainty for both Ratna Ling and the County concerning the range of permitted uses and structures on the property. In order to achieve clarity for the benefit of Ratna Ling, the County and our neighbors, the Center wishes to pursue this Application for a Master Use Permit to achieve four important goals. First, Ratna Ling proposes to carry forward all uses described in proposal statements associated with and approved under previously issued UPE04-0032 and UPE07-00898, as well as all previously issued building, septic and other permits. Second, the Master Use Permit will harmonize previously approved and newly proposed uses into a single document that includes a project description and site plan that details permitted and proposed structures and their appropriate uses. Third, the Master Use Permit proposes objective performance standards with which to measure and monitor the intensity of uses on the property. Finally, the Master Use Permit augments the existing permits to describe all uses and structures anticipated by Ratna Ling for the reasonably foreseeable future. These changes will still keep operations well within historically authorized impact limits, as measured by the County-approved Timber Hill

Resort use permit issued in 2000, and simply modify existing uses that the County has already deemed to be salutary and appropriate.

Ratna Ling is a Buddhist retreat center and all retreats that are authorized by the § Master Use Permit either focus on Buddhist practices or are designed to expose non-Buddhists to Buddhist practices. Every retreat participant is reminded verbally, and in writing, to maintain the sacred environment at Ratna Ling. All retreats include daily meditation sessions and Kum Nye Yoga. Kum Nye Yoga is a gentle Tibetan Yoga practice that focuses on healing and bringing energies together to work smoothly and harmoniously. In keeping with Buddhist requirements, all meals are vegetarian. Every guest cottage contains information about Buddhist practices and every retreat participant has access to the center's library containing an array of books and other resources on the Buddhist traditions and practices.

It is sincerely hoped that the Master Use Permit will constitute a comprehensive planning document that enables both Ratna Ling and the County to administer this special property with greater clarity and efficiency in the years ahead.

### **ENVIRONMENTAL STEWARDSHIP**

The Center is leader in environmental stewardship at the project site. Gene Gretchen, is an internationally recognized leader in environmentally conscious practices and he is the Co-director and Facilities Manager of the Center.<sup>3</sup> Mr. Gretchen has implemented and maintains many environmentally sensitive practices on the project site. The Center only uses non-toxic, vegetable-based ink at its printing presses. Ratna Ling's landscaping is drought tolerant. The Center captures rain water off the roofs of some of its buildings. Almost all faucets and fixtures on the project site are low flow. The Center maintains an on-site organic garden that supplies most of the produce used in the communal kitchen. Ratna Ling's volunteers, guests, and work study participants move about the site by foot, bike or electric golf carts, resulting in insignificant Green House Gas Emissions. The Center uses sustainable green products wherever possible, such as the cork floors in its main conference center building. Retreat participants are also reminded to be mindful of the environment and Ratna Ling's commitment to the best possible environmental practices.

### **COMMUNITY CONTRIBUTIONS**

The Center remains committed to working harmoniously with its neighbors and County officials as it continues its unique and indisputably worthy mission. While remaining true to the spiritual purposes of its projects, which have drawn positive world-wide attention to Sonoma County, the Center has more than distinguished itself by its numerous contributions to the economic welfare of the County as a whole, and by many acts of generosity to the immediate Seaview Ridge community.

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<sup>3</sup> A copy of Mr. Gretchen's CV is attached to this update.



The list of businesses from which Ratna Ling has purchased goods and services includes nearly 200 local vendors spread from nearby Gualala to Sebastopol, Santa Rosa and Petaluma. More than 150 individual Sonoma County residents have been employed by the Center, either directly or indirectly through contractors and sub-contractors, to provide a variety of services. To the maximum extent practicable, Ratna Ling has agreed to give preference to contractors in the Fort Ross–Seaview area on future construction projects.

The Center will continue to place emphasis on being a good neighbor, as it has in the past. The Center’s representatives have met frequently with representatives of the adjacent community to discuss common interests and listen to specific concerns. We pledge to continue that open line of communication and policy of cooperation.

For the benefit of its neighbors, The Center has provided very substantial assistance to the Timber Cove Volunteer Fire Department: donation of a new, high-performance fire truck costing \$280,000; facilitating a controlled burn of an obsolete structure for training purposes; and installing wet draft fire hydrants, in addition to making cash contributions to various TCVFD events. Ratna Ling has also donated a \$10,000 emergency shelter trailer to the Red Cross, and a play room in the local school. The Center developed a 20 cubic acre foot reservoir that, when full, can contribute up to 5.5 million gallons of water to the Ridge for emergency use. And Ratna Ling installed a bicycle water fountain, bike racks and resting stones on a pullout from Hauser Bridge Road for use by passing cyclists.

## **HISTORY AND RELIGIOUS PURPOSES**

The Ratna Ling Retreat Center is part of a family of Buddhist religious non-profit organizations initiated by Head Lama Tarthang Tulku Rinpoche, a Master Teacher in the Nyingma lineage, the oldest branch of Tibetan Buddhism. The Head Lama fled his native Tibet in 1958, just in advance of the violent repression inflicted on Buddhist practitioners and institutions by the Chinese government in the 1960’s, eventually settling in Berkeley, California. There, beginning in 1969, he founded a spiritual community dedicated to preserving and spreading the Dharma, the cumulative body of wisdom teachings and practices begun 2,500 years ago by Shakyamuni Buddha in India, and which further developed in Tibet starting in the 8<sup>th</sup> century.

This spiritual community first established its presence in western Sonoma County in 1975, purchasing property on Tin Barn Road in Cazadero, now known as Odiyan, a monastery and retreat center on which beautiful sacred temples and related structures have been erected. Here are conducted traditional rituals for peace and harmony, with prayer wheels and prayer flags sending the blessings of the tradition into the universe to protect the land and all beings everywhere. The Head Lama is on permanent retreat at Odiyan, which is closed to the public.

In 2003, an opportunity was presented to extend the spiritual purposes of Odiyan by obtaining a nearby parcel of land that could serve as a more accessible Buddhist retreat and teaching center. In that year, the 107-acre Timber Hill property on Hauser Bridge Road, Cazadero, came on the market. The parcel had earlier been used as a private school and, from 1983 to 1997, as a resort/guest ranch. Since 1997 the parcel had been owned by developers who had planned to build and operate a new and much higher-end resort. Significantly, by 2003, the new resort developers had *already* secured from the County a use permit for a commercial operation of a much larger scale than its predecessor, and with far greater environmental impacts than the uses sought by this Master Use Permit. The resort plans included a new 13,000 square foot lodge which had already been built, numerous new structures for guest and staff occupancy, a spa, swimming pool and conference center, as well as a “free-standing pub.” Thus, before the Ratna Ling Retreat Center ever came on the scene, the County had long since approved a totally public, for-profit, high-traffic commercial resort operation on the property.

A significant religious practice of the Head Lama’s spiritual community since the 1970’s has been the printing of sacred texts in the Tibetan language for shipment to Asia and free distribution to Buddhist monks, nuns and lay practitioners whose libraries were destroyed by the Chinese. The printed texts are not merely spiritual books, but are truly works of art produced and illustrated with a refined attention to detail and craft that reflect centuries of tradition. (More details on this unique and world-renowned project are provided below under the heading “Changes Related to Sacred Text Production/Storage.”)

### **THE CENTER’S INITIAL PERMITTING**

On August 18, 2004, following extensive submissions, UPE04-0032 was issued and the following month was unanimously approved by a resolution of the Board of Zoning Adjustments. Many of the detailed elements of this first Use Permit will be discussed in subsequent sections of this Proposal Statement. However, the major entitled uses were for “a non-commercial retreat center and monastery” and – in recognition of the integral religious significance of the sacred text production to members of this spiritual community - the construction of “a new 18,750 square foot religious printing facility” described as “non-commercial” and as “an ancillary use to the monastery and non-commercial retreat center.” In addition to continued residential use of numerous existing structures, County approval was given to a mediation hall and to the construction of 19 new cottages, a library and conference center, and a healing center/therapeutic pool (essentially continuing the “spa” concept earlier approved for the resort developers). All uses were to be undertaken “in accordance with the proposal statement and site plan” filed as part of the approval process.

Importantly, the resolution approving the Use Permit noted that the proposed construction and operations would not produce significant environmental effects, and a Mitigated Negative Declaration consistent with State and County guidelines was attached and approved. The resolution also noted that the uses were consistent with the intent and

purposes of the Resource and Rural Development (RRD) General Plan designation, and would not “be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood.”

On August 3, 2007, in order to modify and supplement the 2004 Use Permit, UPE07-00898 was issued. It allowed the expansion and relocation of the previously approved spa/healing center, now called the Healing Center, and further allowed the addition of a reservoir to the site’s water system.

In 2008, in recognition of the acute need for space to store sacred texts, Ratna Ling filed an application to build two large underground storage caves adjacent to a proposed new 800-seat Exhibition Hall. Because of the projected five-year duration of such an elaborate construction project, and in response to concerns voiced by Ratna Ling’s neighbors, this application was never pursued. Also in 2008, the Center received zoning approval for four book storage structures, further discussed below under “Changes Related to Sacred Text Production/Storage.” Finally, and in the same year, the total size of the Retreat Center’s site was increased to approximately 120 acres by the acquisition of a 13.1 acre contiguous unimproved property known as the “Dixie” parcel.

### **BUILD-OUT TO DATE**

Following issuance of the 2004 Use Permit, and pursuant to several subsequently obtained building permits, new structures have been erected on both the west and east sides of Hauser Bridge Road. (Notably, these high quality structural improvements have been accompanied by the planting of numerous trees, shrubs and flowers in an ongoing effort to integrate the aesthetics of the property with the natural beauty of its surroundings.) A Press Building not visible from the road is located on the west side adjacent to 13 pre-existing and permitted residential structures. On the east side, new buildings include a Meditation Hall, Conference Center and Library, and 13 guest cottages. (The 2004 Use Permit allowed for a total of 20 cottages on the east side, one of which was already built. Thirteen were subsequently constructed. Six have not yet been built.) With County approval, a reservoir with a 6.4 million gallon capacity has been completed. With County zoning approval, construction was begun on a small Residential Care Facility for the Elderly, to be called the Nyingma Senior Center, for eventual occupancy by members of the religious community. Finally, Ratna Ling has put up four book storage facilities comprising the Center’s Sacred Text Treasury, two on the west side and two on the east.

As a gesture of good will to some of its Seaview Ridge neighbors who expressed concern about construction-related traffic and noise, the Ratna Ling Retreat Center interrupted its planned schedule of already permitted improvements and initialed a voluntary moratorium on major projects in July 2009. That moratorium is still in effect. During this pause, the Center’s leaders have developed a long-term plan for future operations and completion of facilities that it now seeks to have embodied in the Master Use Permit. In order to implement this vision and to deal with certain ambiguities in the

prior documentation, a few changes to the current Use Permits are necessary. Together with all previously permitted uses and structures that we intend to carry forward, we believe the changes now proposed are reasonable additions and modifications to those previously approved uses. They are discussed in the following sections of this submission under the headings “Changes Related to the Retreat Operations” and “Changes Related to Sacred Text Production/Storage.”

## **CHANGES RELATED TO THE RETREAT OPERATIONS**

As detailed in numerous prior filings with the County, the primary purpose of the Ratna Ling Retreat Center is as a place for retreat, contemplation, meditation and the spread of the Buddhist teachings and practices collectively known as the Dharma. Operation of the Center involves high and recurrent fixed costs, such as utilities, insurance and maintenance, which must be defrayed. Within the constraints of its non-profit structure, Ratna Ling’s leaders have determined that the Center must increase its income by increasing the average number of participants per retreat if it is to survive as an economic matter. In 2010, there were 17 retreats conducted with an average number of 14 participants. The proposal statement underlying the 2004 Use Permit projected that by 2011 there could be as many as 120 retreats per year with an average of 25 participants. But to accommodate higher-than-average attendance in peak retreat periods, the Center has concluded that it must plan for a modest increase in its housing facilities, for which there is amply demonstrated water and septic capacity; and it must seek related clarifications to the existing approved uses. Thus, all of the changes proposed in this section are designed to facilitate an emphasis on a more productive retreat function while staying below impact levels previously approved for the Timber Hill resort operation that preceded Ratna Ling.

**1. Construction of One Additional Residential Building to House 12 Occupants.** The 2008 acquisition of the 13.1 acre unimproved “Dixie” parcel makes available land with verified water and septic capacity, creating the potential for an increase in Ratna Ling’s residential capacity. This increase is needed for two reasons. The first is to accommodate an expanded retreat operation so that higher income can be generated from an increased number of participants per retreat. Second, the long-time members of Ratna Ling’s extended spiritual community are an aging group. Many have the desire to spend their retirement years living and working as volunteer residents supporting and participating in the Center’s religious activities. It is therefore proposed to build a small, 6 bedroom residence facility that could accommodate up to 12 occupants on the “Dixie” parcel.

**2. Permission to Erect Up to Eight Tent Structures on a Seasonal Basis Consistent with Campground Designation to House Up to Three Occupants Each.** It is possible that peak occupancy for a successfully expanded retreat operation could occur at a time of year that coincides with the need to house a number of volunteers needed to support peak production periods for the sacred text activity. While it is not certain that the need for on-site housing in temporary seasonal structures will ever arise,

the Center wishes to anticipate this eventuality in the summer months by securing appropriate permission in this Master Use Permit.

**3. Maximum Site Occupancy and Flexible Use of Existing and Future Housing.** Paragraph 39 of the 2004 Use Permit specifies: "Maximum occupancy shall be 27 persons occupying the long-term resident housing and 40 persons occupying the cabins at the retreat center, for a maximum of 67 persons in site at any one time." But paragraph 38 contains this statement: "Nine existing cabins and two existing single family dwellings located on the west side of Hauser Bridge Road shall be used to house long-term residents." While this language doesn't expressly prohibit occupancy of the 11 existing structures by persons other than long-term residents, it might be interpreted that way and thus should be clarified. Ratna Ling's goals are to raise the occupancy number to a maximum of 98 people per night for six months and a maximum number of 122 people per night for six months; and also to modify the current language to make it clear that long-term residents (staff) and retreatants alike can occupy any of the residential facilities in accord with shifting seasonal needs, new programs, and the realities of work and retreat within the community. Ratna Ling has determined that this higher occupancy level is not only needed for retreatants, but for the volunteers required to carry out the cooking, cleaning and administrative functions to support the retreat activity.

With respect to the use of the residential facilities by staff and retreatants without distinction, the confusion in the present wording was probably unintentionally caused by residential distinctions made in the proposal statement underlying the 2004 Use Permit. That proposal closely tracked the prior categories and numbers for "staff" and "guests" used by the Timber Hill resort developers, generally projecting residency for Ratna Ling volunteers (those who would support retreat operations and sacred text publishing) in the old cabins on the west side, and retreat guests in new cottages on the east side of the property. Experience since the Center began operations has shown that these distinctions are both meaningless and unnecessary. Many resident volunteers, including some who work at the press, also participate in retreat activities; and many retreatants also choose to devote time to the religious practice of working on the sacred text production; in fact, this activity, which has deep religious significance, is in many cases integrated into their retreats. Thus, the categories of "staff" and "retreatant" are fluid, and change from time to time for specific individuals and for different retreats. Further, there are times in the year when press activity is limited, so that space could be made available in the older cabins to house over-flow retreatants if the newer cottages have been filled. Such residential flexibility would assist the Center in achieving its economic goal to increase the average number of participants per retreat and accomplish the spiritual objective of further spreading the Dharma. So long as total site occupancy does not exceed a revised maximum number, and all other use restrictions are observed, it should not matter *who* (long-term residents, retreat visitors or other visitors) occupies *which* residential facilities (cabins, cottages or additional structures the Center wishes to build).

Therefore, the proposal is to raise maximum site occupancy to 98 people per night for six months and 122 people per night for six months, no more than 40 of which shall be "long-term residents" spending more than 6 consecutive months living on the

property. Long-term residents and retreat visitors may occupy any of the residential facilities.

**4. Non-Textual Sacred Art Projects.** The 2004 proposal statement did not clarify the need for a separate use related to art objects other than texts, but there were several references to such activity in both the proposal statement and staff report. Non-textual art, including prayer wheels, art prints and sacred art generally were all mentioned in relation to the press operation. In the Buddhist tradition, it is a cherished religious practice to make such items as thankas (a sacred art form which combines painting and textiles), malas (strings of prayer beads similar to rosaries), prayer flags, meditation cushions and similar items for devotion and practice. Such art projects could be carried on by retreatants, as well as by staff volunteers during times of the year when they are not completely engaged by other responsibilities. Like the sacred texts, the vast majority of such objects produced would be donated and used internally within the related Buddhist organizations.

The proposal is to expressly permit the activity of making non-textual sacred art objects at Ratna Ling.

**5. Nyingma Senior Center.** Construction of the planned 6-bed unit for elderly members of the spiritual community was allowable under applicable zoning regulations without a Use Permit. Sonoma County Code, Chapter 26-10-010(p). After obtaining other necessary permits, the foundation and preliminary framing for this structure were completed, at which point the voluntary moratorium on construction was initiated in 2009. While it does not appear that a use permit is necessary for the completion of the Senior Center, such use is referenced in this Master Use Permit application so that, in the future, a single document may be referred to identifying all uses permitted on site.

**6. Aggregation of per-unit square footage storage capacity.** Under exemptions in the Building Code, Ratna Ling understands it is allowed to erect a 120 square foot storage structure for each of the 34 currently approved residences without obtaining additional permits. The Center wishes to have flexibility in planning the size and location of what it calculates as a total allowable 4,080 square feet of storage capacity, only a portion of which has yet been utilized. Rather than proliferate many small structures, the Center seeks the right to opt to utilize this total allowable capacity by constructing fewer but larger residential storage buildings, both as shown on the accompanying Site Plan (as Potential Storage Buildings) and as may be sought by future building permit applications. These storage structures will be used for equipment and supplies, and not for sacred texts.

## CHANGES RELATED TO SACRED TEXT PRODUCTION/STORAGE

In the Tibetan Nyingma Buddhist tradition embraced by the Ratna Ling community, the copying and disseminating of sacred writings has been a central religious practice since the 8<sup>th</sup> century. After the advent of the printing press in Tibet, facilities to reproduce these texts were almost exclusively developed at Buddhist monasteries and retreat centers where the books could be cared for at all stages of production within a sacred environment. The savage destruction of an estimated 6,000 monasteries, retreat centers and temples during the Cultural Revolution of the 1960's had a devastating effect on these facilities and on Tibetan libraries. By a conservative estimate, 90% of Tibet's written heritage was lost.

Like other refugees who fled this oppression, Head Lama Tarthang Tulku's priority was to preserve and restore this crippled tradition by taking advantage of religious freedoms afforded in the West. He founded Dharma Publishing in Berkeley in the 1970's to begin the enormous task of printing, shipping and distributing free of charge to Buddhists in Asia the treasured works in the Tibetan language that had been destroyed. In 1989, he sponsored what has become an annual World Peace Ceremony in Bodh Gaya, India, the place of the Buddha's enlightenment to which over 10,000 monks, nuns and lay practitioners now come from all parts of Asia to receive the sacred texts. When the Ratna Ling Retreat Center was established with the support of Sonoma County officials as an annex to Odiyan in 2004, he realized his dream of uniting the teaching and practice functions of a monastery, retreat center and sacred text production facility, consistent with the traditional religious practices of Tibetan Buddhism.

There are several significant reasons why it is necessary to seek changes in the 2004 Use Permit's terms as they affect the printing and storage of the texts produced at Ratna Ling. First, as interpreted by the County, the Use Permit sets specific limits on the number of religious books that can be produced at Ratna Ling. Second, the number of book requests from monasteries in Tibet and other parts of Asia has increased dramatically in recent years. To those who yearn for the replenishment of their libraries, the religious publication practice of Ratna Ling's volunteer community produces the only available free source of important sacred collections. Demand has thus grown well beyond earlier estimates. Third, the ever-changing political climate in Tibet, marked by periodic demonstrations and Chinese government crackdowns, often makes it impossible to ship and distribute completed texts contemporaneously with production. Instead, they must be stored until conditions in Tibet relax. And finally, TNMC's 2006 elimination of duplicative printing facilities in Berkeley, and the consolidation of the publication activity at Ratna Ling as discussed in the 2004 proposal statements, made possible not only the uniting of all members of the spiritual community devoted to this unique project, but also a more efficient production process to meet the increased demand.

### **1. Changes in the County's Articulation of Limits on Press Production.**

The 2004 Use Permit listing of conditions contained no specific numerical expression of a limit on press output. It simply approved a "non-commercial printing press facility" that would be "ancillary" to the retreat operation. The press has been operated in exactly

this manner. Then and now the Center's primary goal of spreading the Dharma through the teaching function of the retreats has been linked to the ancillary and spiritually-motivated work practice of supporting the press. The vast majority, well over 90%, of the press output, is given away free of charge, so the publication activity is unquestionably non-commercial and religious in character.

The Use Permit's approval of "a new 18,750 square foot religious printing facility" was generally made subject to the condition that the "use shall be operated in accordance with the proposal statement" submitted by TNMC's representatives. Based on then-current conditions, the proposal statement contained an estimate that production of books and art would amount to "a little under 100,000 per year." (It also noted the Center's intention to move to Ratna Ling its Berkeley-based printing operations and staff at some point in the future.) From the time press activity began in the new facility, Ratna Ling did not view this earlier 100,000 book output estimate as a condition of the Use Permit setting a limit on production. For reasons of demand cited earlier, production has in certain periods exceeded that annual figure. Because Ratna Ling now understands that the County views the 2004 Use Permit as settling a numerical limit, an important goal of this Master Use Permit application is to resolve this issue by establishing a sensible but sensitive impact metric as the single measure of annual press output.

Using any number of "books" as a standard is itself a source of confusion, because a single volume can range from a few pages to thousands. And, in the Tibetan tradition a single book in some cases is a bound set of what others might call separate volumes of widely varying length. Instead, the proposal is to condition the press use only on the objectively verifiable standard of an average of no more than 1 truck round trip per day on an average annual basis related to the press operation. This figure includes trips necessary to bring in paper and other supplies, as well as trips to transport finished texts out for shipment abroad. Moreover, in contrast to the projections used in the approved 2004 proposal statement, the current proposal of 1 truck round trip per day contemplates trucks only 24 feet in length instead of 40 feet, with a consequent reduction in noise and road impact. This volume of truck traffic is a small fraction of the previously approved auto traffic volumes associated with the retreat function.

Concerning other possible impacts from press operations, there essentially are none. The press building is located on a sufficiently lower elevation that it *cannot be seen* from Hauser Bridge Road nor from any neighboring properties. And the operation of its modern equipment *cannot be heard* from off the Center's property; indeed it cannot even be heard from most residential locations on the Ratna Ling property itself.

After studying the efficiencies achieved by consolidation of press functions at Ratna Ling, including necessary truck traffic flows, Ratna Ling is satisfied that it can meet the fluctuating demands for the sacred texts and still operate within this reasonable annual average of 1 truck (2 trips) per day as a measure of impact. From a land use standpoint, this is the single meaningful way to limit press production. The uncertainties associated with the "book count" method should be eliminated.



Moreover, and provided that all uses sought by this Master Use Permit Application are approved, Ratna Ling proposes that those portions of the use permit authorizing the operation of a printing facility for production of sacred texts and other works of art shall terminate in the event that the property subject to this use permit is conveyed to a third party not affiliated with the traditions and practices of Tibetan Buddhism. In the event of such a sale, Ratna Ling will dismantle and remove the printing equipment prior to conveying the property.

**2. Text Storage.** The 2004 Use Permit does not address what intervening experience has revealed as an acute need, a place where partially and fully completed texts can be safely stored and ceremonially respected by daily religious ritual in keeping with the Tibetan Nyingma Buddhist tradition. Shifting demands for certain collections, complicated by periodic political pressures in Tibet, have made it necessary on an ongoing basis to retain quantities of partially completed books, while more urgently needed volumes are coming off the presses. The difficulty of predicting future political realities in Tibet makes it imprudent to predict that Ratna Ling can ever achieve a perfect match between press output and relatively prompt shipment abroad.

As earlier noted, construction of massive underground caves for storage, proposed in 2008, has been determined to be too disruptive of the neighborhood to pursue. Currently, books are stored on-site in a Sacred Text Treasury comprised of four structures with a combined square footage of 39,270 square feet, authorized by permits BLD08-1067, -1188, -2124 and -3658. Storage is accomplished in a religiously prescribed manner with sophisticated equipment assuring climate control. Daily prayer and chanting by members of the spiritual community take place in these storage structures which, like the press building itself, are generally not visible from the road or neighboring properties.

Because of a predictably continuing need for storage at current levels, the proposal is that the Master Use Permit recognize a storage use of not to exceed 39,270 square feet.

**3. Press Building Occupancy.** The 2004 Use Permit states that “maximum occupancy for the non-commercial printing press facility is 27 persons.” This limitation was in part clearly tied to the identical limit expressed for occupancy of the older existing cabins described as “long-term resident housing.” But as previously explained, the numerical sub-limits on staff residents and temporary retreat-attending residents are not realistic. And the number 27 places an artificial constraint on some manual finishing tasks in the text production process, as, for instance, when folding and wrapping take place. Under the current restriction, it has become necessary to move texts out of the press building (sometimes in bad weather) to other locations so volunteers (including some from the Seaview Ridge community) and retreatants in excess of the numerical limit can finish the pre-shipment work. If the requested truck traffic impact metric for press output is approved, there is no remaining reason to place an artificial cap on the number occupying the press building, other than the “occupancy load” limit mandated by fire regulations.

The proposal is that the current limit of 27 persons be eliminated and replaced by fire regulation requirements.

**Existing Physical Condition**

Uses and Structures - The current uses on the Ratna Ling parcels are a retreat center, a religious printing press, volunteer or work study housing, guest housing, a conference center that consists of a communal kitchen and dining room, offices for volunteers and work study participants, a meditation hall, a library, and a classroom facility. In addition to the conference center, there are 14 guest cottages; nine cabins; one commons; four single-family dwellings; 17 storage buildings; four Sacred Text Treasuries; a printing press building; a partially constructed Senior Center; and various remnant buildings, wells, water tanks, and pump houses. Almost all of the structures on the project site are connected by asphalt paths sized for electric golf carts. These are not full sized roads. Staff, volunteers, and guests all park in the main parking lot and use the golf carts, bicycles or walk to get around the site.

There are also eight wooden tent platforms in the southwest corner of the Ratna Ling property. The platforms are connected by existing dirt paths, approximately five feet wide and have existing infrastructure, such as water and electricity.

Traffic - The retreat center currently has 25 volunteers and 1,381 retreat participants per year with the accompanying traffic.

Water Supply - Currently, the Center's water demand is 4.26 AF/year, but only 1.79 AF/year of groundwater is used to meet this demand. This demand is supplied as follows:

1.79 AF/year	groundwater from wells
<u>2.47 AF/year</u>	<u>Treated surface water from the existing reservoir</u>
<b>4.26 AF/year</b>	<b>Total current water demand</b>

These amounts are not projections; they are based on actual water use at the retreat facility during the last four years.

\* \* \*

## Proposed Project

The proposed project will result in almost no new County-approved construction. In an abundance of caution, the applicant is asking the County to analyze the environmental impacts of five new guest cottages, the conversion and expansion of an existing storage structure to a guest cottage, one six-bedroom residential dwelling unit, a healing center, a partially existing campground area, and a partially constructed senior center. All of these items except for the campground and the six-bedroom single family dwelling are authorized by prior permits and the applicant has a vested right to construct them.

General Plan Consistency Discussion - In 1989, the now superseded Sonoma County General Plan was adopted. The Ratna Ling site was given a Resources and Rural Development (RRD) land use designation by the 1989 plan. Section 2.8.1 of the 1989 plan listed as permitted uses in the RRD land use category “public and private schools and churches.” It also allowed “lodging, campgrounds and similar recreational and visitor serving uses” provided that such uses did not run afoul of the primary purpose of the RRD District to protect resource areas.

On September 9, 2004, the Sonoma County Board of Zoning Adjustments adopted a resolution approving UPE 04-0032. The major entitled uses approved by UPE 04-0032 included “a non-commercial retreat center and monastery” and, in recognition of the integral religious significance of the Sacred Text production to members of the Ratna Ling spiritual community, the construction of “a new 18,750 square foot religious printing facility” described as “non-commercial” and as “an ancillary use to the monastery and non-commercial retreat center.” The findings in the September 9, 2004, resolution, included, among other things, that the proposed use was consistent with the RRD land use designation and applicable zoning district regulations and that the proposed use would not be detrimental to the health, safety, peace, comfort and general welfare of persons or property in the area.

On September 23, 2008, the now effective Sonoma County General Plan 2020 was adopted. The Natural Resource Land Use Policies are set forth in Section 2.7 of the 2020 Plan. Permitted RRD uses carried forward from the 1989 General Plan include “public and private schools” and “places of religious worship.” The RRD land use designation continues to allow “lodging, campgrounds and similar recreation and visitor serving uses” so long as they do not run afoul of the primary purposes of the RRD Zoning District to protect resource lands. The uses sought pursuant to this Master Use Permit are minor clarifications and modest expansions of the previously approved uses, all of which have been found by the County to be consistent with both the RRD General Plan land use designation and RRD implementing zoning regulations. The uses of the Ratna Ling site for religious practice, the housing of individuals associated with that practice, and the ancillary printing of Sacred Texts which are an integral part of the Ratna Ling Buddhist religious practice are acceptable uses in the RRD General Plan land use category. The modest requested additions to existing and previously approved uses do not pose a threat to the resource values of the site.

Revised Occupancy – As revised, the proposed occupancy fluctuates seasonally. This project description reduces overall the applicant's prior requests for occupancy, for volunteers and retreat participants. The applicant requests a maximum occupancy limit of 98 people per night for six months and 122 people per night for six months, as follows:

December, January & February: an average of 67 people  
March, April & May: an average of 70 people  
June, July & August: an average of 110 people  
September: an average of 90 people  
October and November: an average of 70 people

New Structures -As is set forth above, the only new, not yet permitted construction is the six-bedroom residential dwelling unit and four new storage buildings. In an abundance of caution, the Center is including construction of five new cottages and the conversion and expansion of a storage structure to be Cottage 20 in the Master Use Permit, even though construction of these structures is already protected by a vested right. Cottage 20 has been relocated in order to move it farther away from a drainage way. The infrastructure for the residential dwelling unit will be placed within the existing driveway that goes from Hauser Bridge Road to the site for the residential dwelling unit. Other new construction includes the Healing Center and completion of the previously approved and partially-constructed Senior Center, which are also already authorized by a vested right. Infrastructure for these structures already exists.

Biotics - According to the Project biologist,<sup>4</sup> the Master Use Permit will not have any impact on biotics. Construction of the previously-approved Healing Center, for which the applicant has a vested right, will result in the removal of one Oak tree and three Bay trees.

Fire – The applicant met on-site with County staff to confirm that the proposed project complies with all fire laws and regulations.<sup>5</sup> During an on-site meeting with Roberta MacIntyre, the County's Fire Marshal, with Zippy Singer, the captain of the local volunteer fire protection district, present,<sup>6</sup> Ratna Ling agreed to comply with every single recommendation from the County Marshal.

Traffic - The Master Use Permit will not substantially increase existing traffic. Retreat participants arrive by car – many carpool – and upon arrival, park their cars in the designated lot and walk or ride bikes to get around the project site and typically do not drive again until the end of the retreat, when the participant leaves the Center. Based on the current operations, the traffic consultant concluded that the proposed project will only generate an additional 38 trips per day. Since Ratna Ling is now reducing its occupancy

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<sup>4</sup> Letter from Ted Winfield, Ph.D., dated March 13, 2013.

<sup>5</sup> As with most Fire Protection Districts in Sonoma County, the TCFPD, which is a special district comprised entirely of volunteers, contracts with the Sonoma County Department of Emergency Services to review plans and conduct inspections. The Department of Emergency Services has full time, trained staff members and space in PRMD to meet with the public to perform these obligations.

<sup>6</sup> In their personal capacities, Mr. Singer and his wife actively oppose the Master Use Permit Application.

to fluctuate seasonally, the occupancy and concomitantly traffic numbers, will be even lower than what was evaluated in the traffic analysis. Even without considering the new, lower, and seasonal occupancy, the consultant noted this is likely an *overestimate* of actual trips.<sup>7</sup> Thus, the traffic analysis is extraordinarily conservative. The applicant's traffic consultant also concluded that retreat participants arriving on Fridays and leaving on Sundays will not substantially impact traffic on Hauser Bridge Road.<sup>8</sup> The Master Use Permit will limit truck trips, for transportation of the Sacred Texts, to one truck (two trips) per day. Additionally, traffic would be further reduced by Ratna Ling's commitment to utilize local contractors where practicable. Sonoma County's Department of Transportation reviewed the applicant's earlier statements and concluded that one truck/two truck trips per day will not adversely impact road quality.

Water Supply - With the Master Use Permit, the water demand will increase from 4.26 AF/year to 6.29 AF/year. This is an increase of 2.03 AF/year. The increased demand will be met exclusively with rain water captured in or on the banks of the existing, clay-lined reservoir and water that is collected from building roofs. Since the Master Use Permit will not change the amount of groundwater the Center uses, there is no change in groundwater consumption. Nevertheless and since groundwater will be used to partially supply the final operation, the applicant's consultant, EBA Engineering, prepared a Groundwater Availability Study<sup>9</sup> in accordance Sonoma County General Policy WR-2e. This study analyzed the reservoir's recharge and concluded that, with the increased water use, the reservoir's water balance is neutral and there is adequate water to supply the structures and uses allowed by the Master Use Permit. However, as a good neighbor practice, the applicant is volunteering for the following condition of approval:

In the event of a drought year, the applicant shall proportionally reduce its occupancy to correspond to the reduced rainfall. For purposes of this condition "drought year" shall mean that there is less than 18" of rainfall for the entire rainy season, as the rainfall is measured on the project site on March 1 of each year. The applicant may install its own rain meter or may hire a consultant to measure the rainfall. In the event that there is less than 18" of rainfall on March 1, the applicant shall do all of the following: (i) reduce water used to supply landscaping and all other non-domestic uses and (ii) have a qualified person, as determined by PRMD, calculate proportionally reduced occupancy rates based on the amount of water available after the applicant reduces the water demand for non-domestic uses. The applicant shall adhere to the qualified person's reduced occupancy recommendations.

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<sup>7</sup> W-Trans Traffic Study, dated July 29, 2011, p. 2.

<sup>8</sup> W-Trans Traffic Study, dated January 10, 2013.

<sup>9</sup> Geologic Groundwater Report for General Plan Policy WR-2e, prepared by Mike Delmanowski at EBA Engineering, dated March 26, 2013.

Even though the water balance for the increased reservoir uses is neutral and this condition of approval is not essential, the applicant volunteers it as a good neighbor practice.

### CHANGES TO THE PHYSICAL CONDITION

The proposed project will result in the following changes to the existing physical condition:

- A. Physical Structures – the project proposes the following new structures:
1. *Six Bedroom Dwelling/Residence* - a 3,000 square foot retreat house on 36000 Hauser Bridge Road (a separate legal parcel) at a disturbed site that used to have four or five trailers on it. The building pad, driveway, gate, and utilities all exist. The only physical changes are installing additional utilities, which will run down the existing driveway, installing septic, and constructing the house.
  2. *Senior Center* – Ratna Ling has a vested right to finish the partially constructed senior center, which is approximately 5,900 square feet. The foundation, driveway, parking, and major structural supports all exist. The Master Use Permit application includes completing this structure.
  3. *Guest Cottages* – Ratna Ling also has a vested right to construct five new cottages - cottages 11, 12, 13 and 14, and to convert and expand an existing storage building into Cottage 20. Cottage 11 will be located in a disturbed area. As previously mentioned, Cottage 20 has been relocated to move it farther away from a drainage way. Each cottage is approximately 1,010 square feet, for a total of 5,050 square feet in new cottage construction.
  4. *Healing Center* – the previously approved healing center would be constructed under the Master Use Permit and will be 9,900 square feet. This will result in the removal of one Oak Tree and three Bay Trees. Even though it is not necessary, the applicant is volunteering to plant 12 replacement trees. Utilities will be placed in the existing asphalt path.
  5. *Campground/Tents* – the Master Use Permit includes eight seasonal tents to be used from May to October. These tents will be re-installed on existing wood platforms and will be served by existing infrastructure and dirt paths that are roughly five feet wide.
- B. Uses – The Master Use Permit will increase the occupancy limits for the printing press building from 27 to whatever is permitted by Chapter 13 of the Sonoma County Code, which incorporates the California Fire Code by reference. The Master Use Permit will also change the temporary status of the four existing Sacred Text Storage Buildings to permanent, but there will be no physical

changes to any of these structures. Ratna Ling proposes that those portions of the use permit authorizing the operation of a printing facility for production of sacred texts and other works of art shall terminate in the event that the project site is conveyed to a third party not affiliated with the traditions and practices of Tibetan Buddhism. In the event this type of conveyance, Ratna Ling will dismantle and remove the printing equipment.

- C. Water Supply – There will be no change to groundwater use. The proposed project will increase use of water in the existing, clay-lined reservoir by 2.03 AF/year. The only water used to replenish the reservoir will be rain that falls directly on the surface or banks of the reservoir and rainwater captured from roofs. EBA Engineering evaluated the water supply and demand and concluded that, even with the increased demand, the recharge for the reservoir is neutral and will provide adequate water for the propose project. Although it is not necessary, the applicant volunteered for a condition of approval restricting occupancy during drought years.

Attachments:

1. W-Trans letter dated January 10, 2013
2. EBA Engineering Geologic Report for General Plan Policy WR-2e/Groundwater Supply Analysis dated March 26, 2013
3. EBA Engineering letter dated March 26, 2013, responding to the Kamman comment letter
4. Ted Winfield & Associates letter and report dated March 13, 2013, updating Biotics Information
5. CV for Gene Gretchen, Site Manager for Ratna Ling
6. Updated Site Plan dated March 26, 2013



## COUNTY OF SONOMA PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

### MEMO

**Date:** April 9, 2012  
**To:** Cynthia Demidovich  
**From:** Ben Neuman, Manager Building and Safety Division  
**Subject:** Ratna Ling Temporary Tents – UPE08-0016  
35755 Hauser Bridge Rd.

The question has been raised whether or not the existing tent structures built under permit and inspection will be required to meet requirements contained within the 2010 California Building Code and wildfire exposure provisions as identified in Chapter 7A.

Short answer: The subject structures need only comply with the code and regulations in effect at the time of permit application and need not comply with Chapter 7A.

Long answer: Section 1.1.9 of the California Building Code states that only those standards approved by the California Building Standards Commission that are effective at the time an application for a building permit is submitted shall apply to the plans and specifications for, and to the construction performed under, that permit.

Section 102.6 of the California Building Code states that legal occupancy of any existing structures shall be permitted to continue without change, except as specifically covered in this (building) code.

Chapter 7A of the California Building Code became effective via emergency ratification on June 21, 2006 and applied to the permits submitted after that date. Section 705A contained within the emergency regulations allowed each jurisdiction the ability to determine whether or not the requirements of Chapter 7A would apply to ancillary buildings and structures. In this case, PRMD determined the subject structures need not comply with Chapter 7A. Of note, this section was rewritten as Section 710A in the 2010 California Building Code and required compliance with Chapter 7A. The 2010 California Building Code became effective on January 3, 2011, long after the subject structures were permitted and built.

Building permit applications were submitted between March and August 2008 for the subject structures. Neither the use, nor size of the structures have changed, or is proposed to be changed. The subject structures met the standards for a permanent structure and no accommodation was provided for temporary use. The change from temporary to permanent status is not considered a change of occupancy. The structures need only comply with the code in effect at the time of permit application. There is no justification to impose the more restrictive requirements of the 2010 California Building Code.



From: Roberta MacIntyre [mailto:Roberta.MacIntyre@sonoma-county.org]  
Sent: Friday, May 18, 2012 3:22 PM  
To: Ben Neuman  
Cc: DeWayne Starnes; Cynthia Demidovich  
Subject: Ratna Ling

Ben,

I am not sure if it matters but I finally had time to digest your findings of the memo (attached) regarding the fire resistance of the membrane structures at the Ratna-Ling Site. It appears that the code in place at the time of construction did not yet have the wildland-urban interface construction requirements in place, but those came in at a later date (see 2007 CBC Page 237, & 2007 CBC Page 237 January 1, 2009 Supplement – attached). Therefore, the building(s), if constructed prior to January 1, 2009, meet the construction requirements in place at the time of construction.

Respectfully,

Roberta MacIntyre, Fire Marshal  
Sonoma County Fire & Emergency Services Department  
Fire Prevention Division  
2300 County Center Drive - Suite 221-A, Santa Rosa CA, 95403  
(707) 565-1154

Attorney-client communication/Privileged and confidential

=====Confidentiality Statement=====

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LAW OFFICES OF  
CLEMENT, FITZPATRICK & KENWORTHY  
INCORPORATED  
3333 MENDOCINO AVENUE, SUITE 200  
SANTA ROSA, CALIFORNIA 95403  
FAX: 707 546-1360

TELEPHONE: (707) 523-1181

STEPHEN K. BUTLER

July 9, 2013

*VIA EMAIL*

[Cynthia.demidovich@sonoma-county.org](mailto:Cynthia.demidovich@sonoma-county.org)

Cynthia Demidovich  
Sonoma County PRMD  
2550 Ventura Avenue  
Santa Rosa, CA 95403

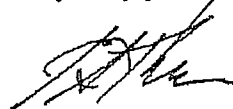
Re: *Ratna Ling Master Use Permit Application*  
*PLP 08-0021*

Dear Ms. Demidovich:

The purpose of this letter is to amend the applicant's March 26, 2013 Project Proposal. The applicant respectfully requests that it be allowed to modify its March 26, 2013 Project Proposal by reducing the size of the 6-bedroom dwelling on the "Dixie Parcel" from 6 bedrooms to 5 bedrooms. Additionally attached are the perc test reports showing that the soils on the Dixie Parcel are suitable for a 5-bedroom dwelling.

Please feel free to call me at 707-523-1181, if you have any questions about this letter. Please note that all other aspects of the March 26, 2013 Project Proposal will remain in full force and effect.

Very truly yours,



STEPHEN K. BUTLER

TW/pd  
attachments  
c(w/attachments): client  
Tina Wallis  
Supervisor Efren Carrillo



**FILE COPY**

ANALYSIS  
PLANNING  
SURVEYING  
ENGINEERING

2952 Mendocino Avenue, Suite C  
Santa Rosa, California 95403

(Office) 707-578-3433  
(Fax) 707-526-3433

November 11, 2008

County of Sonoma  
Department of Permit and Resource Management  
2550 Ventura Ave.  
Santa Rosa, CA 95403

Attn: Ms. Tracey FitzGerald, R.E.H.S.

Subject Percolation Test Report - Supplemental  
Worksite 36000 Hauser Bridge Road, Cazadero  
APN 109-230-018  
D4E Project # 6742.1

Dear Tracey,

Transmitted herewith are:

- ✓ Perc Test Data
- ✓ Site Sketch
- ✓ Soil Profiles
- ✓ Soil Sample Analysis

Adequate presoak was performed; the test was set up to comply with County Standards; the test was performed with my review in accordance with the intent of the established requirements of Sonoma County Department of Permit and Resource Management. This report is a true and accurate indication of the suitability of the site for on-site sewage disposal as measured by the Standards of Sonoma County and the Permit and Resource Management Officer.

Based on current Permit and Resource Management requirements, the attached test data establishes the percolation rates shown below:

Existing Soil Depth (inches)	Average Percolation Rate (minutes per inch)
12 (Holes 29-37, 41, 42)	3
24 (Holes 25-27, 30, 35, 36)	22
36 (Hole 34)	4

I recommend that sewage disposal needs be met with:

SYSTEM TYPE	Drip		LOCATION
	Mound	Irrigation	
Primary	✓	Or ✓	Holes 6 & 7 from 10/23/08 report and Hole 25
1 <sup>st</sup> Expan	✓	Or ✓	Hole 1 from 10/23/08 report, Holes 27 & 28, and Profile 08A
2 <sup>nd</sup> Expan	✓	Or ✓	Holes 26, 33, 34, 35, 41 and Profile 08C

Based upon currently applied standards, the area tested appears to be adequate for a 5-bedroom house with a 200% expansion area. Previous report dated 10/23/08 and this report indicate a total area adequate for a 10-bedroom house with 200% expansion.

SEPTIC SYSTEM SIZE:

- The **Mound** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **170' x 30'**.
- The **Drip Irrigation** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **100 Sq Ft** per bedroom.

I recommend the following design features:

- ✓ An effluent sump and pump **are** required;
- ✓ The system construction plans should be prepared by a Civil Engineer;
- ✓ A detailed topographic map of the septic area is **required**.

Some factors which may affect future usability of the area tested are:

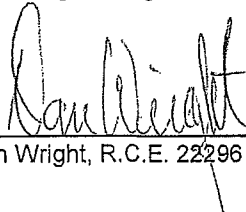
- ✓ Future building location and/or driveway location;
- ✓ Future changes in drainage patterns or groundwater;
- ✓ Future well location on site if any;
- ✓ Septic site is less than 100 feet from the property line and any future well on the adjacent property may be less than 100 feet from proposed leachlines making the area tested or a portion of it unusable;
- ✓ Existing well setback.

Drip irrigation septic systems are currently limited to 480 gallons of effluent per day by North Coast Regional Water Quality requirements. However, it is possible to use a drip irrigation system plus mound septic systems to support 1140 gallons per day, or six cabins.


Please review this report and issue written comments regarding Sonoma County Department of Health Services requirements for approval of a permit to construct an on-site sewage disposal system in the test area described.

Any persons seeking to utilize this report are advised to obtain and consult the Sonoma County Department of Health Services response requested above.

Sincerely,  
Dimensions 4 Engineering, Inc.

By   
Dan Wright, R.C.E. 22296



By   
John Cohn, E.I.T. 117140

Enc.: map  
Perc data

cc: Ratna Ling, Owner Attn: Doug Nurnberg  
File

SONOMA COUNTY  
 PERMIT AND RESOURCES MANAGEMENT DEPARTMENT  
 2550 Ventura Ave. - Santa Rosa, CA 95403

SOIL PERCOLATION TEST DATA

Address of Percolation Test: 36000 Hauser Bridge Road				A.P. Number: 109-230-018		Winter Groundwater Test: no		"Wet Weather Perc" no	
Owner's Name: Ratna Ling				Field Check: Yes <input type="radio"/> No <input checked="" type="radio"/>		By: Date: _____ Time: _____			
Owner's Mailing Address: 35755 Hauser Bridge Road				Review of Data: Rates Acceptable: Yes <input type="radio"/> No <input type="radio"/>					
City/State/Zip Code: Cazadero, CA 95421			Telephone Number: 707-322-6330			Remarks:   Dimensions 4 Engineering 1000 Mendocino Ave, Santa Rosa, CA 95403 Tel: (707) 578-3433		Receipt Information:	
Water Supply: <input checked="" type="radio"/> Private <input type="radio"/> Public			Lot or Parcel Size: 13 acres						
Test Conducted By: Dimensions 4 Engineering			Telephone Number: (707) 578-3433						
Address/City/State/Zip Code: 2952 Mendocino Ave, Santa Rosa, California 95403									
Type of Soil: Empire Loam			Date of Test: November 5, 2008			Circle One: Initial Test <input type="radio"/> Supplemental <input checked="" type="radio"/>		Sanitarian: T. FitzGerald REHS	

Hole Number	Depth of Hole	Pipe Length	Presoak Remain	Start		First Measurement		Second Measurement		Third Measurement		Fourth Measurement		Fifth Measurement		Sixth Measurement		Rate MPI
				Time	Inches	Time	Inches	Time	Inches	Time	Inches	Time	Inches	Time	Inches	Time	Inches	
25	24"	24"	0"	9:00	12	10:00	d/r	10:10	20	10:20	d/r	10:30	19 1/2	10:40	d/r	10:50	20	4
				11:00	d/r	11:10	19 3/8	11:20	22 1/4r	11:30	18 3/4	11:40	22r	11:50	18	12:00	20 1/4	
26	24"	24"	0"	9:00	12	10:00	d/r	10:10	15 3/8	10:20	18	10:30	19 7/8	10:40	21	10:50	22 1/2r	9
				11:00	16 1/2	11:10	18 1/8	11:20	19 1/2	11:30	21	11:40	22 1/8r	11:50	15 3/8	12:00	17 1/8	
27	24"	24"	0"	9:00	12	10:00	15 1/8	11:00	15 7/8	12:00	16 1/2	1:00	17 1/4	2:00	17 7/8	3:00	18 1/2	96
28	24"	24"	1/2"	9:00	12	10:00	16 1/2	11:00	17 3/8	12:00	18	1:00	18 5/8	2:00	19 1/8	3:00	19 5/8	120
29	12"	12"	0"	9:00	0	10:00	d/r	10:10	d/r	10:20	11 1/8r	10:30	10 1/2r	10:40	11r	10:50	d/r	4
				11:00	10 5/8r	11:10	9 3/4	11:20	d/r	11:30	10 1/8r	11:40	9 1/2	11:50	d/r	12:00	10 1/8	
30	24"	24"	0"	9:00	12	10:00	d/r	10:10	20 3/8	10:20	23 1/4r	10:30	17 3/8	10:40	20 1/2	10:50	22 1/2r	8
				11:00	18 3/4	11:10	20 1/2	11:20	22r	11:30	17 5/8	11:40	19 7/8	11:50	21 1/8	12:00	22 3/8	
31	36"	45"	5"	9:00	33	10:00	34	11:00	34 3/4	12:00	35 3/8	1:00	35 3/8	2:00	35 5/8	3:00	35 5/8	-
32	24"	36"	0"	9:00	24	10:00	26	11:00	27	12:00	27 5/8	1:00	27 7/8	2:00	28 3/8	3:00	28 7/8	240





ANALYSIS  
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2952 Mendocino Avenue, Suite C  
 Santa Rosa, California 95403

(Office) 707-578-3433  
 (Fax) 707-526-3433

SOIL PROFILES  
 36000 Hauser Bridge Road  
 APN 109-230-018  
 8/19/08

Witness: Dan Wright, R.C.E.  
 Tracey FitzGerald, R.E.H.S.  
 Backhoe: Bohan & Canelis (Nick)

Profile 08A	21% Slope ±
0" - 34"	Very dark grayish brown (10YR3/2) clay loam; less than 5% rock; blocky; friable; dry; excellent pores; many fine roots.
34" - 48"	Dark yellowish brown (10YR3/4) clay loam; less than 5% rock; blocky; friable to firm; dry; good pores; some roots.
48" - 55"	Dark yellowish brown (10YR4/4) soft shale; 30+% rock; blocky; firm; dry; some pores; few roots.
	Hydro at 30".
	No seepage or groundwater.

Profile 08B	10% Slope ±
0" - 22"	Similar to Horizon 1, 08A.
22" - 49"	Similar to Horizon 2, 08A.

Profile 08C	18% Slope ±
0" - 28"	Similar to Horizon 1, 08A.
28" - 63"	Similar to Horizon 2, 08A.

Profile 08D	25% Slope ±
0" - 27"	Similar to Horizon 1, 08A.
27" - 56"	Similar to Horizon 2, 08A.

Profile 08E	18% Slope ±
0" - 20"	Similar to Horizon 1, 08A.
20" - 54"	Similar to Horizon 2, 08A.

**Oakley Laboratory & Field Services** ≡|||≡|||≡|||≡|||≡|||

1645 Chapman Way • Santa Rosa , CA 95403 • Telephone 707-575-1075

August 23, 2008  
Job No. 08-103.440

Dimension 4 Engineering  
2952 Mendocino Avenue  
Santa Rosa, Calif. 95401

Attention: Mr. John Cohn

Re: Results of Soil Texture Analysis  
By Bouyoucous Hydrometer Method and Bulk Density Test

Client: Ratna Ling, # 6742

Client Address: 36000 Hauser Bridge Road

The results of the soil texture analysis on samples received on August 20, 2008 are as follows:

Sample Location	08A @ 30"
% Plus No. 10 (WT)	30.5
% Sand	47.8
% Clay	28.0
% Silt	24.2
Bulk Density Test	--

We are pleased to provide laboratory services for you and look forward to your continued work. If you have any questions, please call.

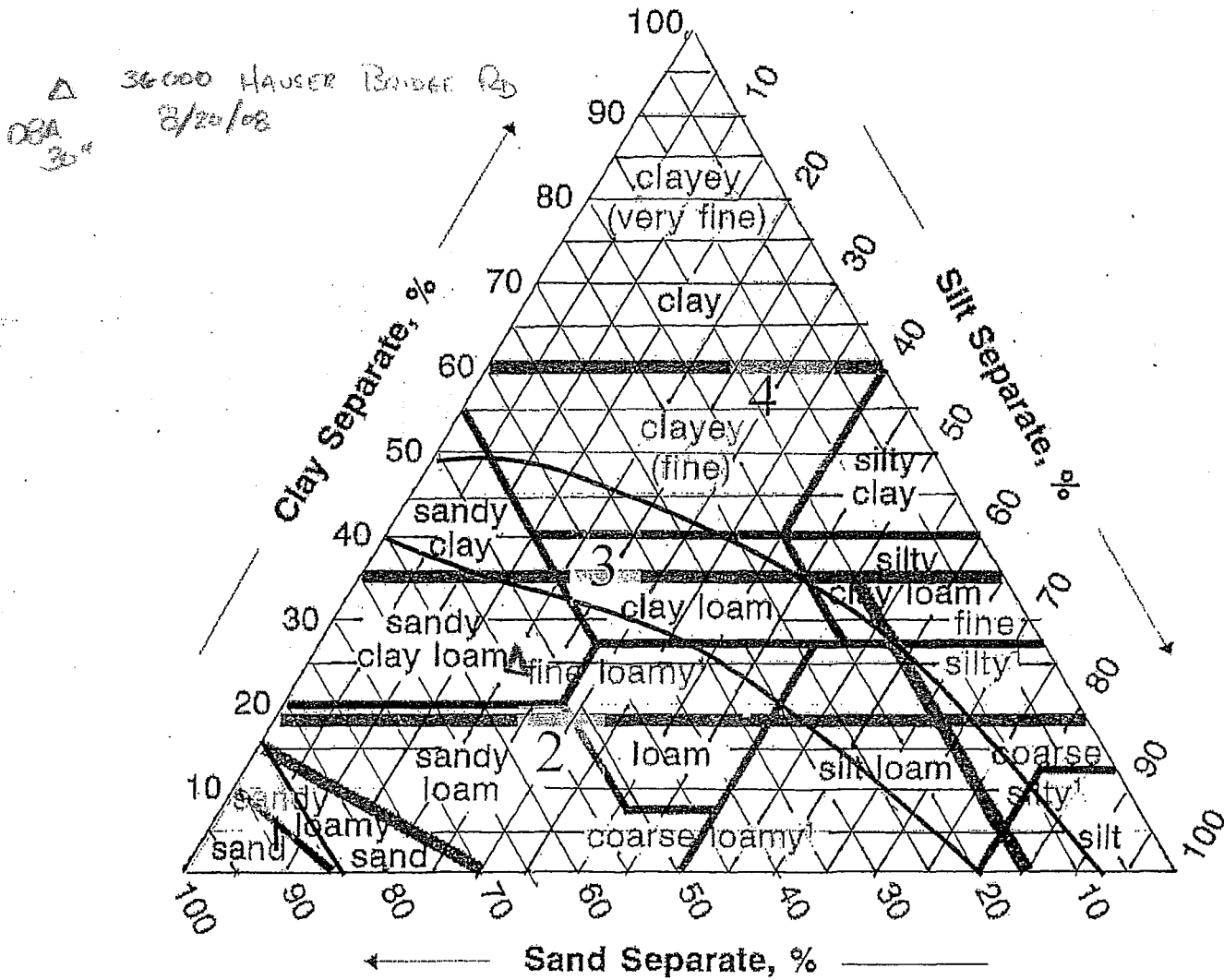
Oakley Laboratory and Field Services

By: Wayne G. Oakley  
Wayne G. Oakley  
Laboratory Director



TEXTURAL TRIANGLE

**Combined Texture Triangles:  
Fine Earth Texture Classes ( — ) &  
Soil Textural Family Classes ( █ )**



<sup>1</sup> Very fine sand (0.05 - 0.1) is treated as silt for family groupings; coarse fragments are considered the equivalent of coarse sand in the boundary between the silty and loamy classes.

*Just 2% Sand in Group 10% Group*



# COUNTY OF SONOMA PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

Subject: **Soils Evaluation for On-Site Sewage Disposal Purposes**

Don Wright P.O. 124 Dr. Williams  
2952 Mendocino Ave. Slot  
Santa Rosa, CA 95413

Date: 1/12/19

36000 Hansen Bridge P.O.

Site Address:

109 130 075  
Assessor's Parcel Number  
EV01-0702

Property Owner:

Site I.D. #:

Subdivision #

Lot #:

Your soils evaluation for the subject property has been reviewed and filed. Review of the data indicates potential for the following type of sewage disposal system:

Area 1: 1/4 acre (42.5% slope) drainage of 24" 1" d. pipe, 0.3 gal/day  
LE sized at: 1.6 gal/day/1.5' day  
Disp. disposal based on 70mpd guideline states 0.2 gal/day

- Design by a Registered Environmental Health Specialist or Registered Civil Engineer is required.
- Complete topographic map of site is necessary.
- The following critical design elements need to be observed. Final approval cannot be given until these have been addressed:

Note: As discussed previously, the design cannot exceed 1.8 gal/day  
Area. RFEH stated the data that no new sewage disposal  
permits will be issued without RWQCB approval.

The sewage disposal capability of the site is dependent upon topography and setbacks. The acceptable sewage discharge volume (i.e., number of bedrooms in a dwelling) will be based upon the final sewage disposal system design.

Construction of the septic system cannot occur until plans have been approved and a permit has been issued by our office. **All septic systems must comply with standards in effect at the time of permit application.**

For further information, please feel free to contact the undersigned at (707) 565-1900 between 7:30 & 9:00 a.m.

Very truly yours,

Juan J. Lopez  
District Environmental Health Specialist



FILE COPY

707-578-3433

ANALYSIS  
PLANNING  
SURVEYING  
ENGINEERING

2952 Mendocino Avenue, Suite C  
Santa Rosa, California 95403

(Office) 707-578-3433  
(Fax) 707-526-3433

October 23, 2008

County of Sonoma  
Department of Permit and Resource Management  
2550 Ventura Ave.  
Santa Rosa, CA 95403

Attn: Ms. Tracey FitzGerald, R.E.H.S.

Subject Percolation Test Report  
Worksite 36000 Hauser Bridge Road, Cazadero  
APN 109-230-018  
D4E Project #

Dear Tracey,

Transmitted herewith are:

- ✓ Perc Test Data
- ✓ Site Sketch
- ✓ Soil Profiles

Adequate presoak was performed; the test was set up to comply with County Standards; the test was performed with my review in accordance with the intent of the established requirements of Sonoma County Department of Permit and Resource Management. This report is a true and accurate indication of the suitability of the site for on-site sewage disposal as measured by the Standards of Sonoma County and the Permit and Resource Management Officer.

Based on current Permit and Resource Management requirements, the attached test data establishes the percolation rates shown below:

Existing Soil Depth (inches)	Average Percolation Rate (minutes per inch)
12	39
24 (Holes 1-14)	70
24 (Holes 14-24)	99
36	65

I recommend that sewage disposal needs be met with:

SYSTEM TYPE	Drip Irrigation			LOCATION
	Mound	At-Grade	Irrigation	
Primary	✓	Or ✓	Or ✓	Holes 8-14
1 <sup>st</sup> Expan	✓	Or ✓	Or ✓	Holes 2-7
2 <sup>nd</sup> Expan	✓	Or ✓	Or ✓	Holes 2-7

Based upon currently applied standards, the area tested appears to be adequate for a 5-bedroom house with a 200% expansion area.

Percolation Test Review

Site: 36000 Hauser Bridge Road, Cazadero

Date: October 23, 2008

Page 2 of 2

SEPTIC SYSTEM SIZE:

- The **Mound** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **85' x 30'**.
- The **At-Grade** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **83' x 38'** providing enough to handle 4-bedrooms with 200% expansion.
- The **Drip Irrigation** septic system requires design calculations based on a system layout using a detailed topographic map. The estimated size of the system is **660 Sq Ft** per bedroom.

I recommend the following design features:

- ✓ An effluent sump and pump are required;
- ✓ The system construction plans should be prepared by a Civil Engineer;
- ✓ A detailed topographic map of the septic area is required.

Some factors which may affect future usability of the area tested are:

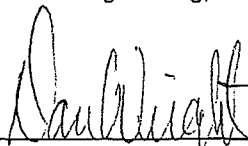
- ✓ Future building location and/or driveway location;
- ✓ Future changes in drainage patterns or groundwater;
- ✓ Future well location on site if any;
- ✓ Septic site is less than 100 feet from the property line and any future well on the adjacent property may be less than 100 feet from proposed leachlines making the area tested or a portion of it unusable;
- ✓ Existing well setback.

Drip irrigation septic systems are currently limited to 480 gallons of effluent per day by North Coast Regional Water Quality requirements. However, it is possible to use a drip irrigation system plus mound septic systems to support 1140 gallons per day, or six cabins.

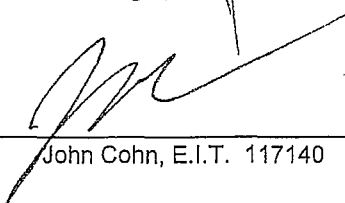
Please review this report and issue written comments regarding Sonoma County Department of Health Services requirements for approval of a permit to construct an on-site sewage disposal system in the test area described.

Any persons seeking to utilize this report are advised to obtain and consult the Sonoma County Department of Health Services response requested above.

Sincerely,  
Dimensions 4 Engineering, Inc.

By   
Dan Wright, R.C.E. 22296



By   
John Cohn, E.I.T. 117140

Enc.: map  
Perc data

cc: Ratna Ling, Owner Attn: Doug Nurnberg  
File



ANALYSIS  
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SURVEYING  
ENGINEERING

2952 Mendocino Avenue, Suite C  
Santa Rosa, California 95403

(Office) 707-578-3433  
(Fax) 707-526-3433

SOIL PROFILES  
36000 Hauser Bridge Road, Cazadero  
APN 109-230-018  
9/30/08

Witness: Dan Wright, R.C.E.  
Tracey FitzGerald, R.E.H.S.

Profile	Slope
<b>Profile 08F</b>	<b>10% Slope ±</b>
0" – 12"	Very dark grayish brown (10YR3/2) sandy loam; less than 5% rock; blocky; friable; dry; excellent pores; many roots.
12" – 24"	Dark yellowish brown (10YR4/6) sandy loam; less than 5% rock; blocky; friable to firm; dry; good pores; some roots.
24" – 36"	Yellowish brown (10YR5/8) soft sandstone; less than 5% rock; blocky to massive; firm; dry; few pores; few roots.
No seepage or groundwater	
<b>Profile 08G</b>	<b>10% Slope ±</b>
0" – 16"	Similar to Horizon 08F, 0" – 12". Some fine roots.
16" – 40"	Yellowish brown (10YR5/4) sandstone to shale; massive; extremely firm; dry; few pores; no roots.
No seepage or groundwater.	
<b>Profile 08H</b>	<b>9% Slope ±</b>
0" – 25"	Similar to Horizon 08F, 0" – 12". Massive roots.
25" – 43"	Dark yellowish brown (10YR3/4) sandy loam; less than 5% rock; blocky; friable; dry; good pores; some roots.
No seepage or groundwater.	
<b>Profile 08I</b>	<b>9% Slope ±</b>
0" – 24"	Similar to Horizon 08F, 0" – 12".
24" – 36"	Dark yellowish brown (10YR4/4) sandy loam; less than 5% rock; blocky; friable; dry; good pores; some roots.
36" – 46"	Dark yellowish brown (10YR4/4) sandy loam; less than 5% rock; blocky; friable to firm; dry; fair pores; few roots.
No seepage or groundwater.	

SONOMA COUNTY  
 PERMIT AND RESOURCES MANAGEMENT DEPARTMENT  
 2550 Ventura Ave. - Santa Rosa, CA 95403

SOIL PERCOLATION TEST DATA

Address of Percolation Test: 36000 Hauser Bridge Rd., Cazadero		A.P. Number: 109-230-018	Winter Groundwater Test: No	"Wet Weather Perc" No
Owner's Name: HEAD LAMA OF THE TIBETAN NYINGMAPA MEDITATION CTR		Field Check: Yes <input type="radio"/> No <input checked="" type="radio"/> By: Date: _____ Time: _____		
Owner's Mailing Address: 35755 Hauser Bridge Rd.		Review of Data: Rates Acceptable: Yes <input type="radio"/> No <input type="radio"/>		
City/State/Zip Code: Cazadero, CA 95421	Telephone Number: 707-322-6330		Remarks:	Receipt Information:
Water Supply: <input checked="" type="radio"/> Private <input type="radio"/> Public	Lot or Parcel Size: 13 acres			
Test Conducted By: Dimensions 4 Engineering	Telephone Number: ( 707 ) 578-3433			
Address/City/State/Zip Code: 2952 Mendocino Ave, Santa Rosa, California 95403				
Type of Soil: Empire Loam		Date of Test: October 9, 2008	Circle Or: <input checked="" type="radio"/> Initial Test <input type="radio"/> Supplemental	Sanitarian: T. FitzGerald

Hole Number	Depth of Hole	Pipe Length	Presoak Remain	Start		First Measurement		Second Measurement		Third Measurement		Fourth Measurement		Fifth Measurement		Sixth Measurement		Rate MPI
				Time	Inches	Time	Inches	Time	Inches	Time	Inches	Time	Inches	Time	Inches	Time	Inches	
1	24"	25"	1"	9:00	13	10:00	19 1/2	11:00	20	12:00	20 1/2	1:00	21	2:00	21 7/8	3:00	22 1/2	120
2	24"	24"	0"	9:00	12	10:00	21 1/4	11:00	23r	12:00	22 1/8r	1:00	22r	2:00	21 1/2	3:00	22 5/8	53
3	36"	36"	0"	9:00	24	10:00	32 1/2	11:00	d/r	12:00	33 5/8	1:00	d/r	2:00	32 3/8	3:00	35	25
4	24"	24"	0"	9:00	12	10:00	d/r	10:10	14 1/2	10:20	17 1/4	10:30	19 1/2	10:40	20 3/4	10:50	21 1/2	↔
				11:00	22r	11:10	20	11:20	22 1/2	11:30	d/r	11:40	14	11:50	17 1/2	12:00	19 1/4	20
5	12"	14"	0"	9:00	2	10:00	10 1/8	11:00	11r	12:00	10 1/8	1:00	10 7/8	2:00	11 5/8	3:00	12 3/8	80
6	24"	24"	0"	9:00	12	10:00	15 3/4	11:00	18	12:00	19 1/8	1:00	20 1/4	2:00	20 3/4	3:00	21 5/8	120
7	24"	25"	0"	9:00	13	10:00	20 1/4	11:00	21 7/8	12:00	22 5/8r	1:00	20 3/4	2:00	21 3/4	3:00	22 3/4	80
8	24"	24"	0"	9:00	12	10:00	d/r	10:10	d/r	10:20	d/r	10:30	d/r	10:40	d/r	10:50	d/r	↔
				11:00	d/r	11:10	d/r	11:20	d/r	11:30	23r	11:40	22 7/8r	11:50	23 1/8r	12:00	23 1/8	1
9	36"	36"	0"	9:00	24	10:00	28 3/8	11:00	31 1/4	12:00	32 1/2	1:00	33 3/4	2:00	34 5/8r	3:00	28	69



LAW OFFICES OF  
CLEMENT, FITZPATRICK & KENWORTHY  
INCORPORATED  
3333 MENDOCINO AVENUE, SUITE 200  
SANTA ROSA, CALIFORNIA 95403  
FAX: 707 546-1360

TELEPHONE: (707) 523-1181

TINA WALLIS  
E-MAIL: [twallis@cfk.com](mailto:twallis@cfk.com)

June 20, 2013

Cynthia Demidovich  
Sonoma County PRMD  
2550 Ventura Avenue  
Santa Rosa, CA 95403

Re: *Ratna Ling Buddhist Retreat Center*  
*PLP 08-0021*

Dear Ms. Demidovich:

Enclosed are photographs depicting the existing physical condition at Ratna Ling and showing the views, from Hauser Bridge Road, to areas of proposed new construction. Generally, the pictures move from north to south along Hauser Bridge Road.

Photo 1: Looking towards Cabins 16-19 and the proposed new residential storage unit near them. The trees will remain in place and will screen the new residential storage building.





Cynthia Demidovich  
June 20, 2013  
Page 2

Photo 2: The driveway to cottages 16-19, labeled the "South Road" on the March 26, 2013 Site Plan for the Master Use Permit, and the new residential storage building. All trees will be preserved and will screen the new residential storage building.



Photo 3: Looking towards the campground area from Hauser Bridge Road. The heavily vegetated hill will screen all views of the campground from Hauser Bridge Road.



Photo 4: Another view looking towards the campground area from Hauser Bridge Road.



Photo 5: Existing parking lot with pervious pavers. This is where retreat participants and volunteers park their cars.



Photo 6: Main entry to Ratna Ling, as seen from Hauser Bridge Road.

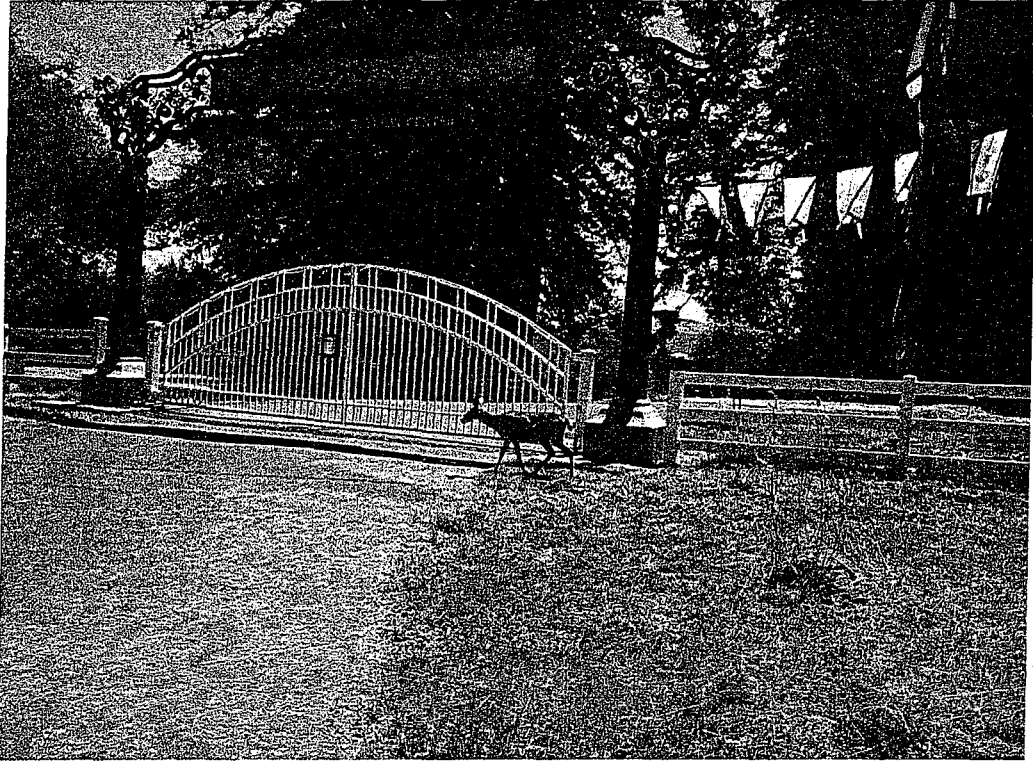
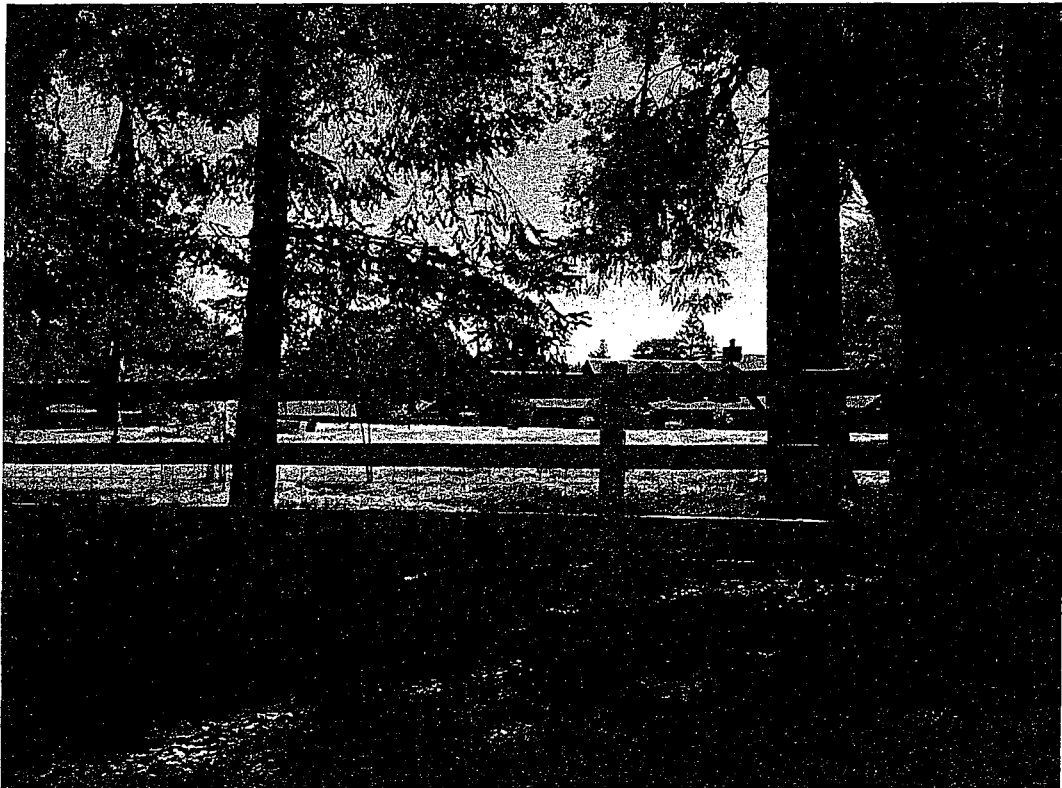


Photo 7: View of existing lodge and conference center from Hauser Bridge Road.



Cynthia Demidovich

June 20, 2013

Page 5

Photo 8: View looking towards the printing press structure from Hauser Bridge Road. The topography and vegetation screen the structure.



Photo 9: View looking towards future cottages 11, 12, 13, 14, and 20. The topography and vegetation will screen the cottages and they will not be visible from Hauser Bridge Road.



Photo 10: Bike rack and water for cyclists on Hauser Bridge Road.

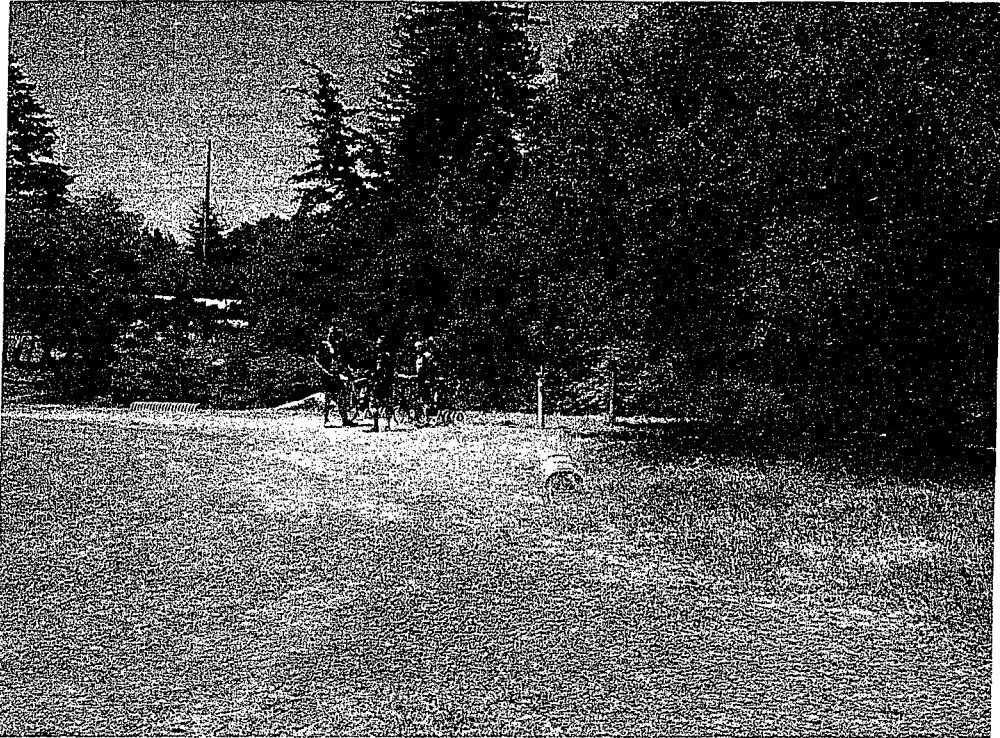


Photo 11: Gate at the intersection of Hauser Bridge Road and the curved driveway leading the existing building pad for the six-bedroom dwelling. The building pad used to have several trailers on it. All trees on this parcel will be preserved and will screen the dwelling.



Photo 12: View of curved driveway to the existing building pad (former trailer site) for the six-bedroom dwelling. All trees will be preserved to screen the view from Hauser Bridge Road.



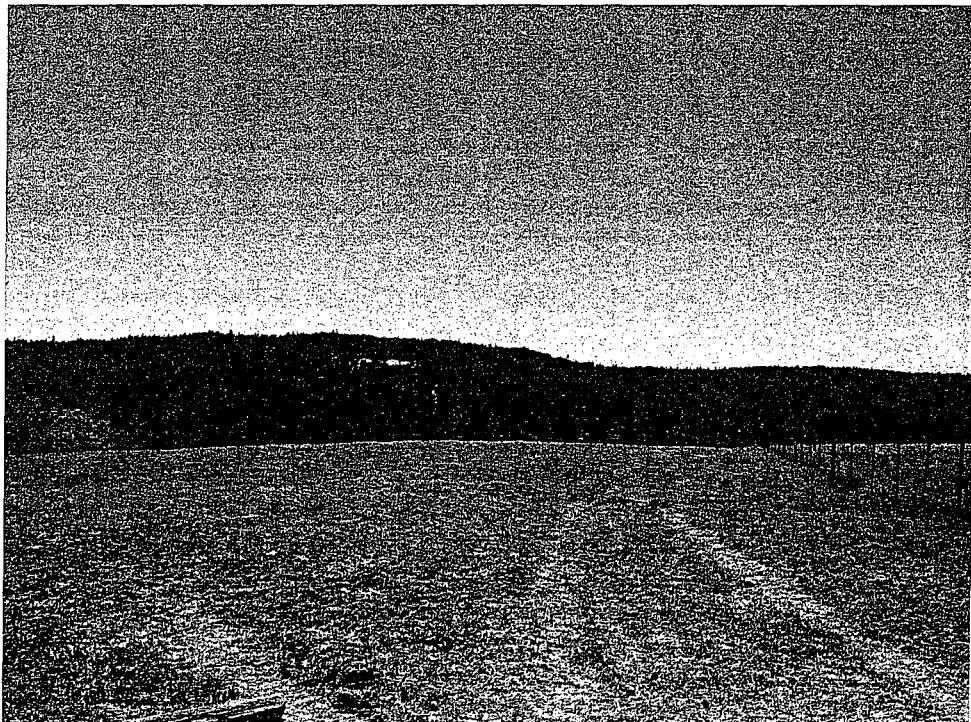
Photo 13: Most prominent view of the building pad for the six bedroom dwelling from Hauser Bridge Road.



Photo 14: Roughly 50 feet north of the most prominent view of the building pad for the six-bedroom dwelling, there is dense tree cover that will screen the structure.



Photo 15: Most prominent view of the sacred text storage building from Hauser Bridge Road.



Cynthia Demidovich  
June 20, 2013  
Page 9

Please feel free to call me at 707-523-1181 if you have any questions about this letter.

Very truly yours,

  
TINA WALLIS

TW/pd  
c: client





# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

October 10, 2013

Tina Wallis  
Clement, Fitzpatrick & Kenworthy  
3333 Mendocino Ave., Ste. 200  
Santa Rosa, CA 95403  
Via Email: twallis@cfk.com

Re: Ratna Ling Master Use Permit Application

Dear Ms. Wallis:

This purpose of this letter is to respond to your request for clarification of Ben Neuman's April 9, 2012, memo to Cynthia Demidovich and to make a formal determination that the membrane, or tent-type structures are required to comply with the 2007 California Building Code's requirements.

Chapter 7 of the Sonoma County Code regulates building construction and structure-specific issues. Sonoma County Code section 7-2 states that the Chief Building Official administers and enforces Chapter 7 of the Sonoma County Code. Sonoma County Code section 7-13 adopts the California Building Code ("CBC") and other codes by references, unless section 7-13 expressly amends a specific section of the California Building Code.<sup>1</sup> On October 23, 2007, the Sonoma County Board of Supervisors introduced Resolution No. 07-0891 and waived the reading of Ordinance 5754,<sup>2</sup> which amended Chapter 7 of the County Code to incorporate the 2007 California Building Code by reference.

As it was adopted on November 6, 2007, section 101.9 of the CBC states:

Only those standards approved by the California Building Standards Commission that are effective at the time an application for building permit is submitted shall apply to the plans and specifications for, and to the construction performed under, that permit. . . . .  
*(emphasis added)*

Thus, under the clear language of the 2007 CBC, as the Board of Supervisors adopted it, the date of a building permit application governs the standards that apply to the structures covered by the building permit. Ratna Ling submitted several building permit applications in 2008<sup>3</sup> for the tent structures

<sup>1</sup> The California Building Code is revised every three years. Thus, typically, Chapter 7 of the Sonoma County Code is updated every three years to adopt the revised CBC by reference, unless a section of the CBC is expressly amended. Sonoma County adopted Ordinance 5754, which included the 2007 CBC, on November 6, 2007. The County's adoption of the 2007 CBC became effective on January 1, 2008.

<sup>2</sup> A copy of Resolution No. 07-0891 and Ordinance 5754 are attached to this letter as Exhibit 1.

<sup>3</sup> The permit applications were:

Permit Application Date:	Permit Issued Date:	Permit No.
April 16, 2008	04-16-2008	BLD 08-1350
May 9, 2008	05-09-2008	BLD 08-1714
May 27, 2008	06-05-2008	BLD 08-2124
July 22, 2008		BLD 08-2910
May 27, 2008	08-28-2008	BLD 08-3658

currently being used to store sacred texts on the Ratna Ling property at 35755 Hauser Bridge Road. Since these permits were submitted during 2008, and the 2007 CBC was in effect at that time, it is my determination that the building permits are governed by the 2007 CBC's requirements. It is my understanding that a member of the public commented that the tent structures are subject to the 2010 CBC. This opinion is incorrect because it conflicts with the express language of the 2007 CBC. Furthermore, the express language of Chapter 7-13 of the Sonoma County Code states that the Chief Building Official administers and enforces Chapter 7 of the County Code, and therefore, the CBC.

Chapter 7A of the CBC governs materials and construction methods for exterior wildfire exposure for structures located in a "Wildland-Urban Interface Fire Area."<sup>4</sup> The Ratna Ling property is within a Wildland-Urban Interface Fire Area. I am told that the County received a comment that the tent structures do not comply with the 2010 CBC, including Chapter 7A of the 2010 CBC. This comment is in error for two reasons. First, as is previously determined, the tent structures must comply with the 2007 CBC, not the 2010 CBC. Second, the tent structures are exempt from Chapter 7A's requirements because they are accessory structures. When the State<sup>5</sup> adopted Chapter 7A of the CBC, section 704.A.5,<sup>6</sup> compliance with Chapter 7A for accessory structures is only mandated "where required" by local jurisdictions. Thus, local jurisdictions had the ability to exempt accessory structures from compliance with Chapter 7A, which Sonoma County did. Accordingly, PRMD staff determined that the tent structures were exempt from complying with Chapter 7A of the then-adopted CBC because the tent structures are accessory structures. The Chapter 7A exemption determination occurred in 2008. This exemption means that the material and flammability requirements set forth in Chapter 7A do not apply to the tent structures.

Finally, changing the classification of the tent structures from temporary to permanent has no practical effect. When PRMD reviewed and checked the plans for the tent structures, PRMD required that the tent structures met all criteria for permanent structures. The change from temporary to permanent is not a change of occupancy under the CBC that triggers any additional requirements.

Please feel free to call me at 565-1925 if you have any questions about this letter.

Sincerely,



DeWayne Starnes  
Interim Director, PRMD  
Chief Building Official for Sonoma County

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<sup>4</sup> Broadly stated, the purpose of the Wildland-Urban Interface Fire Area is to establish minimum standards for materials and material assemblies and provide a reasonable level of exterior wildfire exposure protection for buildings. In order to assess the risk of fire, the California Department of Fire evaluated three criteria: (1) fuel hazard; (2) the probability of wildland fire; and (3) housing density of at least one house per 40 acres of land. CDF then mapped and ranked the wildland fire hazard severity zones. There are three rankings: (1) moderate; (2) high and (3) very high. The Ratna Ling property is ranked "high."

<sup>5</sup> Sonoma County's practice is not to do a formal ordinance amendment when the State does an emergency ratification mid-code (i.e., in between three year code adoption/update cycles). The State adopted Phase I of the CBC Chapter 7A on May 18, 2006. During Phase I, Sonoma County looked at the application of Chapter 7A to residential structures, but did not apply Chapter 7A's requirements to appurtenant or accessory structures.

<sup>6</sup> See 2007 CBC section 704.A.5. A copy of Chapter 7A, including section 704.A.5, is attached hereto as Exhibit 2.

EXHIBIT 1

THE WITHIN INSTRUMENT IS A CORRECT COPY  
OF THE ORIGINAL ON FILE IN THIS OFFICE.

ATTEST: **OCT 24 2007**

ROBERT DEIS, Clerk of the Board of Supervisors  
of the State of California, in & for the County of  
Sonoma

BY *A. Boyer* DEPUTY

#12

RESOLUTION NO. 07-0891

DATED: October 23, 2007

**RESOLUTION OF THE BOARD OF SUPERVISORS OF THE COUNTY OF SONOMA, STATE OF CALIFORNIA, INTRODUCING, READING THE TITLE OF, AND WAIVING FURTHER READING OF AN ORDINANCE ENTITLED "AN ORDINANCE OF THE BOARD OF SUPERVISORS, COUNTY OF SONOMA, STATE OF CALIFORNIA, AMENDING CHAPTER 7, "BUILDING REGULATIONS," OF THE SONOMA COUNTY CODE TO ADOPT BY REFERENCE AND AMEND SELECTED PROVISIONS, CHAPTERS AND APPENDICES OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, 2007 EDITIONS OF THE CALIFORNIA BUILDING STANDARDS CODE, INCLUDING: (1) THE CALIFORNIA BUILDING CODE VOLUMES 1 AND 2; (2) THE CALIFORNIA HISTORICAL BUILDING CODE; (3) THE CALIFORNIA EXISTING BUILDING CODE; (4) THE CALIFORNIA MECHANICAL CODE; (5) THE CALIFORNIA PLUMBING CODE; (6) THE CALIFORNIA ELECTRICAL CODE; (7) THE CALIFORNIA ENERGY CODE, (8) THE CALIFORNIA REFERENCED STANDARDS CODE, AND (9) THE CALIFORNIA ADMINISTRATIVE CODE; TO ADOPT LOCAL FINDINGS; AND TO MAKE OTHER TECHNICAL AND ADMINISTRATIVE REVISIONS TO CHAPTER 7.**

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WHEREAS, an ordinance entitled "An Ordinance of the Board of Supervisors, County of Sonoma, State of California, Amending Chapter 7, "Building Regulations," of the Sonoma County Code to Adopt by Reference and Amend Selected Provisions, Chapters and Appendices of the California Code of Regulations, Title 24, 2007 Editions of The California Building Standards Code, including: (1) The California Building Code Volumes 1 and 2; (2) The California Historical Building Code; (3) The California Existing Building Code; (4) The California Mechanical Code; (5) The California Plumbing Code; (6) The California Electrical Code; (7) The California Energy Code; (8) The California Referenced Standards Code, and (9) The California Administrative Code; to Adopt Local Findings and to Make other Technical and Administrative Revisions to Chapter 7" has been introduced and read;

NOW, THEREFORE, BE IT RESOLVED that further reading of the proposed ordinance is waived.

BE IT FURTHER RESOLVED that a public hearing shall be held at 3:00 p.m. on Tuesday, November 6, 2007, in the Board of Supervisors Chambers, 575 Administration Drive, Room 102A, Santa Rosa, California, to consider the proposed ordinance.

**BE IT FURTHER RESOLVED** that the Clerk of the Board shall cause notice of the hearing to be published once a week for two successive weeks in a newspaper of general circulation, published in the County of Sonoma, State of California.

**SUPERVISORS:**

**KERNS** Aye **SMITH** Absent **KELLEY** Aye **REILLY** Aye **BROWN** Aye

**AYES** 4 **NOES**      **ABSTAIN**      **ABSENT** 1

**SO ORDERED.**

ORDINANCE NO. 5754

AN ORDINANCE OF THE BOARD OF SUPERVISORS OF THE COUNTY OF SONOMA, STATE OF CALIFORNIA, AMENDING CHAPTER 7, "BUILDING REGULATIONS," OF THE SONOMA COUNTY CODE TO ADOPT BY REFERENCE AND AMEND SELECTED PROVISIONS, CHAPTERS AND APPENDICES OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, 2007 EDITIONS OF THE CALIFORNIA BUILDING STANDARDS CODE, INCLUDING: (1) THE CALIFORNIA BUILDING CODE VOLUMES 1 AND 2; (2) THE CALIFORNIA HISTORICAL BUILDING CODE; (3) THE CALIFORNIA EXISTING BUILDING CODE; (4) THE CALIFORNIA MECHANICAL CODE; (5) THE CALIFORNIA PLUMBING CODE; (6) THE CALIFORNIA ELECTRICAL CODE; (7) THE CALIFORNIA ENERGY CODE, (8) THE CALIFORNIA REFERENCED STANDARDS CODE, AND (9) THE CALIFORNIA ADMINISTRATIVE CODE; TO ADOPT LOCAL FINDINGS; AND TO MAKE OTHER TECHNICAL AND ADMINISTRATIVE REVISIONS TO CHAPTER 7

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The Board of Supervisors of the County of Sonoma, ordains as follows:

SECTION 1. Chapter 7 of the Sonoma County code is hereby amended as follows:

(a) Section 7-1, Purpose, is revised to read:

Sec. 7-1. Purpose.

This chapter is enacted as a result of requirements of state law and the determination that within the unincorporated area of this county, certain regulations for construction, maintenance, use and occupancy are required to provide the minimum standards to safeguard the life, limb and property and protect the public health, safety and general welfare and to provide regulations and control of those factors in the physical environment which exercise or may exercise a deleterious effect on this physical development, health and survival. The Board of Supervisors of the County of Sonoma has determined that the adoption of this chapter will assure local control of the mandatory building and inspection requirements of the State of California.

There is established in this county the Permit and Resource Management Department. The Board of Supervisors shall budget and appropriate such funds for the department as it may deem necessary for the operation of said department.

(b) Section 7-2, Chief building official and duties, is revised to read:

Sec. 7-2. Chief building official and duties.

There is established the office of Chief Building Official. The Chief Building Official shall be the Director of the Permit and Resource Management Department or his or her designee. The Chief Building Official shall supervise and be responsible for all inspection work required for the proper enforcement of regulations imposed by this chapter except those duties specifically delegated herein to the County Public Health Officer. The Chief Building Official shall perform related duties as directed by the Board of Supervisors. The Chief Building Official shall appoint such deputies and assistants as may be authorized by the Board of Supervisors.

The Chief Building Official or his or her duly authorized representative shall act as the secretary of the Local Appeals Board and Housing Appeals Board and, notwithstanding any provisions in any code adopted hereby to the contrary, he or she shall not be a member thereof. Upon presentation of proper credentials and pursuant to the law, the Chief Building Official or his or her duly authorized representative may enter buildings, structures, or premises in the unincorporated area of the county to perform any duty imposed upon him or her by this chapter.

(c) Section 7-3, Board of building appeals, is revised to read:

Sec. 7-3. Local Appeals Board and Housing Appeals Board.

There is created the Local Appeals Board and Housing Appeals Board as provided in Section 108.8 of the California Building Code, consisting of seven (7) members appointed by the Board of Supervisors. The Housing Appeals Board may be made up of the same members as the Local Appeals Board. The term of office of each shall be four (4) years or until his or her successor is appointed and qualified. Vacancies other than upon the conclusion of a term shall be filled for the remainder of the predecessor's term. Members shall be qualified by experience and training to rule upon matters pertaining to building code interpretation, fire code interpretation, and suitability of alternate materials and types of construction. It shall be the policy of the Board of Supervisors to appoint as members at least one (1) registered civil engineer, one (1) registered fire protection engineer, one (1) licensed architect, and one (1) contractor with at least a Class B license, but this policy shall in no way deprive the Board of Supervisors of its full discretion in the appointment of otherwise qualified persons. Each member shall receive twenty-five

dollars (\$25.00) for each meeting attended but not to exceed fifty dollars (\$50.00) in any one (1) calendar month. The Local Appeals Board and Housing Appeals Board shall by resolution fix regular times and places for its meetings. Except where inconsistent with the provisions of this section, Section 7-4, Section 13-11 or Section 13-12 of this code, the duties of the Local Appeals Board and Housing Appeals Board shall be as prescribed in Section 108.8.3 of the California Building Code.

(d) Section 7-4, Appeals, is revised to read:

Sec. 7-4. Appeals.

Appeal may be made from any decisions of the Chief Building Official in accordance with Section 108.8.3 of the California Building Code and Section 112 of Appendix Chapter 1 of the California Building Code provided, however, that such appeal may not be made more than thirty (30) days after the decision from which appeal is being made has been rendered. All applicants and appellants shall be given reasonable opportunity to be heard and present evidence. Decisions of the Local Appeals Board and Housing Appeals Board shall be in writing and shall be delivered to the appellant either in person or by mailing to the address stated on the appeal or application. Decisions of the Local Appeals Board and Housing Appeals Board are final. The Local Appeals Board and Housing Appeals Board shall have no authority relative to fees, permit processing or other matters which are not directly related to building standards, and shall have no authority to waive the requirements of this code. Appeals of any notice of violation or notice and order to abate any violation of this Code shall be heard and decided by a hearing officer pursuant to Section 1-7.3 of the Sonoma County Code.

(e) Section 7-5, Building permit required, is revised to read:

Sec. 7-5. Building permit required.

(a) No person, firm or corporation shall erect, construct, enlarge, alter, repair, move, improve, convert or demolish any building or structure in the unincorporated area of this county, or cause the same to be done, without first obtaining a separate building permit for each such building or structure as required by this chapter. Permits shall be issued and fees shall be collected by the Permit and Resource Management Department.

(b) Permits shall not be issued by the Permit and Resource Management Department for work which includes any of the following, unless and until written approval has been received:

(1) The construction, alteration or modification of:

(i) Any on-site disposal system (approval required from the Well and Septic Section of Permit and Resource Management Department),



(ii) Any water supply system which under state law or county ordinance is required to have a permit to operate (approval required from the Health Officer or the State Health Services Department).

(iii) Any establishment selling or preparing food or food products, any public or semi-public swimming pool as defined in the 2007 California Administrative Code (approval required from the Health Officer);

(2) The construction, alteration or modification of any structure which will result in the structure being connected to an on-site wastewater disposal system or water system; (approval required from the Well and Septic section of Permit and Resource Management Department),

(3) The alteration or modification of any existing structure which is connected to an on-site wastewater disposal system or water system requiring a permit, where the alteration or modification may impose additional burdens upon the existing system, such as, but not limited to, the addition of rooms or the modification of floor plans for potential additional occupancy. This section shall not apply to repairs, such as replacement of roofing or siding. Where the permit is for modification or alteration of an existing structure, no permit will be issued where, in the determination of the Chief Building Official, such modification is likely to result in exceeding the capacity of the system;

(4) The construction, alteration or modification of any structure which may result in the property being improved in excess of its capacity to absorb sewage effluent. This section is intended to cover any change in the property which might adversely affect sewage disposal such as, but not limited to grading or the construction of a barn or swimming pool which might infringe on the leach field (approval required from the Well and Septic Section of Permit and Resource Management Department);

(c) Whenever approval of the on-site wastewater disposal system is required, it shall be based upon the requirements imposed by this chapter and any other state or local law or regulation which may be applicable, including basin plans and other standards promulgated by the North Coast Water Quality Control Board and the San Francisco Bay Regional Water Quality Control Board.

(d) Building and grading permits must be cleared as to zoning considerations in Chapter 26 and drainage, flood control and stormwater requirements in Chapter 11. Building permits for projects regulated by the California Fire Code and Sonoma County fire safe standards may be subject to review and approval by appropriate fire service agencies. Where county road encroachment is necessary, a permit for same shall be first secured. A water and/or sewer clearance is first required in areas serviced by special districts and cities before building permits can be issued.

(e) Notwithstanding any other provision of this chapter or the codes adopted hereby, emergency maintenance work or repair of buildings and structures requiring a permit hereunder may be commenced before obtaining a permit without violating this chapter provided the Permit and Resource Management Department or the Public Health

Officer, in the appropriate case, is notified prior to noon of the next following business day and the permit required is obtained within twenty-four (24) hours thereafter, and provided further that no work shall be covered before it has been duly inspected and approved. Compliance with the State Subdivision Map Act, the Sonoma County subdivision regulations, and the Sonoma County zoning regulations, including compliance with conditional permits issued thereunder, and compliance with all laws, is a condition precedent to the issuance of any permit required by this chapter for work to be done on any particular parcel of real property in the unincorporated area of this county.

(f) As a condition precedent to the issuance of a building permit required by this section for which an application was made on or after November, 1989, the applicant shall pay to the county a countywide traffic mitigation fee for the purpose of offsetting the road infrastructure costs caused by the cumulative effect of development in the county. The amount of the fee shall be adopted by the Board of Supervisors in accordance with the procedures set forth in Government Code Section 65962. The permit required for Section 105 of Appendix 1 of the California Building Code for structures subject to the requirements of this subsection shall not be issued unless and until the traffic mitigation fee has been paid.

(g) Within flood-prone urban areas as defined in Section 7-13(a)(10), a building permit authorizing excavation for foundations shall not be issued until a disposal location for excavated material has been designated. Acquisition of a building permit does not relieve the permittee of the responsibility for acquiring any other state and local permits required for the activity.

(h) In any unincorporated portion of Sonoma County where stormwater discharges are subject to the requirements of one or more NPDES permits, as referenced in Chapter 11, any construction site for which building permits are approved pursuant to Chapter 7 must be developed and used pursuant to any applicable requirements of said NPDES permit(s). Failure to adhere to applicable NPDES permit requirements at any time will be deemed to be a violation of this section and may subject the permittee to the penalties established by this chapter. Permittees may meet this requirement by filing with the Regional Water Quality Control Board the appropriate notice of intent to comply with the state general construction activity stormwater permit or by obtaining approval of an individual NPDES permit from the Regional Water Quality Control Board.

(f) Section 7-6, Relocated buildings, is revised to read:

Sec. 7-6. Relocated buildings.

A relocated building shall comply with the provisions of this chapter for new buildings to the extent that is reasonable and practical as determined by the Chief Building Official, except that relocated dwellings and apartment houses shall permit the retention of existing materials and methods of construction so long as the apartment house or dwelling

complies with the building standards for foundation applicable to new construction and does not become or continue to be a substandard building.

(g) Section 7-7, Exemptions, is revised to read:

Sec. 7-7. Agricultural Exemption Permit Requirements.

(a) At the applicant's option, the provisions of Section 7-5 requiring building permits may be exempted for buildings, or repairs, alterations, additions, or remodels to buildings designed and constructed for use in housing farm machinery, animals, supplies or products that are harvested from or utilized on a parcel of land. Buildings constructed pursuant to this section shall conform to all applicable codes and regulations and applicant shall obtain an exemption permit.

This agricultural exemption permit shall not apply to the following:

- (1) Any building, any part of which is within sixty (60) feet of a property line or other non-agricultural exempt building, regardless of the size of the parcel, except the distance to other buildings may be reduced to not less than (40) feet when allowed by building code requirements;
- (2) Any building which will or does contain waste plumbing. Electrical, mechanical and water systems may be installed in agricultural exempt buildings, however, permits for and inspections of these systems are required;
- (3) Any farm property less than five (5) acres. Farm property means all contiguous parcels. Parcels shall be considered as contiguous even if they are separated by roads;
- (4) Any building that is not an agricultural building as defined by Section 202 of the California Building Code;
- (5) Any building located on property with a land use zone other than LIA, LEA, DA RRD, RRDWA, AR TP or RR;
- (6) Property on which an agricultural use does not presently exist and for which no substantial evidence of future agricultural use is available. The Chief Building Official's determination of the sufficiency of the evidence of current or future agricultural use shall be final;
- (7) Any building exceeding (2) stories;
- (8) Any building constructed primarily of other than wood frame construction except for manufactured pre-engineered buildings;
- (9) Any wood frame building wherein spans of structural members exceed twenty-five (25) feet, unless the exemption request is accompanied by building plans prepared, stamped, and signed by a licensed civil or structural engineer or architect.

(b) Prior to the erection, construction, conversion, enlargement or major alteration of any building or structure situated on agricultural land, or prior to the moving of any building or structure onto said land subject to exemption, a written application for the exemption shall be filed with the Chief Building Official and shall contain:

- (1) A verified statement in writing signed by the owner of the agricultural land regarding each of the requirements contained in Section 7-7;
- (2) Description of the present use of the land;
- (3) Description of the building or structure to be exempted and its proposed use;
- (4) Name and address of the owner of the land and the assessor's parcel number. The applicant must be the owner;
- (5) An accurate dimensioned plot plan showing all buildings, structures, property lines, streets and roads and the means of access thereto;
- (6) Such further information as the Chief Building Official may require;
- (7) Payment of the exemption fee.

(c) The Chief Building Official shall record a notice of agricultural exemption with the county recorder following issuance of an agricultural exemption. The notice shall contain:

- (1) The owner's name and the property address and assessor's parcel number;
- (2) The owner's description of the present agricultural use of the land;
- (3) A description, including use, of the building for which the exemption was issued;
- (4) The date of exemption issuance.

(d) Unless otherwise authorized, the structure or repairs, alterations, additions, or remodels for which the exemption is approved must be completed within three years of the date of the authorization for exemption. If the structure or repair, alteration, addition, or remodel is not completed within this time period, a new exemption must be applied for. When the structure or repairs, alterations, additions, or remodels is completed, an inspection must be performed by Permit Resource Management Division staff. The sole purpose of this inspection shall be to insure that the structure is complete and is being used for the use stated on the application for exemption.

(b) Section 7-8, Inspection by County Public Health Officer and the Director of Permit and Resource Management Department, is revised to read:

Sec. 7-8. Inspection by County Public Health Officer and the Director of Permit and Resource Management Department.

The County Public Health Officer or his or her duly authorized representative shall inspect all premises subject to operating regulations pursuant to this chapter at such time or times as he or she deems necessary, and if he or she determines that a violation of the regulations imposed by this chapter has occurred or is occurring, which is endangering or may endanger the public health, he or she may serve a notice of violation upon the permittee under an operating permit in such manner as provided herein or in codes adopted hereby. A copy of said notice shall be delivered to the Permit and Resource Management Department unless such disposition is approved in writing by the Public Health Officer. The Public Health Officer or his or her duly appointed representative may enter, during reasonable times, and in accordance with law, upon buildings, structures or premises within the unincorporated area of this county to perform any duty imposed upon him or her by this chapter.

Whenever a property owner requests a certificate from the Director of Permit and Resource Management Department, certifying that the premises comply with all existing laws and regulations enforced by the Director of Permit and Resource Management Department respecting sewage disposal systems and water supply, a fee shall be charged as set by ordinance of the Board of Supervisors.

**(I) Section 7-9, Refunds, is revised to read:**

**Sec. 7-9. Refunds.**

Pursuant to Section 108.6 of Appendix I of the California Building Code, 103.4.5 of Appendix I of the California Plumbing Code, Section 115.6 of Appendix I of the California Mechanical Code, and Section 80.19 E of Annex G of the California Electrical Code, refunds of fees paid may be made, subject to the following:

- (a) 100% of a fee erroneously paid or collected may be refunded.
- (b) 90% of the plan review fee may be refunded when an application for a permit for which a plan review fee has been paid is withdrawn or cancelled or expires or becomes void before any plan review effort has been expended. No portion of the plan review fee shall be refunded when any plan review effort has been expended.
- (c) 90% of the building, plumbing, electrical, and/or mechanical permit fee may be refunded when a permit for which some or all of these permit fees have been paid is withdrawn or cancelled or expires or becomes void before any work was done and before any inspections are performed. No portion of these fees shall be refunded when any work was done and/or any inspections have been performed.

- (d) The Chief Building Official may authorize the refund of all or part of a fee in order to correct an error by the Department. The details of such a refund shall be retained in project file
- (e) Application for refund must be made within one year of the date the fee is paid

(j) Section 7-11, Conflicting regulations, is revised to read:

Sec. 7-11. Conflicting regulations.

Wherever conflicting provisions or requirements occur between this code, the technical codes and any other codes or laws, the most restrictive shall govern, in accordance with Section 101.7 of the California Building Code.

(k) Section 7-12, Building permits in water scarce areas and second dwelling units in marginal water areas, is revised to read:

Sec. 7-12. Building permits in water scarce areas and second dwelling units in marginal water areas.

1. No building permit for new or replacement residential dwelling units shall be issued within the water scarce area four (4) or for new or replacement second dwelling units within the marginal water availability area three (3) where the water supply is from individual wells, springs or any other sources, unless the following requirements are met:

(a) That the well or wells yield a minimum of one (1) gallon per minute per dwelling unit by a sustained yield, metered pump test of the following duration:

(1) Each dwelling unit is a connection to the well. Wells with one (1) to two (2) connections: test of twelve (12) hours or eight (8) hours in accordance with the Sonoma County Permit and Resource Management Department's well pump test guidelines,

(2) Wells with three (3) to four (4) connections: test of twenty-four (24) hours or sixteen (16) hours in accordance with the Sonoma County Permit and Resource Management Department's well pump test guidelines,

(3) Wells with five (5) or more connections: test of at least seventy-two (72) hours after the dynamic pumping level has been established. A reduction of the seventy-two (72) hour metered pumping test may be granted by the administrative authority if it is indicated that the sustained yield well production is two (2) or more times greater than required. Under no circumstances shall the test be less than forty-eight (48) hours.

NOTE: Also see Section 64563 of the California Code of Regulations for determination of source capacity for systems with five (5) or more connections.

(b) That a minimum storage capacity shall be provided as follows:

(1) Single-family dwelling (one (1) connection) - one thousand (1,000) gallons shall be provided either in the well hole or in a storage tank, or both; provided, however, that only five hundred (500) gallon storage shall be required if the yield is three (3) gallons per minute; provided further, however, that no storage is required if the well yield is five (5) gallons per minute, or greater.

(2) Two (2) or more connections - one thousand (1,000) gallons shall be provided per connection, either in the well hole or in a storage tank, or both, as required by the county of Sonoma water system standards, whichever is greater,

(3) Note: These volumes are for domestic water storage. Additional storage volume is required for fire control.

(c) The tests shall be conducted from July 15th to October 1st. The test period may be extended by the Project Review and Advisory Committee. Pump tests shall be performed by or under the direction of a licensed water well drilling contractor (C57), pumping contractor (C61/D21), a registered civil engineer or a registered geologist who shall report test results to the Director of Permit and Resource Management Department. The Director of Permit and Resource Management Department shall be notified a minimum of twenty-four (24) hours prior to the pump testing of wells or springs;

(d) That, if spring(s) or other water sources are to be used as the primary domestic water source, yields and required storage capacity shall meet the same minimum requirements as for wells. Springs shall be perennial;

(e) Application may be made to the project review and advisory committee for approval of alternate methods of water supply.

2. Notwithstanding Section 1., a building permit for new or replacement residential dwelling units may be issued within the water scarce area four (4) or for new or replacement second dwelling units within the marginal water available area three (3) if the permittee obtains an easement for water supply on a parcel that is entirely within a Groundwater Availability Area 1. major groundwater basin (Zone 1); or Area 2, major natural recharge area (Zone 2), in a format approved by the Permit and Resource Management Department.

(i) Section 7-13, Codes adopted and modifications, is deleted in its entirety. A new Section 7-13, Codes adopted and modifications, is adopted as follows:

Sec. 7-13. Codes adopted and modifications.

Pursuant to Section 50022.2 of the Government Code, the following codes are adopted in this chapter as defined and modified herein.

(a) 2007 California Building Code Volumes 1 and 2, Chapters 1-35, 2007 California Historical Building Code Chapters 8-1 through 8-10, 2007 California Existing Building Code, Appendix Chapter A-1, 2007 California Building Code Appendix Chapter 3 Division II, Chapter 4 Division II Chapter 5, Chapter 29, Chapter 31 Divisions II and III, and Chapter 33 1, Chapter C, Chapter H, Chapter I, and Chapter J as revised herein are hereby adopted and incorporated herein by reference, save and except such portions as are deleted, modified or revised as follows:

(1) The Chief Building Official may, in his or her discretion, waive the plan check fee for the second and all subsequent buildings or structures identical to a building or structure for which a plan check has been paid. This plan check fee waiver for subsequent submittals shall be limited to one (1) year following date of original fee payment. In each case the applicant must be the same for all permits.

(2) Demolition permits will be required.

(3) CBC Appendix 1 Section 105.2 Amended. Section 105.2 of the California Building Code Appendix Chapter 1 is hereby amended to read:

105.2 Work exempt from permit. Exemption from permit requirements of this code shall not be deemed to grant authorization for any work to be done in any manner in violation of the provisions of this code or any other laws or ordinances of the jurisdiction. Such exempt structures must meet all other applicable requirements of this jurisdiction, including required minimum distances from property lines. Permits shall not be required for the following:

Building Permit Exemptions:

1. One-story detached accessory buildings used as tool and storage sheds, playhouses and similar uses, when located on a parcel which contains an existing Group R, and/or Group U Occupancy, provided the floor area does not exceed 120 square feet, and the height above grade does not exceed 12 feet. No more than one structure may be allowed under this exemption unless separated from another permit exempt structure by more than 50 feet.



2. Fences, not over 10 feet high, except that solid wood, concrete and masonry fences more than 6 feet in height measured from the lowest grade to the top of the fence shall require a building permit.
3. Oil derricks.
4. Retaining walls, which retain not more than 3 feet of material unless supporting a surcharge or impounding Class I, II, or IIIA liquids. For the purpose of this section, a retaining wall is considered to be supporting a surcharge if:
  - a. The wall retains more than one foot of material and the retained material slopes more than two units horizontal to one vertical within a distance equal to twice the height of the wall above the lowest grade, or
  - b. The wall retains more than one foot of material and any road or structure is located on the retained material within a distance equal to twice the height of the wall above the lowest grade.
5. Tanks, not containing Class I, II, or IIIA liquids supported directly upon grade if the capacity does not exceed 5,000 gallons and the ratio of height to diameter or width does not exceed 2 to 1.
6. Sidewalks, platforms, and driveways not more than 30 inches above grade, and not over any basement or story below and are not part of an accessible route.
7. Painting, papering, tiling, carpeting, cabinets, counter tops and similar finish work.
8. Temporary motion picture, television and theater stage sets and scenery.
9. Prefabricated swimming pools accessory to a Group R, Division 3 Occupancy which do not exceed 5,000 gallons, and are installed entirely above ground.
10. Shade cloth structures constructed for nursery or agricultural purposes, not including service systems. ( Plumbing, electrical or mechanical systems associated with the structure require permits.)

11. Swings and other playground equipment, treehouses and skateboard ramps, accessory to detached one and two family dwellings, which are not used for commercial purposes, and children's play structures when constructed on a parcel which contains a one or two-family dwelling or a State licensed school or day care center.
12. Window awnings supported by an exterior wall that do not project more than 54 inches from the exterior wall and do not require additional support of Group R-3 and U Occupancies.
13. Nonfixed and movable fixtures, cases, racks, counters and partitions not over 5 feet 9 inches in height.
14. Minor repair of interior paneling or gypsum wallboard when it does not serve as a fire-resistive assembly or as lateral bracing for a structure. Minor repairs are limited to 500 square feet, on a one time basis. Subsequent minor repair will require permits. This exemption shall not apply to structures subject to flood damage.
15. Replacement of windows or doors with others of the same size, and in the same location when the structural frame of the opening is not altered.
16. Prefabricated structures no more than 500 square feet in area, constructed of light frame materials and covered with cloth or flexible plastic, accessory to a single family dwelling, with no associated electrical, plumbing, or mechanical equipment and the height above grade does not exceed 12 feet.
17. Arbors, trellises, and gazebos, when the height above grade does not exceed 12 feet. For the purpose of this section, arbors, trellises, and gazebos are defined as follows:
  - a. Structures which have a lattice or fabric roof structure, and
  - b. 75% of the exterior walls are not less than 75% open, and
  - c. Into which a motor vehicle cannot be driven due to the configuration of the structure or placement on the site
  - d. If such a structure contains electrical, plumbing, or mechanical equipment, a permit is required for this work.
18. Removal of up to 25% of exterior and/or interior or roof coverings or other similar work for the purpose of determining the condition of

structural members in a structure where work is being planned. Such work may remain exposed for a maximum of 90 days before being repaired. A permit must be obtained for the repairs unless exempted by this section of the Sonoma county code.

#### Electrical Permit Exemptions

1. Repairs and maintenance: Minor repair work, including the replacement of lamps or the connection of approved portable electric equipment to approved permanently installed receptacles.
2. Radio and television transmitting stations: The provisions of this code shall not apply to electrical equipment used for radio and television transmissions, but do apply to equipment and wiring for a power supply and the installations of towers and antennas.
3. Temporary testing systems: A permit shall not be required for the installation of any temporary system required for the testing or servicing of electrical equipment or apparatus.
4. Listed cord and plug connected temporary decorative lighting
5. Reinstallation or replacement of attachment plug receptacles, but not the outlets therefore.
6. Repair or replacement of branch circuit overcurrent devices of the required capacity in the same location
7. Installation or maintenance of communications wiring, devices, appliances, apparatus, or equipment

#### Gas Permit Exemptions

1. Portable heating appliance.
2. Replacement of any minor part that does not alter approval of equipment or make such equipment unsafe.

#### Mechanical Permit Exemptions

1. Portable heating appliance.
2. Portable ventilation equipment.
3. Portable cooling unit.
4. Steam, hot or chilled water piping within any heating or cooling equipment regulated by this code.
5. Replacement of any part that does not alter its approval or make it unsafe.
6. Portable evaporative cooler.

7. Self-contained refrigeration system containing 10 pounds (5 kg) or less of refrigerant and actuated by motors of 1 horsepower (746 W) or less.

#### Plumbing Permit Exemptions

1. The stopping of leaks in drains, water, soil, waste or vent pipe, provided, however, that if any concealed trap, drain pipe, water, soil, waste or vent pipe becomes defective and it becomes necessary to remove and replace the same with the new material, such work shall be considered as new work and a permit shall be obtained and inspection made as provided in this code.
2. The clearing of stoppages or the repairing of leaks in pipes, valves or fixtures and the removal and reinstallation of water closets, provided such repairs do not involve or require the replacement or rearrangement of valves, pipes or fixtures.

- (4) Section 108.8.3 is amended to read:

Section 108.8.3 Appeals. Appeals to orders, decisions or determinations of the Building Official relative to the requirements of this code shall be made in accordance with Sections 7-3 and 7-4 of the Sonoma County Code.

- (5) Section 105.5 of the California Building Code, Appendix 1 is amended to read as follows:

Section 105.5 Expiration. Unless otherwise authorized, every permit issued by the Permit and Resource Management Department under the provisions of this code shall expire by limitation three (3) years from the date of permit issuance. The Chief Building Official may limit a permit to a lesser time period when necessary to abate dangerous or substandard conditions. The Chief Building Official may extend this time period when such extension is warranted, including (1) to correct an error by the department, (2) when a legal action prevents the project from being completed within the three year time frame, or (3) in the interest of public health and safety. The Chief Building Official's decision regarding the limitation period shall be final.

Before any work can be recommenced on any expired permit, a new permit shall first be obtained. The new permit shall be obtained for all work necessary to finish the project including work already completed that has not been previously inspected and approved by the department. The building standards for the work authorized by the new permit shall be governed by the codes in force at the time of the new permit application as described in Section 108.3.1 as to the erection and construction of dwellings and appurtenant structures for which construction was lawfully commenced or approved prior to the effective date of this ordinance.

The fees for the new permit shall be based on the current fee schedule at full value of the previously permitted work minus the value of the work inspected and approved prior to expiration of the permit plus the full value of any new work not previously permitted per PRMD Expired Permit Policy.

- (6) Section 108.2 of the California Building Code Appendix 1 is amended to add the following:

Where plans are incomplete or changed so as to require additional plan review, an additional plan review fee shall be charged at the rate shown in the PRMD fee schedule.

When approved by the Chief Building Official a reduction in plan review fees to seventy five percent (75%) of that otherwise required may be granted where a peer review or third party plan review or other process results in substantially reduced plan review effort by the Permit and Resource Management Department.

- (7) Section 105.3.2 of the California Building Code Appendix 1 is amended to read as follows:

105.3.2 Expiration of Plan Review. If no permit is issued within one year following the date of application, the application shall expire by limitation, and plans and other data submitted for review may thereafter be returned to the applicant or destroyed by the building official. If, after such expiration, the original plans are resubmitted within 180 days following such expiration, the plan review fee shall be 25% of that otherwise required. No application shall be renewed in this fashion more than once. In order to further renew action on an application after expiration, the applicant shall resubmit plans and pay a new plan review fee. The Chief Building Official may extend this time period when such extension is warranted, including but

not limited to (1) to correct an error by the department, (2) when a legal action prevents the project from being completed within the three year time frame, or (3) in the interest of public health and safety. The Chief Building Official's decision regarding the limitation period shall be final.

(8) Reinspection Fees.

A reinspection fee may be assessed for each inspection or reinspection when such portion of work for which inspection is called is not complete or when corrections called for are not made. This section is not to be interpreted as requiring reinspection fees the first time a job is rejected for failure to comply with the requirements of this code, but as controlling the practice of calling for inspections before the job is ready for such inspection or reinspection. Reinspection fees may be assessed when the inspection record card is not posted or otherwise available on the work site, the approved plans are not readily available to the inspector, for failure to provide access on the date for which the inspection is requested, or for deviating from plans requiring the approval of the building official. The reinspection fee shall be established in the jurisdiction fee schedule. When a reinspection fee has been assessed, no additional inspection of the work shall be performed until the required fees have been paid.

(9) Section 111 of Appendix 1 of the California Building Code is hereby amended by adding the following section.

111.1.1 Connection after Order to Disconnect. Persons shall not make connections from any energy, fuel or power supply nor supply energy or fuel to building service equipment which has been disconnected or ordered to be disconnected by the building official or the use of which has been ordered to be discontinued by the building official until the building official authorizes the reconnection and use of such equipment.

(10) Section 112 of Appendix 1, Board of Appeals, of the California Building Code is hereby deleted.

(11) Section 113.4 of Appendix 1 of the California Building Code is hereby amended as follows:

113.4 Violation penalties. Any person who violates a provision of this code or fails to comply with any of the requirements thereof or who erects, constructs, alters or repairs a building or structure in violation of the

approved construction documents or directive of the building official, or of the a permit or certificate issued under the provisions of this code, shall be subject to penalties as prescribed by law. An investigation fee equal to the amount of the permit fee, whether or not a permit is then or subsequently issued. The payment of such investigation fee shall not exempt any person from compliance with all other provisions of this code nor from any penalty prescribed by law.

(12) Section 115 of Appendix I of the California Building Code is hereby amended by adding new sections 115.1.1 and 115.1.2 as follows:

115.1.1 Definition of Unsafe or Dangerous Building. Any building or structure which has any or all of the conditions or defects hereinafter described shall be deemed to be an unsafe or dangerous building, provided that such conditions or defects exist to the extent that the life, health, property or safety of the public or its occupants are endangered.

1. Whenever any door, aisle, passageway, stairway or other means of exist is not of sufficient width or size or is not arranged as to provide safe and adequate means of exit in case of fire or panic.
2. Whenever the walking surface of any aisle, passageway, stairway or other means of exit is so warped, worn, loose, torn or otherwise unsafe as to not provide safe and adequate means of exit in case of fire or panic.
3. Whenever the stress in any materials, member or portion thereof, due to all dead and live loads, is more than one and one half times the working stress or stresses allowed in the Building code for new buildings of similar structure, purpose or location.
4. Whenever any portion thereof has been damaged by fire, earthquake, wind, flood or by any other cause, to such an extent that the structural strength or stability thereof is materially less than it was before such catastrophe and is less than the minimum requirements of the Building code for new buildings of similar structure, purpose or location.

5. Whenever any portion or member or appurtenance thereof is likely to fall, or to become detached or dislodged, or to collapse and thereby injure persons or damage property.
6. Whenever any portion of a building, or any member, appurtenance or ornamentation on the exterior thereof is not of sufficient strength or stability, or is not so anchored, attached or fastened in place so as to be capable of resisting a wind pressure of one half of that specified in the Building Code for new buildings of similar structure, purpose or location without exceeding the working stresses permitted in the Building Code for such buildings.
7. Whenever any portion thereof has wracked, warped, buckled or settled to such an extent that walls or other structural portions have materially less resistance to winds or earthquakes than is required in the case of similar new construction.
8. Whenever the building or structure, or any portion thereof, because of (i) dilapidation, deterioration or decay; (ii) faulty construction; (iii) the removal, movement or instability of any portion of the ground necessary for the purpose of supporting such building; (iv) the deterioration, decay or inadequacy of its foundation; or (v) any other cause, is likely to partially or completely collapse.
9. Whenever, for any reason, the building or structure, or any portion thereof, is manifestly unsafe for the purpose for which it is being used.
10. Whenever the exterior walls or other vertical structural members list, lean or buckle to such an extent that a plumb line passing through the center of gravity does not fall inside the middle one third of the base.
11. Whenever the building or structure, exclusive of the foundation, shows 33 percent or more damage or deterioration of its supporting member or members, or 50 percent damage or deterioration of its nonsupporting members, enclosing or outside wall or coverings.



12. Whenever the building or structure has been so damaged by fire, wind, earthquake or flood, or has become so dilapidated or deteriorated as to become (i) an attractive nuisance to children; (ii) a harbor for vagrants, criminals or immoral persons; or as to (iii) enable persons to resort thereto for the purpose of committing unlawful or immoral acts.
13. Whenever any building or structure has been constructed, exists or is maintained in violation of any specific requirement including construction without permit or prohibition applicable to such building or structure provided by the building regulations of this jurisdiction, as specified in this Code or Health and Safety Code Section 17920.3 or Uniform Housing Code Chapters 4,5,6 and Sections 701.2, 701.3, or of any law or ordinance of this state or jurisdiction relating to the condition, location or structure of buildings.
14. Whenever any building or structure which, whether or not erected in accordance with all applicable laws and ordinances, has in any nonsupporting part, member or portion less than 50 percent, or in any supporting part, member or portion less than 66 percent of the (i) strength, (ii) fire-resisting qualities or characteristics required by law in the case of a newly constructed building of like area, height and occupancy in the same location.
15. Whenever a building or structure, used or intended to be used for dwelling purposes, because of inadequate maintenance, dilapidation, decay, damage, faulty construction or arrangement, inadequate light, air or sanitation facilities, or otherwise, is determined by the health officer to be unsanitary, unfit for human habitation or is such a condition that is likely to cause sickness or disease.
16. Whenever any building or structure, because of obsolescence, dilapidated condition, deterioration, damage, inadequate exits, lack of sufficient fire-resistive construction, faulty electric wiring, gas connections or heating apparatus, or other cause, is determined by the fire marshal to be a fire hazard.

17. Whenever any building or structure is in such a condition as to constitute a public nuisance known to the common law or equity jurisprudence.
18. Whenever any portion of a building or structure remains on a site after the demolition or destruction of the building or structure or whenever any building or structure is abandoned for a period in excess of six months so as to constitute such building or portion thereof an attractive nuisance or hazard to the public.
19. Whenever any building or structure has been abandoned and unsecured for a period in excess of six months so as to constituted an attractive nuisance or hazard to the public.

115.1.2 Definition of Nuisance. The following shall be defined as nuisances:

1. Any public nuisance know at common law or in equity jurisprudence.
2. Any attractive nuisance that may prove detrimental to children whether in a building, on the premises of a building or on an unoccupied lot. This includes, but is not limited to, any abandoned wells, shafts, basements or excavations; abandoned refrigerators and motor vehicles; any structurally unsound fences or structures; or any lumber, trash, fences, debris, or vegetation that may prove a hazard for inquisitive minors.
3. Whatever is dangerous to human life or is detrimental to health, as determined by the health officer.
4. Overcrowding a room with occupants.
5. Insufficient ventilation or illumination.
6. Inadequate or unsanitary sewage or plumbing facilities.
7. Uncleanliness, as determined by the health officer.

3. Whatever renders air, food or drink unwholesome or detrimental to the health of human beings, as determined by the health officer.

(13) Section 115.3 of Appendix 1 of the California Building Code is hereby amended as follows:

115.3 Notice. If an unsafe condition is found, the building official shall serve on the owner, agent or person in control of the structure, a written notice that describes the condition deemed unsafe per Section 1-7.3 of the Sonoma County Code.

(14) Appendix 1 of the California Building Code is hereby amended by adding a new Section 116 as follows:

Section 116 Notice to Vacate.

116.1 Posting. Every notice to vacate shall, in addition to being served as provided in Section 115.4, be posted at or upon each exit of the building and shall be in substantially the following form:

DO NOT ENTER  
UNSAFE TO OCCUPY

It is a misdemeanor to occupy this building, or to remove or deface this notice.

Building Official  
.....of.....

116.2 Posting During Declared Emergencies. During a declared local emergency or State of emergency as defined in Chapter 10 of this Code, each structure or property affected by the declaration and subsequently reviewed shall be evaluated and posted in accordance with the standards established in Applied Technology Council (ATC) 20, ATC 45 or the most recently adopted standard by the California Office of Emergency Services as an emergency response plan.

116.3 Compliance. Whenever such notice is posted, the building official shall include a notification thereof in the notice and order issued under Section 115.3 reciting the emergency and specifying the conditions

which necessitate the posting. No person shall remain in or enter any building which has been so posted unless specifically stated on the posting. Entry may be made to repair, demolish or remove such building under permit. No person shall remove or deface any such notice after it is posted until the required repairs, demolition or removal have been completed and a certificate of occupancy issued pursuant to the provisions of the Building Code.

116.4 Appeals Appeals of any notice and order to abate any violation of this Code shall be heard and decided by a hearing officer pursuant to Section 1-7.3 of the Sonoma County Code.

(15) Section 202 of the California Building Code is amended to revise the definition of "building" to read as follows:

BUILDING is any structure used or intended for supporting or sheltering any use or occupancy. Building is also any structure as to which state agencies have regulatory power, and housing or enclosure of persons, animals, chattels, equipment or property of any kind. Building is also any structure wherein things may be grown, made, produced, kept, handled, stored or disposed of, and all appendages, accessories, apparatus, appliances and equipment installed as a part thereof. Building shall not include machinery, equipment or appliances installed for manufacture or process purposes only, nor shall it include any construction installations which are not a part of a building, any tunnel, mine shaft, highway or bridge, or include any house trailer or vehicle which conforms to the Vehicle Code.

NOTE: Building shall have the same meaning as defined in Health and Safety Code section 17920 and 18908 for the applications specified in Sections 101.17.9 and 101.17.10.

(16) Section 202 of the California Building Code is amended to revise the definition of "building, existing" to read as follows:

BUILDING, EXISTING, is a building legally erected prior to the adoption of this code, or one for which a legal building permit was issued for the construction or legalization thereof prior to the adoption of this code.

(17) Section 903.2 of the California Building Code is revised as follows:

Section 903.2 Where Required. An automatic sprinkler system shall be installed and maintained in all newly constructed buildings.

Exceptions:

1. Detached Group U occupancies 3000 sq. ft. or less.  
Agricultural exempt buildings and agricultural buildings as approved by the Fire Code Official.
2. Detached poolhouses up to 1000 sq. ft. in floor area within 50 feet of the pool and limited to a single bathroom.
3. A room above a detached garage used for storage only that does not contain a bathroom, cooking or refrigeration facilities or connections for such facilities.
4. Detached non-combustible motor vehicle fuel dispensing canopies classified as a Group M occupancy.
5. Car Ports of non-combustible construction.
6. B or M occupancies 500 sq. ft. or less.
7. Private riding arenas, provided that all of the following conditions are met:
  - (a) The building has a minimum of 60 feet of clearance to property lines or other structures on all sides.
  - (b) The building has an on-site water supply complying with the requirements of this code.
  - (c) The building has an annual fire inspection by the chief.
  - (d) The portions of the building that are not part of the private riding arena are equipped with an automatic fire-extinguishing system and are separated from the private riding arena by area separation walls meeting the requirements of the Building Code.
8. Canopied winery crush pads, provided that all of the following conditions are met:
  - (a) The canopy and supporting structure are constructed of non-combustible materials.
  - (b) If attached, the crush pad is separated from other portions of the building by one-hour fire-resistive walls.
  - (c) The crush pad is not used for storage of combustible materials.
9. Dairy milking facilities.

(18) Section 903.2(a) is added to read:

Section 903.2(a) Additions. Additions to existing commercial and residential buildings that increase square feet (based on the following percentages) calculated by the existing gross floor area shall meet the requirements for a newly constructed building:

0-1000 sq. ft.	200% (or 2000 sq. ft. maximum cumulative total)
1001-4000 sq. ft.:	100%
>=4001 sq. ft.:	50%

(19) Section 903.2(b) is added to read as follows:

903.2(b) Changes of Occupancy. Any change of occupancy when the proposed new occupancy classification is more hazardous based on life and fire risk, as determined by the Fire Code Official, including the conversion of residential buildings to condominiums, the building shall meet the requirements for a newly constructed building.

(20) Section 903.2(c) is added to read as follows:

903.3(c) Elevation of existing buildings. An automatic fire extinguishing system shall be installed throughout all existing buildings when the building is elevated to: (i) three or more stories, or (ii) more than 35 feet in height from grade to finished ceiling or exposed roof.

Exceptions:

1. An automatic fire-extinguishing system need not be provided when the area above 35 feet is provided for aesthetic purposes only and is unused and unoccupied.
2. An automatic fire-extinguishing system need not be provided when existing single-family and two-family dwellings are elevated to comply with the requirements of Chapter 7B of the Sonoma County Code, provided that all of the following conditions are met:
  - (a) The elevation creates a building no more than three stories in height.

- (b) Two approved exits are provided for the highest floor, including a third story having less than 500 square feet of floor area.
- (c) Approved interconnected smoke detectors are installed at each floor level and in all sleeping rooms and hallways.
- (d) There is no expansion or modification of use other than installation of the exits required by subparagraph (b) above and a utility room less than 100 square feet. The space created at ground level by the elevation shall be used only as a Group U Occupancy private parking garage or as unused crawl space.
- (e) Any addition to the building after the elevation shall require installation of an automatic fire-extinguishing system throughout the building.

(21) Sections 903.2.4 through 903.2.13 are deleted.

(22) Section 903.4 is amended to read as follows:

903.4 Sprinkler System Monitoring and Alarms. Except for Group R, Division 3 Occupancies, all valves controlling the water supply for automatic sprinkler systems, pumps, tanks, water levels, water flow switches shall be electronically supervised. Valves when used for standpipes are excluded from this provision unless required by the Fire Code Official.

(23) Section 903.4.1 is amended to read as follows:

903.4.1 Signals. Alarm, supervisory and trouble signals shall be distinctly different and shall be automatically transmitted to an approved central station, remote supervising station or propriety supervising station as defined in NFPA 72, or when approved by the Fire Code Official shall sound an audible alarm at a constantly attended location.

(24) Section 903.4.2 is amended to read as follows:

903.4.2 Alarms. Every new fire alarm system installed for the purpose of evacuation, including those systems activated solely by fire sprinkler systems, shall be designed so that all occupants of the building shall be notified audibly and visually for each separate occupancy or each separate residential dwelling unit.

(25) Sections 903.4.3 through 903.6.1 are deleted. [Caveat: There is no 6.1 in CBC]

(26) Section 905.3.1 is amended to read as follows:

905.3.1 Building height. Class I standpipes shall be installed in buildings three stories or over in height with approved outlets provided on each floor level, including the roof when roof access is provided.

(27) Section 905.9 is amended to read as follows:

905.9 Valve supervision. Valves controlling water supplies shall be supervised in the open position so that a change in the normal position of the valve will generate a supervisory signal at the supervising station required by Section 903.4. Where a fire alarm system is provided, a signal shall also be transmitted to the control unit.

Exceptions: Valves to underground key or hub valves in roadway boxes provided by the municipality or public utility do not require supervision.

(28) Section 907.2.8.1 is amended to read as follows:

907.2.8.1 Manual fire alarm system for R-1 Occupancies.

Exceptions:

Manual fire alarm boxes are not required throughout the building when the following conditions are met:

- 1.1 The building is equipped throughout with an automatic fire sprinkler system installed in accordance with Sections 903.3.1.1 or 903.3.1.2 and
- 1.2 Within each residential unit the notification devices will activate upon sprinkler water flow and
- 1.3 At least one manual fire alarm box is installed in an approved location.

(29) Section 907.2.8.3 is amended to read as follows:



907.2.8.3 Smoke alarms. Smoke alarms shall be installed as required by Section 907.2.19.

(30) Section 907.2.9, Exception 2, is amended to read as follows:

907.2.9 Manual fire alarm system for R-2 Occupancies.

Exceptions:

Manual fire alarm boxes are not required throughout the building when the following conditions are met:

- 1.1 The building is equipped throughout with an automatic fire sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2 and
- 1.2 Within each residential unit the notification devices will activate upon sprinkler water flow and
- 1.3 At least one manual fire alarm box is installed in an approved location.

(31) Section 1505.1 of the California Building Code is amended to read as follows:

(a) General. Except as otherwise provided in subsection (b), the roof covering assembly on any structure regulated by this code shall be as specified in Table No. 1505.1 and as classified in Section 1505.

(b) Roof Covering Assembly on Specified Structures. Notwithstanding any other provision of this code, the roof-covering assembly on the following structures regulated by this code shall be a Class A roof-covering assembly as classified in Section 1505.2.

1. Any new structure regulated by this code;
2. Any existing structure regulated by this code when more than fifty percent (50%) of the roof area of the structure is re-roofed;
3. Any addition regulated by this code when the addition creates a new roof and the floor area of any single floor of the addition exceeds six hundred forty (640) square feet.

(c) Roof-covering Assembly. The roof-covering assembly includes the roof deck, underlayment, interlayment, insulation and covering which is assigned to a roof-covering classification.

(d) The following types of structures are exempt from this requirement:

1. Greenhouses
2. Patio covers
3. Fabric membrane structures when the fabric is certified as "flame retardant" by the State fire Marshall
4. Residential vehicle covers
5. Awnings
6. Sod roofs

(32) Section J101.2 "Flood hazard areas" of Appendix J of the California Building Code is amended to add subsection J101.2.1 and J101.2.2 to read as follows:

J101.2.1 Laguna de Santa Rosa Requirements - No fill shall be placed in the Laguna de Santa Rosa unless an engineering analysis is provided which demonstrates that no reduction in flood storage capacity within the Laguna will result from the fill placement and related improvements.

J101.2.2 Flood-Prone Urban Area Requirements:

1. In addition to requirements contained in Section J104.6-8 for grading requirements: plans, calculations and other documentation shall be submitted to the Permit and Resource Management Department demonstrating the proposal will not adversely affect drainage.
2. Before final approval of work authorized by any grading permit, the Chief Building Official may require that a registered civil engineer inspect the work and verify that the work conforms to approved plans and specifications.
3. Appeals from the requirements of this section shall be heard by the Chief Building Official, and his/her decision shall be final.

EXCEPTION: Appeals of any notice and order to abate a violation of this section shall be heard and decided by a hearing officer pursuant to Section 1-7.3 of the Sonoma County Code.

(33) Section J102 "Definitions" of Appendix J of the California Building Code is amended to add the following definitions:

APPROVAL shall mean that the proposed work or completed work conforms to this chapter and all ministerial requirements of the Permit and Resource Management Department for grading as determined by the Chief Building Official or his/her designee.

AS-GRADED is the extent of surface conditions on completion of grading.

BEDROCK is in-place solid rock.

BORROW is earth material acquired from an off-site location for use in grading on a site.

CIVIL ENGINEER is a professional engineer registered in the State of California to practice in the field of civil works.

CIVIL ENGINEERING is the application of the knowledge of the forces of nature, principles of mechanics and the properties of materials to the evaluation, design and construction of civil works as further defined in Chapter 7, Article 1, Section 6731 of the Business and Professions Code.

EARTH MATERIAL is any rock, natural soil or fill or any combination thereof.

ENGINEERING GEOLOGIST is a professional geologist registered in the State of California in the field of engineering geology.

ENGINEERING GEOLOGY is the application of geologic knowledge and principles in the investigation and evaluation of naturally occurring rock and soil for use in the design of civil works.

GEOTECHNICAL ENGINEER See "Soils Engineer."

FLOOD-PRONE URBAN AREA shall include the following areas to the extent such areas are within the un-incorporated portions of Sonoma County:

a) That area within the boundaries defined on the north by River Road; on the west by the easterly boundary of the Laguna de Santa Rosa to its intersection with Highway 12 and continuing with the easterly limit of the City of Sebastopol to Highway 116; on the south by Highway 116 to its intersection with Old Redwood Highway then south to east Cotati Avenue and east to its intersection with Petaluma Hill Road; and on the east by Petaluma Hill Road, north to Highway 12 then west to Highway 101 and north to River Road. Laguna de Santa Rosa shall be the Laguna de Santa Rosa and tributaries thereto, as shown, on the National Flood Insurance Program Flood Insurance Rate Map dated September 6, 2006, and all subsequent amendments and/or revisions thereto.

PROFESSIONAL INSPECTION is the inspection required by this code to be performed by the civil engineer, soils engineer or engineering geologist. Such inspections include that performed by persons supervised by such engineers, or geologists and shall be sufficient to form an opinion relating to the conduct of the work.

SITE is any lot or parcel of land or contiguous combination thereof, under the same ownership, where grading is performed or permitted.

SOIL is naturally occurring superficial deposits overlying bedrock.

SOILS ENGINEER (GEOTECHNICAL ENGINEER) a civil engineer registered in the State of California to use the relevant title or authority.

SOILS ENGINEERING (GEOTECHNICAL ENGINEERING) is the application of the principles of soils mechanics in the investigation, evaluation and design of civil works involving the use of earth materials and the inspection or testing of the construction thereof.

(34) Section J102 "Definitions" of Appendix J of the California Building Code is amended to add the following definition to the subcategory of "GRADE":

Rough Grade is the stage at which the grade approximately conforms to the approved plan.

(35) Section J103 "Permits Required" of Appendix J of the California Building Code amending J103.2.1 and amending J103.2 to add the following:

J103.2 Exemptions from Grading Permit

1. Grading where material does not meet the definition of Earth Material, or material that will decompose within one year and become Earth Material.
  
8. An excavation that:
  - (a) is less than 2 feet in depth
  - (b) does not create a cut slope greater than 5 feet in height and steeper than 1 unit vertical in 1-1/2 units horizontal (66.7%).
  
9. A fill that meets any one of the following conditions and is not placed within the Laguna de Santa Rosa or within the floor-prone areas as defined in Section 1102:
  - (a) is less than 1 foot in depth and placed on natural terrain with a slope flatter than 1 unit vertical in 5 units horizontal (20% slope)
  - (b) is less than 3 feet in depth not intended to support structures
  - (c) does not exceed 50 cubic yards on any one lot.
  - (d) does not alter or obstruct a drainage course.
  - (e) these exemptions shall not apply to fill placed in the Laguna de Santa Rosa and within flood-prone areas defined in Section J102

Exception:

- i) Pools. Unless otherwise required by this code, the placement fill from the construction of new swimming pools on the same lot. Placement of fill shall be depicted on plans and are subject to review and approval by the Chief Building Official or his/her designee.

ii) Building Foundation. Unless otherwise required by this code, the placement of fill from the construction of a building foundation on the same lot exceeding 50 cubic yards. Placement of fill shall be depicted on plans and are subject to review and approval by the Chief Building Official or his/her designee.

iii) Road/Driveway Maintenance. Unless otherwise required by this code, the placement of fill to a depth of less than one foot for 1) the maintenance of an existing road/driveway; or 2) the construction of a new road/driveway

10. Within flood-prone urban areas as defined in Section J102, a fill less than six (6) inches in depth and not exceeding 50 cubic yards, on any one lot or parcel of land, which is placed on natural terrain and does not obstruct a drainage course.

11. Excavations and fills for a soil, water, wildlife, or other resource conservation, restoration, or enhancement project, where a public agency assumes full responsibility for the work.

(36) Section J104 "Permit Application and Submittals" of Appendix J of the California Building Code is amended to add the following :

J104.4 Liquefaction study. For sites with mapped maximum considered earthquake spectral response accelerations at short periods ( $S_s$ ) greater than 0.5g as determined by Section 1613, a study of the liquefaction potential of the site shall be provided, and the recommendations incorporated in the plans.

Exception:

1. A liquefaction study is not required where the building official determines from established local data that the liquefaction potential is low.
2. [OSHPD 1.2 & 4] Exception 1 not permitted by OSHPD.

3. Grading where no structure is planned or constructed.

J104.5 Engineering Geology Report. The engineering geology report required by Section J104.7 shall include an adequate description of the geology of the site, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, and opinion on the adequacy for the intended use of sites to be developed by the proposed grading, as affected by geologic factors.

J104.6 Grading Designation. Grading in excess of 5,000 cubic yards shall be performed in accordance with the approved grading plan prepared by a civil engineer, and shall be designated as "engineered grading." Grading involving less than 5,000 cubic yards shall be designated "regular grading" unless the permittee chooses to have all the grading performed as engineered grading, or the building official determines that special conditions or unusual hazards exist, in which case grading shall conform to the requirements for engineered grading.

J104.7 Engineered Grading Requirements. Application for a grading permit shall be accompanied by two sets of plans and specifications, and supporting data consisting of a soils engineering report as set forth in J104.3 and engineering geology report. The plans and specifications shall be prepared and signed by an individual licensed by the State of California to prepare such plans or specifications when required by the building official.

Specifications shall contain information covering construction and material requirements.

Plans shall be drawn to scale upon substantial paper or cloth and shall be of sufficient clarity to indicate the nature and extent of the work proposed and show in detail that they will conform to the provisions of this code and all relevant laws, ordinances, rules and regulations. The first sheet of each set of plans shall give location of the work, the name and address of the owner, and the person by whom they were prepared.

The plans shall include the following information:

1. General vicinity of the proposed site.

2. Property limits and accurate contours of existing ground and details of terrain and area drainage.

3. Limiting dimensions, elevation or finish contours to be achieved by the grading, and proposed drainage channels and related construction.

4. Detailed plans of all surface and subsurface drainage devices, walls, cribbing, dams and other protective devices to be constructed with, or as a part of, the proposed work together with a map showing the drainage area and the estimated runoff of the area served by any drains.

5. Location of any buildings or structures on the property where the work is to be performed and the location of any buildings or structures on land of adjacent owners that are within 15 feet of the property or that may be affected by the proposed grading operations.

6. Recommendations included in the soils engineering report and the engineering geology report shall be incorporated in the grading plans or specifications. When approved by the building official, specific recommendations contained in the soils engineering report and the engineering geology report, which are applicable to grading, may be included by reference.

7. The dates of the soils engineering and engineering geology reports together with the names, addresses and phone numbers of the firms or individuals who prepared the reports.

J104.8 Regular Grading Requirements. Each application for a grading permit shall be accompanied by a plan in sufficient clarity to indicate the nature and extent of the work. The plans shall give the location of the work, the name of the owner and the name of the person who prepared the plan. The plan shall include the following information:

1. General vicinity of the proposed site.

2. Limiting dimensions and depth of cut and fill.

3. Location of any buildings or structures where work is to be performed, and the location of any buildings or structures within 15 feet of the proposed grading.



J104.9 Issuance. The provisions of Appendix Chapter 1, Section 105.3 are applicable to grading permits. The building official may require that grading operations and project designs be modified if delays occur which incur weather-generated problems not considered at the time the permit was issued.

(37) Section J105 "Inspections" of Appendix J of the California Building Code amending J105.1 and J105.2 as follows and amending Section J105 to add the following:

J105.1 General. Grading operations for which a permit is required shall be subject to inspection by the building official. Inspections shall be governed by Section 109, Appendix Chapter 1, of this code.

J105.2 Special inspections. Special inspection of grading operation shall be provided by the civil engineering, soils engineer and the engineering geologist retained to provide such services in accordance with Section J105.6 for engineered grading and as required by the building official for regular grading. The special inspection requirements of Section 1704.7 shall apply to work performed under a grading permit where required by the Chief Building Official.

J105.3 Civil Engineer. The civil engineer shall provide special inspection within such engineer's area of technical speciality, which shall consist of observation and review as to the establishment of line, grade and surface drainage of the development area. If revised plans are required during the course of the work they shall be prepared by the civil engineer.

J105.4 Soils Engineer. The soils engineer shall provide special inspection with such engineer's area of technical speciality, which shall include observation during grading and testing for required compaction. The soils engineer shall provide sufficient observation during the preparation of the natural ground and placement and compaction of the fill to verify that such work is being performed in accordance with the conditions of the approved plan and the appropriate requirements of this chapter. Revised recommendations relating to conditions differing from the approved soils engineering and engineering geology reports shall be submitted to the permittee, the building official and the civil engineer.

J105.5 Engineering Geologist. The engineering geologist shall provide special inspection within such engineer's area of technical speciality, which shall include professional inspection of the bedrock excavation to determine if conditions encountered are in conformance with the approved report. Revised recommendations relating to conditions differing from the approved engineering geology report shall be submitted to the soils engineer.

J105.6 Permittee. The permittee shall be responsible for the work to be performed in accordance with the approved plans and specifications and in conformance with the provisions of this code, and the permittee shall engage consultants, if required, to provide special inspections on a timely basis. The permittee shall act as a coordinator between the consultants, the contractor and the chief building official. In the event of changed conditions, the permittee shall be responsible for informing the chief building official of such change and shall provide revised plans for approval.

J105.7 Building Official. The building official shall inspect the project at the various stages of work requiring approval to determine that adequate control is being exercised by the professional consultants. Consultants performing special inspections must be on the list of qualified special inspection firms maintained by the chief building official or have prior approval by the chief building official to be placed on said list.

J105.8 Notification of Noncompliance. If in the course of fulfilling their respective duties under this chapter, the civil engineer, the soils engineer or the engineering geologist finds that the work is not being done in conformance with this chapter or the approved grading plans, the discrepancies shall be reported immediately in writing to the permittee and to the building official.

J105.9 Transfer of Responsibility. If the civil engineer, the soils engineer, or the engineering geologist of record is changed during grading, the work shall be stopped until a qualified replacement has agreed in writing to accept their responsibility within the area of technical competence for approval upon completion of the work. It shall be the duty of the permittee to notify the building official in writing of such change prior to the recommencement of such grading.

J105.10 Completion of work.

1. Final Reports - Upon completion of the rough grading work and at the final completion of the work, the following reports and drawings and supplements thereto are required for engineered grading or when professional inspection is performed for regular grading, as applicable.

a). An as-built grading plan prepared by the civil engineer retained to provide such services showing original ground surface elevations, as-graded ground surface elevations, lot drainage patterns, and the locations and elevations of surface drainage facilities and of the outlets of subsurface drains. As-constructed locations, elevations and details of subsurface drains shall be shown as reported by the soils engineer.

Civil engineers shall state that to the best of their knowledge the work within their area of responsibility was done in accordance with the final approved grading plan.

b). A report prepared by the soils engineer retained to provide such services including locations and elevations of field density tests, summaries of field and laboratory tests, other substantiating data, and comments on any changes made during grading and their effect on the recommendations made in the approved soils engineering investigation report. Soils engineers shall submit a statement that, to the best of their knowledge, the work within their area of responsibilities is in accordance with the approved soils engineering report and applicable provisions of this chapter.

c). A report prepared by the engineering geologist retained to provide such services including a final description of the geology of the site and any new information disclosed during the grading and the effect of same on recommendations incorporated in the approved grading plan. Engineering geologists shall submit a statement that, to the best of their knowledge, the work within their area of responsibility is in accordance with the approved engineering geologist report and applicable provisions of this chapter.

d). The grading contractor shall submit in a form prescribed by the building official a statement of conformance to said as-built plan and the specifications.

J105.11 Notification of Completion. The permittee shall notify the building official when the grading operation is ready for final inspection. Final approval shall not be given until all work, including installation of all drainage facilities and their protective devices, and all erosion-control measures have been completed in accordance with the final approved grading plan, and the required reports have been submitted.

(38) Section J106 "Excavations" of Appendix J of the California Building Code has been amended to add the following to J106.1 "Maximum slope".

J106.1 Maximum Slope. The slope of cut surfaces shall be no steeper than is safe for the intended use, and shall be no steeper than 2 horizontal to 1 vertical (50 percent) unless the applicant furnishes a soils report justifying a steeper slope and stating that the site has been investigated, giving an opinion that a cut at a steeper slope will be stable and not create a hazard to public or private property.

(39) Section J107 "Fills" of Appendix J of the California Building Code is amended as follows :

J107.1 General. Unless otherwise recommended in the soils report, fills shall conform to the provisions of this section. In the absence of an approved soils engineering report, these provisions may be waived for minor fills not intended to support structures.

J107.4 Fill Material. Fill material shall not include organic, frozen or other deleterious materials. No rock or similar irreducible material with a maximum dimension greater than 12 inches (305mm) in any dimension shall be included in fills.

Exception: The building official may permit placement of larger rock when the soils engineering properly devises a method of placement, and continuously inspects its placement and approves the fill stability. The following conditions shall also apply:

1. Prior to issuance of the grading permit, potential rock disposal areas shall be delineated on the grading plan.

2. Rock sizes greater than 12 inches in maximum dimension shall be 10 feet or more below grade, measured vertically.

3. Rocks shall be placed so as to assure filling of all voids with well-graded soil.

J107.5 Compaction. All fill material shall be compacted to 90 percent of maximum density as determined by ASTM D 1557, Modified Proctor, in lifts not exceeding 12 inches (305mm) in depth.

*[ DSA-55 and OSHPD 1, 2 & 4] This section establishes minimum requirements only.*

Exception: Landscape, or wetland mitigation bank work or agricultural work where depth of soil disturbance is less than 4 feet.

(40) Section J107 "Fills" of Appendix J of the California Building Code is amended to add subsection J107.7 and J107.8 to read as follows:

J107.7 Laguna de Santa Rosa Requirements. No fill shall be placed in the Laguna de Santa Rosa unless an engineering analysis is provided which demonstrates that no reduction in flood storage capacity within the Laguna will result from the fill placement and related improvements.

J107.8 Flood-Prone Urban Area Requirements:

1. In addition to requirements contained in Section J104, plans, calculations and other documentation shall be submitted to the Permit and Resource Management Department demonstrating the proposal will not adversely affect drainage.

2. Before final approval of work authorized by any grading permit, the building official may require that a registered civil engineer inspect the work and verify that the work conforms to approved plans and specifications.

3. Appeals from the requirements of this section may be made to the board of building appeals pursuant to Section 7-4 of this chapter.

Exception: Appeals of any notice and order to abate a violation of this section shall be heard and decided by a hearing officer pursuant to Section 1-7.3 of the Sonoma County Code.

(41) Section J108 "Setbacks" of Appendix J of the California Building Code is amended to add the following:

J108.4 Modification of Slope Location. The chief building official may approve alternate setbacks. The chief building official may require an investigation and recommendation by a qualified engineer or engineering geologist to demonstrate that the intent of this section has been satisfied.

(42) Section J109.2 "Terraces" of Appendix J of the California Building Code is amended to read as follows:

J109.2 Terraces. Terraces at least 6 feet in width shall be established at not more than 30-foot vertical intervals on all cut or fill slopes to control surface drainage and debris except that where only one terrace is required, it shall be at midheight. For cut or fill slopes greater than 60 feet and up to 120 feet in vertical height, one terrace at approximately midheight shall be 12 feet in width. Terrace widths and spacing for cut and fill slopes greater than 120 feet in height shall be designed by the civil engineer and approved by the building official. Suitable access shall be provided to permit proper cleaning and maintenance.

Swales or ditches on terraces shall have a minimum gradient of 5 percent and must be paved with reinforced concrete not less than 3 inches in thickness or an approved equal paving. They shall have a minimum depth at the deepest point of 1 foot and a minimum paved width of 5 feet.

A single run of swale or ditch shall not collect runoff from a tributary area exceeding 13,500 square feet (projected) without discharging into a down drain.

(43) Section J109 "Drainage and Terracing" of Appendix J of the California Building Code is amended to add subsections J109.5 and J109.6 to read as follows:

J109.5 Subsurface Drainage. Cut and fill slopes shall be provided with subsurface drainage as necessary for stability.

J109.6 Disposal. All drainage facilities shall be designed to carry waters to the nearest practicable drainage way approved by the building official or other appropriate jurisdiction as a safe place to deposit such waters. Erosion of ground in the area of discharge shall be prevented by installation of noncorrosive downdrains or other devices.

Building pads shall have a drainage gradient of 2 percent toward approved drainage facilities, unless waived by the building official.

EXCEPTION: The gradient from the building pad may be 1 percent if all of the following conditions exist throughout the permit area:

1. No proposed fills are greater than 10 feet in maximum depth.
2. No proposed finish cut or fill slope faces have a vertical height in excess of 10 feet.
3. No existing slope faces steeper than 1 unit vertical in 10 units horizontal (10% slope) have a vertical height in excess of 10 feet.

(44) Section J110 "Erosion Control" of Appendix J of the California Building Code is amended to read as follows:

J110.1 Slopes. The faces of cut and fill slopes shall be prepared and maintained to control against erosion. This control may consist of effective planting, or any other means considered by current engineering practice to be Best Management Practices (BMPs). The protection for the slopes shall be installed as soon as practicable and no later than October 15, and shall be maintained from October 15 to April 15. No construction, grading, cutting or filling shall be undertaken between October 15 and April 15 except in accordance with an approved erosion control plan identifying the proposed BMPs. Where cut slopes are not subject to erosion due to the erosion resistant character of the materials, such protection may be omitted.

J110.2 Other Devices. Where necessary, check dams, cribbing, riprap, siltation fences, straw wattles or any other devices or methods shall be used to control erosion and provide safety.

(45) Section J110, "Erosion Control" of Appendix J of the California Building Code is amended to add subsections J110.3 and J110.4 to read as follows:

J110.3 Erosion Control Measures During Construction. The proposed measures to protect against erosion during the construction process shall be shown on the plans. The details, location and description of said measures shall also be included on the plans. The proposed measures must be installed no later than October 15, and must be maintained to accommodate any changes in site conditions until project completion.

J110.4 Erosion Control Measures Post Construction. The proposed permanent erosion control measures shall be shown on the plans, which shall also include the details, location and description of said measures. The permanent measures shall be installed in accordance with the approved plans. Planting completed during the summer must be monitored and maintained until well-established or until the rainy season whichever comes first.

(46) Appendix J of the California Building Code is amended to amend subsection J111 and add subsections J112, J113 and J114 to read as follows:

#### J111 HAZARDS

Whenever the chief building official determines that any existing excavation or embankment or fill on private property has become a hazard to life and limb, or endangers property, or adversely affects the safety, use or stability of a public way or drainage channel, the owner of the property upon which the excavation or fill is located or other person or agent in control of said property, upon receipt of notice in writing from the chief building official, shall within the period specified therein repair or eliminate such excavation or embankment to eliminate the hazard and to be in conformance with the requirements of this code.

#### J112 GRADING FEES

J112.1 General. Fees shall be assessed in accordance with the provisions of this section or shall be as set forth in the fee schedule adopted by the jurisdiction.

J112.2 Plan Review Fees. When a plan or other data are required to be submitted, a plan review fee shall be paid at the time of submitting plans and



specifications for review. Said plan review fee shall be as set forth in the fee structure adopted annually by the Board of Supervisors. Separate plan review fees shall apply to retaining walls or major drainage structures as required elsewhere in this code. For excavation and fill on the same site, the fee shall be based on the volume of excavation or fill, whichever is greater.

J112.3 Grading Permit Fees. A fee for each grading permit shall be paid to the building official as set forth in the fee structure adopted annually by the Board of Supervisors. Separate permits and fees shall apply to retaining walls or major drainage structures as required elsewhere in this code. There shall be no separate charge for standard terrace drains and similar facilities.

### J113 BONDS

The building official may require bonds in such form and amounts as may be deemed necessary to ensure that the work, if not completed in accordance with the approved plans and specifications, will be corrected to eliminate hazardous conditions.

In lieu of a surety bond the applicant may file a cash bond or instrument of credit with the building official in an amount equal to that which would be required in the surety bond.

### J114 REFERENCED STANDARDS

ASTM D 1557-e01	Test Method for Laboratory Compaction Characteristics of Soil Using Modified Effort [56,000 ft-lb/cubic ft (2,700kN-m/cubic meter)].	J107.6
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(b) The 2007 California Mechanical Code Chapters 1-17 and Appendix Chapters I, A, B C, and D, is adopted and incorporated herein by reference, save and except such portions as are deleted, modified or amended as follows:

(1) Section 102.8.3, Appeals, of the California Mechanical Code is amended to read as follows by adding the following:

108.8.3 Appeals. Appeals to orders, decisions or determinations of the Building Official relative to the requirements of this code shall be made in accordance with Sections 7-3 and 7-4 of the Sonoma County Code. Except as otherwise provided in law, any person, firm or corporation adversely affected by a decision, order or determination by a city, county or city and county relating to the application of building standards published in the California Building Standards Code, or any other applicable rule or regulation adopted by the Department of Housing and Community Development, or any lawfully enacted ordinance by a city, county or city and county, may appeal the issue for resolution to the local appeals board or housing appeals board as appropriate. The local appeals board shall hear appeals relating to new building construction and the housing appeals board shall hear appeals relating to existing buildings.

(2) Section 110.0 of the California Mechanical Code Appendix Chapter 1, entitled Board of Appeals, is hereby deleted.

(3) Section 114.4 of the California Mechanical Code Appendix Chapter 1 is amended to read as follows:

Section 114.4 Expiration. Unless otherwise authorized, every permit issued by the Permit and Resource Management Department under the provisions of this code shall expire by limitation three (3) years from the date of permit issuance. The Chief Building Official may limit a permit to a lesser time period when necessary to abate dangerous or substandard conditions. The Chief Building Official may extend this time period when such extension is warranted, including (1) to correct an error by the department, (2) when a legal action prevents the project from being completed within the three year time frame, or (3) in the interest of public health and safety. The Chief Building Official's decision regarding the limitation period shall be final.

Before any work can be recommenced on any expired permit, a new permit shall first be obtained. The new permit shall be obtained for all work necessary to finish the project including work already completed that has not been previously inspected and approved by the department. The building standards for the work authorized by the new permit shall be as described in Section 108.3.1 as to the erection and construction of dwellings and appurtenant structures for which construction was lawfully commenced or approved prior to the effective date of this ordinance.

The fees for the new permit shall be based on the current fee schedule at full value of the previously permitted work minus the value of the work inspected and approved prior to expiration of the permit plus the full value of any new work not previously permitted per PRMD Expired Permit Policy

(4) Section 115.1 of the California Mechanical Code Appendix Chapter 1 is hereby deleted.

(5) Section 115.2 of the California Mechanical Code Appendix 1 is amended to read as follows:

115.2 Permit Fees. The fee for each permit shall be set forth by separate fee ordinance of the Board of Supervisors.

(6) Section 115.4 of the California Mechanical Code Appendix 1 is amended to read as follows:

115.4 Expiration of Plan Review. If no permit is issued within one year following the date of application, the application shall expire by limitation, and plans and other data submitted for review may thereafter be returned to the applicant or destroyed by the building official. If, after such expiration, the original plans are resubmitted within 180 days following such expiration, the plan review fee shall be 25% of that otherwise required. No application shall be renewed in this fashion more than once. In order to further renew action on an application after expiration, the applicant shall resubmit plans and pay a new plan review fee. The Chief Building Official may extend this time period when such extension is warranted, including but not limited to (1) to correct an error by the department, (2) when a legal action prevents the project from being completed within the three year time frame, or (3) in the interest of public health and safety. The Chief Building Official's decision regarding the limitation period shall be final.

(c) The 2007 California Plumbing Code Chapters 1-16 and Appendices 1, A, B, D, E, F, I, K, and L are adopted and incorporated herein by reference, save and except such portions as are deleted, modified or amended as follows:

(1) Section 108.8.3 of the California Plumbing Code is amended to read as follows:

108.8.3 Appeals. Appeals to orders, decisions or determinations of the Building Official relative to the requirements of this code shall be made in accordance with Sections 7-3 and 7-4 of the Sonoma County Code.

(2) Section 203.0 of the California Plumbing Code is amended to add the following definition:

Administrative Authority - The Chief Building Official.

(3) Section 305.0 of the California Plumbing Code is amended to add the following sections:

305.4 Every dwelling or other building or place where persons congregate, reside or are employed shall be provided with an adequate number of water flush toilets connected to a sewage disposal system which shall consist of a public sewer connection or a septic tank and a system of underground drains for the disposal of the tank effluent, or other systems approved by the Chief Building Official. Such system shall be constructed to meet the requirements of construction and maintenance provided in this chapter and the codes adopted hereby.

Exception: A facility for the boarding of horses as defined in Sonoma County Zoning Regulations Definitions §26-02-140 may have one part time or full time employee without being required to meet this requirement.

305.5 No privy, including vault privies, chemical privies, pit privies or cesspools shall be constructed, maintained or used except upon written approval of the Director of Permit and Resource Management Department unless otherwise specifically permitted by law.

305.6 It is unlawful to discharge from any privy, cesspool, septic tank, container, sewer pipes or conduits not connected to a public sewer system, sewage, polluted or contaminated water or any matter of substance offensive, injurious or dangerous to public health where such water overflows any land whatsoever, including tideland, or where such water empties, flows, seeps or drains into or adversely affects any springs, streams, rivers, lakes, other waters or any public highway within the County of Sonoma.

(4) Section 103.3.4 of the California Plumbing Code Appendix I is amended to read as follows:

Section 103.3.4 Expiration. Unless otherwise authorized, every permit issued by the Permit and Resource Management Department under the provisions of this code shall expire by limitation three (3) years from the date of permit issuance. The Chief Building Official may limit a permit to a lesser time period when necessary to abate dangerous or substandard conditions. The Chief Building Official may extend this time period when such extension is warranted, including but not limited to (1) to correct an error by the department, (2) when a legal action prevents the project from being completed within the three year time frame, or (3) in the interest of public health and safety. The Chief Building Official's decision regarding the limitation period shall be final.

Before any work can be recommenced on any expired permit, a new permit shall first be obtained. The new permit shall be obtained for all work necessary to finish the project including work already completed that has not been previously inspected and approved by the department. The building standards for the work authorized by the new permit shall be as described in Section 108.3.1 as to the erection and construction of dwellings and appurtenant structures for which construction was lawfully commenced or approved prior to the effective date of this ordinance.

The fees for the new permit shall be based on the current fee schedule at full value of the previously permitted work minus the value of the work inspected and approved prior to expiration of the permit plus the full value of any new work not previously permitted per PRMD Expired Permit Policy.

(5) Section 103.4.1 of the California Plumbing Code Appendix I is amended to read as follows:

103.4.1 Permit Fees. Each applicant shall pay for each permit, at the time of issuance, a fee in accordance with fee schedule adopted by the Board of Supervisors.

(6) Section 103.4.2 is hereby deleted.

(7) Section 103.4.3 of the California Plumbing Code Appendix I is amended to read as follows:

103.4.3 Expiration of Plan Review. If no permit is issued within one year following the date of application, the application shall expire by limitation, and plans and other data submitted for review may thereafter be returned to the applicant or destroyed by the building official. If, after such expiration, the original plans are resubmitted within 180 days following such expiration, the plan review fee shall be 25% of that otherwise required. No application shall be renewed in this fashion more than once. In order to further renew action on an application after expiration, the applicant shall resubmit plans and pay a new plan review fee. The Chief Building Official may extend this time period when such extension is warranted, including but not limited to (1) to correct an error by the department, (2) when a legal action prevents the project from being completed within the three year time frame, or (3) in the interest of public health and safety. The Chief Building Official's decision regarding the limitation period shall be final.

(8) The phrase "abutting lot" as used in Section 721.2 and Appendix Chapter K Section K1 G of the California Plumbing Code, includes:

(i) An unimproved lot connected to another lot by an easement provided the lots are in common ownership;

(ii) An improved lot connected to another lot by an easement. The lots need not be under common ownership so long as the lot owner has an easement over the abutting lot sufficient for private sewage disposal subject to approval of the Chief Building Official.

(9) In Table K-1 of the California Plumbing Code, the first sentence under "NOTE" shall be deleted due to the general topographic nature of Sonoma County. Horizontal distances between parts of a leaching system shall be determined by the Director of Permit and Resource Management.

(10) Section K-3 of Appendix Chapter K of the California Plumbing Code, 1998 Edition is amended by deleting Item 3, the exception thereto and Item 5.

(d) The 2007 California Electrical Code, Articles 89, 90, Chapters 1-9, Annex A through G is adopted and incorporated herein by reference and amended as follows:

(1) Section 89.108.3, Appeals, of the California Electrical Code, is amended as follows:

89.108.3 Appeals. Appeals to orders, decisions or determinations of the Building Official relative to the requirements of this code shall be made in accordance with Sections 7-3 and 7-4 of the Sonoma County Code.

(2) Section 80.15 of Annex G of the California Electrical Code is amended by adding Section I to read as follows:

80.15 (I) Violation penalties. Any person who violates a provision of this code or fails to comply with any of the requirements thereof or who erects, constructs, alters or repairs a building or structure in violation of the approved construction documents or directive of the building official, or of the a permit or certificate issued under the provisions of this code, shall be subject to an investigation fee equal to the amount of the permit fee, whether or not a permit is then or subsequently issued. The payment of such investigation fee shall not exempt any person from compliance with all other provisions of this code nor from any penalty prescribed by law.

(3) Section 80.19 of annex G of the California Electrical code is amended by adding the following Section I:

Section 80.19 Expiration. Unless otherwise authorized, every permit issued by the Permit and Resource Management Department under the provisions of this code shall expire by limitation three (3) years from the date of permit issuance. The Chief Building Official may limit a permit to a lesser time period when necessary to abate dangerous or substandard conditions. The Chief Building Official may extend this time period when such extension is warranted, including but not limited to (1) to correct an error by the department, (2) when a legal action prevents the project from being completed within the three year time frame, or (3) in the interest of public health and safety. The Chief Building Official's decision regarding the limitation period shall be final.

Before any work can be recommenced on any expired permit, a new permit shall first be obtained. The new permit shall be obtained for all work necessary to finish the project including work already completed that has not been previously inspected and approved by the department. The building standards for the work authorized by the new permit shall be as described in Section 108 3.1 as to the erection and construction of dwellings and appurtenant structures for which construction was lawfully commenced or approved prior to the effective date of this ordinance.

The fees for the new permit shall be based on the current fee schedule at full value of the previously permitted work minus the value of the work inspected and approved prior to expiration of the permit plus the full value of any new work not previously permitted per PRMD Expired Permit Policy.

(4) Section 80.19 (E) of Annex G of the California Electrical Code is amended to read as follows:

80.19 (E) Permit Fees. The fee for each electrical permit shall be as set forth in a separate fee ordinance of the Board of Supervisors.

(5) Section 80.19 of Annex G of the California Electrical Code is amended by adding the following to Section J:

115.4 80.19(J) Expiration of Plan Review. If no permit is issued within one year following the date of application, the application shall expire by limitation, and plans and other data submitted for review may thereafter be returned to the applicant or destroyed by the building official. If, after such expiration, the original plans are resubmitted within 180 days following such expiration, the plan review fee shall be 25% of that otherwise required. No application shall be renewed in this fashion more than once. In order to further renew action on an application after expiration, the applicant shall resubmit plans and pay a new plan review fee. The Chief Building Official may extend this time period when such extension is warranted, including but not limited to (1) to correct an error by the department, (2) when a legal action prevents the project from being completed within the three year time frame, or (3) in the interest of public health and safety. The Chief Building Official's decision regarding the limitation period shall be final.

(e) 2007 California Energy Code is adopted and incorporated by reference.

(f) 2007 California Historical Building Code is adopted and incorporated by reference.

(g) 2007 California Referenced Standards Code is adopted and incorporated by reference.

(h) 2007 California Administrative Code is adopted and incorporated by reference.



(m) Section 7-17, Regulations for the construction, relocation, repair, maintenance, use and occupancy of floating homes and floating home moorages, is hereby revised as follows:

Sec. 7-17. Regulations for the construction, relocation, repair, maintenance, use and occupancy of floating homes and floating home moorages.

(a) Purpose. The purpose of this section is to provide minimum standards to safeguard life or limb, health, property and public welfare by regulating the design, construction, quality of materials, use and occupancy, location and maintenance of all floating homes and floating home moorages within the county of Sonoma.

(b) Scope. The provisions of this section shall apply to the construction, alteration, repair, demolition, removal, relocation of berthing of any floating home within the county, and to the requirements for floating home sites and floating home moorages together with appurtenant structures and facilities as regulated herein.

(c) Application to Existing Floating Homes and Moorages. Floating homes and floating home moorages in existence prior to the effective date hereof shall be examined by the building official and health officer and shall comply with the requirements for new floating homes, new floating home sites and new floating home moorages as provided in this part, it being expressly found and determined that the public health and safety require and justify the retrospective application of all the provisions contained in this section; provided, however, that the building official may grant an exception to strict compliance with specifications in the building code if he/she finds and determines a floating home which is in existence prior to the effective date thereof does not by reason of a violation of said code, adversely affect the public health, safety and welfare, and that said floating home otherwise complies with the requirements of this section.

(d) Application to Moorage Occupancies Other Than Floating Homes. Moorage structures, floatable or otherwise, and occupied or intended to be occupied for purposes other than as a floating home shall conform with the applicable requirements of this section with respect to flotation, compartmentation, construction sanitation, sewage disposal, plumbing, electrical and other utility systems, open spaces, fire protection, movement or relocation, certificate of occupancy and to the requirements of such uses or occupancies as are administered and enforced by the health officer and building official.

(e) Definitions. The following definitions apply to the words and phrases of this section, unless the context clearly indicates otherwise.

(1) "Berth" or "moor" means the fixing of a floating home by anchoring or being at an approved floating home site. Berth or moor shall not include intentional grounding, beaching or placement on piles, wharves, docks or other permanently fixed supports except as may be permitted in emergencies or for making required repairs.

(2) Floating Homes. A "floating home" is any building supported by means of flotation with one hundred percent (100%) flotation occurring at all times.

designed to be used without a permanent foundation, used, intended or designed to be built, used, rented, leased, let or hired out to be occupied, or which is occupied for living purposes by one family with facilities for living, sleeping, cooking and eating. Any such building used or intended to be used, as a dwelling for more than one family is prohibited with the county. The term "floating home" shall include "houseboat" or "ark" but shall not include any vessel designed or used primarily for commercial and recreational purposes. Floating homes are not permitted in designated Flood Hazard Zones.

(3) "Floating home moorage" means a waterfront facility for the moorage of one (1) or more floating homes, and the land and water premises on which such facility is located. Moorage must provide flotation at all times.

(4) Floating Home Site. A "floating home site" is a part of a floating home moorage located over water and designed to accommodate one (1) floating home.

(5) "Garbage" means all discarded putrescible waste matter and all discardable rubbish but not including sewage or human or animal excrement.

(6) "Health officer" means health officer of the county of Sonoma or his authorized representative assigned to the county of Sonoma.

(7) Nuisance. "Nuisance" includes:

- (i) Any public nuisance known at common law or in equity jurisprudence;
- (ii) Whatever is dangerous to human life or is detrimental to health;
- (iii) Overcrowding a room with occupants;
- (iv) Insufficient ventilation or illumination;
- (v) Inadequate or unsanitary sewage or plumbing facilities;
- (vi) A floating home moored in an area that does not provide flotation at all times;

(vii) Any of those items with exception to foundations described as a nuisance in Chapter 7 of the Code of the County of Sonoma and the Uniform Housing Code.

(8) Person. The term "person" shall include any person, firm, association, corporation or any members, agents or employees of any of the foregoing.

(9) Sewage. The term "sewage" means any and all waste substance, liquid or solid, associating with human habitation, whether or not it contains human or animal excreta or excrement, effal or any feculent matter.

(10) Story. "Story" is the portion of a floating home between the upper surface of the deck or ceiling next above.

(11) Superstructure. "Superstructure" is that portion of a floating home above the lowest deck or the level of flotation.

(12) Transient Vessel. The term "transient vessel" shall mean any vessel temporarily moored in the county of Sonoma which is occupied for a period of less than four (4) consecutive days or ten (10) days in any calendar month.

(13) Vessel. The term "vessel" means any watercraft of any type or size, including but not limited to barges, ferry boats, arks, yachts, houseboats, floating homes and rafts.

(14) Waterway. The term "waterway" means any water, waterway, lake, river, creek, canal, lagoon, bay, inlet, slough, tributary or arm of the sea situated within or bounding the county of Sonoma.

(f) Movement or Relocation of Floating Homes. Floating homes proposed to be moved into the county or proposed to be moved from one moorage site to another moorage site within the county shall comply with the requirements of this section pertaining to new floating homes.

No floating home shall be moved or relocated unless relocation permit has been issued by the Permit and Resource Management Department.

No floating home shall be moved into or relocated within the county if, after inspection and investigation by the building official, it is found to be dilapidated, unseaworthy or otherwise substandard to such an extent that it would be impractical to repair, improve or rehabilitate said floating home in accordance with the requirements of this section for new floating homes.

The building official shall not issue a permit to move or relocate a floating home until the site plan has received approval from the fire chief, the health officer, the Director of Permit and Resource Management Department, or their duly authorized staff.

The fee for relocation permit is fifty-three dollars (\$53.00) or as set by ordinance by the Board of Supervisors.

(g) Requirements For and Location of Moorages.

(1) Moorage. Register of Ownership of Floating Homes. Every owner or operator of a floating home moorage shall maintain a current register of every floating home moored on the premises under his control, such register to record the name and address of the legal owner of each floating home. A copy of said register shall be available on request to the building official.

(2) Moorage Location. Floating homes shall be berthed or moored in a marina, harbor or similar facility conforming to the requirements of this section and allocated on privately owned or privately controlled property. Moorages shall be located in any waterway or fairway, or in the public waters of any street or street end.

(3) Moorage Site Plan. Three (3) copies of a moorage site plan drawn to scale and fully dimensioned shall be submitted by the owner of said moorage to the building official for approval. The moorage plan shall include the following de-tails.

(i) Name and address of an owner or operator;

(ii) Address and legal description of the property on which

moorage is located;

(iii) The dimensions of the floating home moorage site;

(iv) The location of abutting public waterways;

(v) The location and dimensions of private waterways and land access to the moorage;

(vi) The location and identification of individual floating home sites;

(vii) The location and dimension of off-street parking spaces;

(viii) The location and dimensions of walkways and any accessory structures or facilities;

(ix) The water service system;

(x) The fire protection system;

(xi) The electrical service and lighting system;

(xii) The complete sewage system including main sewer and side sewers serving each floating homesite.

(i) Regulations for the Construction, Repair, Maintenance, Use and Occupancy of Floating Homes. The rules and regulations applicable to floating homes shall be all those rules, regulations, procedures and fee schedules as determined by the Board of Supervisors except as modified herein and/or herein provided.

(l) Material. All material, such as decking, siding and subflooring which is subjected to moisture or water splash shall be of a type not adversely affected by moisture, or shall be treated.

(j) Construction. Flooring, wall and flotation shall be designed and construction by use of diaphragm walls in such a manner that the superstructure acts as an independent unit and is not adversely affected by point reactions under the flotation.

(k) Ramps or horizontal entrance ways. Ramps shall be not less than thirty-six inches (36") in width, exclusive of required handrails which shall not reduce the width more than three inches (3").

Ramps or horizontal exits, other than mooring docks, shall be provided with two handrails or guard railings. Railings and guardrails shall meet the requirements of the California Building Code. Private ramps or horizontal exits shall be capable of carrying a live load in accordance with the following schedule.

Live Load	Length of Ramp Between Supports
50 psf	0 to 5 feet
40 psf	5 feet to 10 feet
30 psf	OVER 10 feet

Ramp design shall also include dead load. Minimum framing members shall be two inch by four inch (2" x 4") if constructed of wood.

All ramps and horizontal exits shall have exit illumination with minimum intensity of one foot candle at floor level of entry or one-tenth (1/10) foot candle on walkways or ramps. Alternate materials and methods of construction may be allowed as provided in the Sonoma County Code.

(l) Inboard Sewerage Device. A sewage receiving tank and ejector device must be installed aboard every floating home. Said device shall consist of a tank with a liquid capacity not less than thirty (30) gallons, nor more than forty (40) gallons, and shall be equipped with a two inch outlet and a one-half (1/2) h.p. pump. Said device must connect to the local sewerage lateral system, when the floating home is moored in the waters within, adjoining or encompassed in the county of Sonoma.

(m) Water Distribution. Water shall not be piped to supply floating homes through flexible hose unless the hose is a high-pressure type terminating in approved connectors and is preceded by an approved backflow prevention device. No hose shall be immersed in water or run exposed on docks, piers, etc. Length of hose shall not be excessive.

(n) Fuel-Gas Piping. All gas piping installed in floating homes shall be made with approved high-pressure hose and terminate in approved positive disconnect couplings. Gas hoses shall not be immersed in water or run exposed on docks, piers or floating homes. Length of hose shall not be excessive.

(o) A wiring system shall be nominally rated 115-230 volts, 3 wire AC, with a grounded neutral supplemented with a No. 6 minimum (or the equivalent) equipment ground conductor as an integral part of a cable assembly connected to a grounding electrode on the shore facilities while providing a minimum of one hundred (100) amperes to the houseboat, shall be provided for in all floating homes.

(p) Power Supply. Service equipment shall be located adjacent to the floating home and may not be mounted in or on the floating home.

The power supply to the floating home shall be comprised of feeder circuits consisting of not more than two floating home supply cords, each rated fifty (50) amperes minimum. Larger cords or permanently installed circuits may be used if desired.

(q) Supply Cord. Each floating home supply cord shall be approved and have four conductors, one of which shall be identified by a continuous green color with a yellow stripe. The attachment plug, connectors and mating receptacles shall be 3-pole, 4-wire grounding types covered by American Standard C-73 attachment plug and receptacles. The power supply cord shall be permanently attached to the distribution panel. A suitable clamp or equivalent shall be provided at the distribution panel to afford strain relief for the cord in order to prevent strain at the terminals. The length of power supply cord shall not be excessive.

(r) Second Supply Cord. Where a second fifty (50)-ampere floating home supply cord is installed, the two (2) cords shall not be interconnected on either the line side or the load side except that the grounding circuits and grounding means shall be electrically interconnected.

(s) Disconnection Means. Disconnecting means shall be provided in each floating home by approved service entrance equipment, consisting of circuit breakers, or a switch and fuses, and their accessories installed in a readily accessible location near the point the supply cord or conductors enter the floating home. This equipment shall contain a solderless type of grounding connector or bar with sufficient terminals for all grounding

conductors. The neutral bar termination of the grounded circuit conductors shall be insulated. The disconnecting equipment shall have a rating suitable for the connected load.

Where two (2) power supply cords are installed disconnecting means shall be provided for each cord but may be combined in single equipment without electrical interconnections other than for grounding purposes. Branch circuit equipment may be combined with the disconnecting means as a single assembly, and designed as a distribution panel. Plug fuses and fuse holders shall be tamper-resistant, type "S," enclosed in dead front panels.

(t) **Wiring Exposed to Weather.** If outdoor wiring is exposed to moisture or physical damage, it shall be protected by rigid metal conduit, rigid nonmetallic conduit or liquid-tight flexible metal conduit.

(u) **Grounding.** Grounding of electrical and nonelectrical metal parts in a floating home shall be effected through connection to a grounding bus in the floating home distribution panel. The grounding bus shall be grounded through the green conductor in the supply cord or the feeder wiring to the service ground in the service entrance equipment.

(v) **Overall Stability.** The floating home shall be stable with both dead load and live load included.

(1) **Metacentric Height.** The metacentric height (MG) shall be equal to +1.0 foot or more according to the following equation:

$$(MG) \text{ equals } W_{st}/W - L$$

Where:

$W_s$  equals unit weight of sea water

$W$  equals total weight of floating home including dead load and live load

( $L.L.$  equals 20 pounds per square foot of first floor area and 10 pounds per square foot of second floor, habitable attic or loft.)

$I_y$  equals moment of inertia of the area encompassed by the waterline around the hull or flotation (fully loaded boat) as taken about the longitudinal axis of the houseboat.

$L$  equals the distance between the center of the gravity and the center of buoyancy of the fully loaded boat.

(2) **Freeboard.** The freeboard as measured from the waterline to the top of the first floor or deck of the completed houseboat, including dead load but not live load, shall be at least 1.3 feet (with list angle equals 0.0).

(3) **Stability with off-center loading; or wind loading.** The floating home when subjected to either off-center loading or wind loading shall not exceed the limitations on hull immersions and angle of list set forth as follows:

(i) The maximum angle of list shall not exceed forty (40) degrees.

(ii) The freeboard shall be measured from the waterline to the top of the first floor or deck at side of the vessel at a point where said freeboard has its least dimension.

The allowable immersion shall not be more than two-thirds (2/3) of this freeboard. The off-center loading shall be considered as applicable to the completed houseboat, including dead load, and shall consist of a live load of one hundred (100) pounds, or five (5) pounds per foot of width, whichever is greater per lineal foot (first floor) and fifty (50) pounds, or two and one-half (1/2) pounds per foot of width, whichever is greater, per lineal foot (second floor, habitable attic, or loft). The uniform live load is to be applied halfway between the center of gravity and the outside edge of deck, to one side of the floating home at a time. The dividing line is the longitudinal axis of the vessel, and the overturning moment resulting from the off-center loading shall be taken about the computed center of gravity. Stability with the off-center loading applied shall be tested on both sides of the longitudinal axis.

Wind loading shall be applied to the completed houseboat, including dead load and live load, but not off-center loading. The moment due to the wind loading shall be computed at:

$$M_w \text{ equals } P \times A \times H$$

Where:

$M_w$  equals wind heeling moment, in foot pounds.

$P$  equals wind pressure factor, in pounds per square foot in accordance

with the following:

8.0 (for partially protected waters)

$A$  equals area, in square feet, of the projected lateral surface of the vessel above the load waterline. This surface includes the hull superstructure and areas bounded by railings and/or structural canopies.

$H$  equals height, in feet, to the center of area (A) above the first floor deck.

(v) Calculations by Engineer. Calculations by a qualified engineer showing that the stability of the floating home conforms to the above minimum requirements will be acceptable. Said calculations shall be subject to the following provisions:

(1) With reference to paragraph v(a),  $M_g$  equals - 1.0 or more.

(2) With reference to paragraph v(c), calculations will show that a result of the list angle caused by the off-center loading, the original freeboard (with list angle equals 0.0 degrees) shall not be diminished by more than sixty-seven percent (67%).

(3) With reference to paragraph v(e), calculations shall show that:

$M_r/M$  equals 10. Applied with a list equals 4.10 degrees or more.

MO equals overturning moment resulting from the off-center loading, said moment to be taken about a longitudinal line passing through the computed center of gravity of the floating home.

MR equals resisting moment due to buoyancy, said moment to be taken about a longitudinal line passing through

And:

$M_r/M_w$  equals 1.0' or more applied with a list equals 4.0 or more.

where:

$M_w$  equals wind heeling moment.

$M_r$  equals resisting moment due to buoyancy (same as  $M_r$  above).

(x) Compartmentation and Flotation.

(1) Bulkheads. Watertight pontoons, floats or any other device to keep the floating home afloat shall be fitted with transverse and/or longitudinal watertight bulkheads which provide compartmentation sufficient to keep the fully loaded vessel afloat with positive stability, with any one main compartment flooded.

For pontoon type flotation, the maximum allowable distance between bulkheads is eight feet zero inches (8'0). No single compartment shall comprise more than twenty percent (20%) of the total available flotation volume.

(2) Hull Type Flotation. The hull shall be fitted with at least one (1) longitudinal head and two (2) transverse bulk-heads. No compartment shall comprise more than twenty percent (20%) of total available flotation volume. Hull type flotation with less than two (2) transverse bulkheads may be utilized upon demonstration that the structure will remain afloat with one (1) compartment flooded. If construction materials are utilized which make the possibility of rupture of the hull extremely remote, the county may waive this requirement.

(3) Flotation Devices. The external surfaces of all flotation devices shall be watertight and thoroughly protected from corrosion from salt water, solvents and weather. Flotation devices shall be constructed so that access to each compartment is readily available from the first floor level of the completed floating home. Flotation devices shall be structurally sound and securely fastened to the main houseboat structure as approved by the officials.

(4) Bilge Pump. Where permanent type of flotation, such as styrofoam or plastic foam is not provided, a portable bilge pump shall be maintained in proper working order. Bilge pump size and installation shall be approved by the building inspection division. Bilge pump shall discharge into sewer in an approved manner.

(5) Cross Connection. A cross connection is any connection or arrangement, physical or otherwise, between a potable water supply system and any plumbing fixture or any tank, receptacle, equipment or device through which it may be possible for nonpotable, used, unclean, polluted and contaminated water, or other substances to enter into any part of such potable water system under any condition. Cross connections are prohibited.



(y) Fire Prevention. Each floating home shall maintain, on board, at least one ten (10) pound (or equivalent) all purpose dry chemical fire extinguisher for each separate level of floor of habitable living space.

(z) Life Saving Equipment. Suitable accessible storage shall be provided on deck for the storage of life preservers, and life buoys or other coast guard approved life saving devices.

(aa) Garbage Disposal. No garbage as defined in this code shall be discharged overboard, but shall be contained in a ro-dent and leak-proof container with a tight-fitting cover and disposed of in an approved refuse disposal site.

(bb) Occupancy Permits. All owners of floating homes moored in Sonoma County shall apply for and obtain an occupancy permit prior to occupancy. Following the inspection of a floating home for an occupancy permit, the owner will be advised of any deficiencies that must be corrected and of applicable building permits that may be required.

(cc) Restrictions. It shall be illegal to inhabit, occupy, moor, lease, rent or sell any floating home which does not comply with the provisions of this chapter.

(dd) Household Occupancy Permits. Form, Fee. All applications for occupancy permits shall be in writing on a form supplied by the Sonoma County health department and shall be accompanied by the required fee.

(ee) Contents of Applications. All applications shall, as nearly as possible, contain the following information:

- (1) The size, type and location of the vessel for which the permit is sought;
- (2) The number of people to be accommodated on board;
- (3) All provisions that have been made for disposal of sewage by connection to an approved shore-side sewage disposal system;
- (4) All provisions that have been made for connection of shore-side utilities;
- (5) Such other information as the Director of Permit and Resource Management Department may deem necessary to effectuate the provision of this section.

(f) Issuance. If the Chief Building Official, after investigation, determines that suitable provisions have been made for the disposal of sewage and connection of shore-side utilities, and that occupancy of the vessel for which the permit is requested will not create a hazard to health, welfare or safety of the occupants thereof or the community in general, he/she shall issue a permit. All permits may be made subject to such conditions as the Chief Building Official deems appropriate to insure compliance with the provisions of this section.

(gg) Posting. Permits shall be permanently posted and maintained upon the vessel in a conspicuous location.

The registration number of the occupancy permit shall be affixed to the vessel in letters and numbers four inches (4") in height and clearly visible in the vicinity of the main entrance.

(hh) Term-Renewal. All permits issued hereunder shall be effective for a period of one (1) calendar year, provided however, that any material change in the conditions shown upon the application or any change in ownership or location of the vessel shall revoke the permit. Permits may be renewed by resubmission of an appropriate application and payment of fees.

(ii) Inspections-Revocation. The Chief Building Official shall have authority, with the owner's consent, to board and/or inspect any vessel when he has reasonable cause to believe that the vessel is occupied in violation of the provisions hereof. The Chief Building Official shall have the right to order the floating home vacated within ten (10) days and shall have the right to revoke any permit granted hereunder in the event that he ascertains that the permittee, or any occupant of the vessel, is acting in contravention of any of the provisions hereof, or if it is deemed to be a substandard floating home.

(jj) Appeal. In the event that any applicant or permittee is for any reason dissatisfied with the action of the Chief Building Official by reason of failure to grant a permit, the order to vacate, revocation of a permit, or imposition of any conditions relating to the permit, the applicant or permittee shall have the right to appeal to the Board of Supervisors, in writing, within ten (10) days after notification of action of the health officer. Upon receipt of an appeal the Board of Supervisors shall call a hearing within thirty (30) days from receipt of the appeal and give the applicant notice thereof by registered or certified mail addressed to the appellant at the address shown on the application or permit. At the conclusion of the hearing, the Board of Supervisors shall render a decision, which decision shall be final.

(kk) Approval by Permit and Resource Management Department. No permit shall be issued until the Sonoma County Permit and Resource Management Department has determined that the vessel for which the application is made substantially complies with the provisions contained in this chapter of the code of the county of Sonoma.

(n) Section 7-18, Local conditions, is revised as follows:

Sec. 7-18. Local conditions.

Modifications to the building standards in the referenced codes are made pursuant to the authority granted in the California Health and Safety Code Section 17958.7 and 18941.5 based on local climatic, geographical or topographical conditions. A copy of the findings for such modifications is on file with the Sonoma County Clerk of the Board.

(o) Section 7-19, Definitions, is revised as follows:

Sec. 7-19. Definitions.

Whenever any of the following names or terms are used herein or in any codes adopted by reference by this chapter, unless the context directs otherwise, such names or terms so used shall have the meaning ascribed thereto by this section as follows:

(a) "Building Official," "Chief Building Official," "chief electrical inspector," "administrative authority" and similar references to a chief administrative position shall mean the Director of Permit and Resource Management Department of the county of Sonoma or his or her designee; provided, however, that where such terms are used in conjunction with those duties imposed upon the Public Health Officer, and terms shall mean the Public Health Officer of Sonoma County.

(b) The "building division," "electrical division" or "plumbing division" shall mean the Permit and Resource Management Department of the county of Sonoma.

(c) "City" shall mean the county of Sonoma when referring to a political entity, or an unincorporated area of said county.

(d) "City clerk" means "county clerk and/or ex-officio clerk of the Board of Supervisors."

(e) "City council" or "mayor" means the Board of Supervisors of the county of Sonoma.

(f) "Board of appeals" shall mean the Local Appeals Board and Housing Appeals Board provided for in Section 7-3 of this chapter.

(g) "California Building Code" means the regulations adopted by the California Building Standards Commission in California Code of Regulations, Title 24, Part 2, 2006 International Building Code, published by the International Code Council, with necessary California amendments.

(h) "California Building Standards Administrative Code" means the regulations adopted by the California Building Standards Commission in California Code of Regulations, Title 24, Part 1, 2007 California Building Standards Administrative Code, which incorporate by adoption the 2007 edition of the California Administrative Code published by the International Code Council.

(i) "California Electrical Code" means the regulations adopted by the California Building Standards Commission in California Code of Regulations, Title 24, Part 3, California Electrical Code, which incorporate by adoption the 2005 edition of the National Electric Code, with necessary California amendments.

(j) "California Energy Code" means the regulations adopted by the California Building Standards Commission in California Code of Regulations, Title 24, Part 6, 2007 California Energy Code, which incorporate by adoption the 1997 edition of the Model Energy Code of the International Code Council, with necessary California amendments.

(k) "California Fire Code" means the regulations adopted by the California Building Standards Commission in California Code of Regulations, Title 24, Part 9, 2007 California Fire Code, which incorporate by adoption the edition of the Uniform Fire Code of the International Fire Code Institute, with necessary California amendments.

(l) "California Historical Building Code" means the regulations adopted by the California Building Standards Commission in California Code of Regulations, Title 24, Part 8, 2007 California Historical Building Code.

(m) "California Mechanical Code" means the regulations adopted by the California Building Standards Commission in California Code of Regulations, Title 24, Part 4, 2007 California Mechanical Code, which incorporate by adoption the 2006 edition of the Uniform Mechanical Code published by International Association of Plumbing and Mechanical Officials, with necessary California amendments.

(n) "California Plumbing Code" means the regulations adopted by the California Building Standards Commission in California Code of Regulations, Title 24, Part 5, 2007 California Plumbing Code, which incorporate by adoption the 2006 edition of the Uniform Plumbing Code published by the International Association of Plumbing and Mechanical Officials, with necessary California amendments.

(o) "California Referenced Standards Code" means the regulations adopted by the California Building Standards Commission in California Code of Regulations, Title 24, Part 12, 2007 California Referenced Standards Code.

## SECTION II. Findings

Pursuant to Health and Safety Code sections 13143.5 and 17958.7, the Board of Supervisors expressly finds that this ordinance and the changes or modifications made herein to the 2007 edition of the California Building Code including the amendment to the existing fire protection sprinkler and fire safe roofing standards, and the minimum fire safe standards for development within the unincorporated area of the county are reasonably necessary because of local climatic, geological, and topographical conditions. The Board of Supervisors further finds in connection therewith as follows:

1. **Climatic Conditions.** Sonoma County has unique climatic conditions. The County is subject to year-round coastal winds. Average yearly rainfall for the County is approximately 30 inches. This rainfall generally occurs during October to April. During the summer months (July, August, September), the prevalent Pacific High Cell creates early morning fog, which assists the natural vegetation in growth. During the summer months, dry winds and vegetation mix to create a hazardous fuel condition. This condition causes grassland and brushland fires each year. While normal temperatures do not exceed 85-90 degrees during the summer months, temperatures can exceed 110 degrees in parts of the County. Particularly during times of high temperatures and low humidity, a fire can move quickly through the County.

Several years of drought conditions have previously occurred in the County, thus reducing available water. Groundwater as well as surface supplies have been affected. This condition has created a situation where lowered water tables, water contamination and

increased demand on water systems due to population growth have all negatively impacted water availability for fire protection. These impacts degrade the quality of fire protection and fire suppression activities.

2. **Geological Conditions.** Sonoma County has geological and geographic characteristics which have scenic appeal for residents and visitors. The County is situated in a primarily rural setting with a rugged coastline forming its western boundary and mountainous areas forming its northern and eastern boundaries. Forested areas and grasslands are located throughout the County. These features create barriers to accessibility for emergency fire equipment and personnel.

The forested areas in the County also contribute to potential fire hazards, particularly when decayed trees, branches, needles and leaves drop to the ground. The dry vegetation and low water availability also cause problems for emergency fire equipment and personnel. The grassland areas in the County also are troublesome. These areas are easily ignitable, and create a potential for major conflagrations.

Further compounding the potential fire hazards, the County has active seismic faults within its boundaries (including the San Andreas Fault). Large portions of the County are within the Alquist-Priolo Special Study Zones. While systems have been developed to study and monitor the activity of earthquakes, science has not yet been able to reliably predict fault activity. New construction may be limited by their respective distances to faults, however, existing structures and replacement of those structures could present a serious problem.

Moreover, the mixture of developed and undeveloped areas within the County creates hazardous conditions when fallen trees, landslides or flooding block access by emergency fire equipment and personnel.

3. **Topographical Conditions.** The sources of water within the County are directly affected by its topographical layout. The water sources consist of on-site water storage tanks, lakes, pools, wells, mutual water systems and the Sonoma County Water Agency distribution network. Water supplies within the County vary from less than ten (10) gallons per minute to flows in excess of four thousand (4000) gallons per minute. This wide variation causes major problems to fire suppression forces. The roadway system through most of the County is designed around the topographical lay of the land and consists in many cases of narrow, winding roads, steep grades and overhanging tree branches. The grades on roadway surfaces sometimes exceed twenty-five (25) percent, and widths of less than twelve (12) feet are not uncommon.

The topographical conditions also make construction more restricted to the level and semi-level portions of the County. The high concentration of commercial, industrial and residential structures in these areas has the potential to become a significant fire hazard. Further compounding the risk, these structures frequently are constructed of wood for economical and practical reasons. Consequently, there is a substantial risk of conflagration due to the high build out of certain areas in the County.

The topographical nature of the County also lends itself to power failures caused when fallen trees and limbs tear out sections of electrical transmission lines which run throughout the County. These power failures cause electrical pumps to become inactive, and thus, water supplies are interrupted. Vehicular accidents also have been known to interrupt this pumping operation. Narrow roads and heavy congestion increase the risk of vehicular accidents that cause such interruptions.

4. The preceding findings identify the local climatic, geological and topographical conditions which this Board has considered in adopting this ordinance. The Board finds that these conditions make the modifications as set forth herein reasonably necessary as such modifications will assist in mitigating the local climatic, geological and topographical conditions. These findings are intended to support each of the amendments to the building standards made as part of this ordinance based on local conditions.

5. Additional findings as to building standards and administrative changes.

(a) Agricultural building exemption permit- Sonoma County includes many acres of rural, agricultural property. Crops are grown and livestock raised throughout the County, and the preservation of agricultural land, farming, and the right to farm is an important goal of County government. Exemption from building permit requirements saves farmers the unnecessary cost of building permits and the inevitable delays in the construction process which are caused by permits and inspections, and helps to preserve the tradition of family farms, dairies, vineyards, and stables. Agricultural buildings are still required to conform to building standards notwithstanding this administrative exemption.

(b) Floating home standards, Section - Sonoma county is bordered on the south by a region of San Francisco Bay characterized by marshes and mud flats. This area would be an ideal location for low cost housing. In the event that permanent or semi-permanent houseboats are proposed in this area as low cost housing that meet the appropriate environmental regulations, it is important to have building standards in place for such structures. The model codes do not specifically address floating homes.

(c) 10 foot fence permit exemption. Sonoma County is overpopulated with deer due to lack of predators. Deer not only destroy farm crops, but individual gardens and

landscaping. A 6 foot fence will not keep deer from entering property, but a 10 foot fence forms a more effective barrier.

(d) *Grading.* Sonoma County has many areas with unstable soil conditions, including expansive and liquefiable soils. It is prone to long periods of dry weather which shrinks expansive soils, and heavy downpours, which promote landslides. In addition it is in an extremely active seismic area. These conditions not only make for unstable land under proposed structures, but cause pollution into streams and rivers when soil is disturbed. Special grading regulations are needed under these conditions.

(e) *Septic requirements and plumbing code modifications.* Sonoma county is unique in having many heavily developed areas where hilly and mountainous forested terrain, narrow winding roads, and existing watershed conditions have made the installation of sewer systems difficult. For this reason, most of these areas rely on septic systems, and there is the constant threat of pollution of rivers, streams, and the groundwater from human waste. (More than 85% of the developed parcels are served by septic systems.) These regulations are in place to insure that where human waste is discharged and no sewer is available, that it will be discharged into a properly functioning septic system.

**SECTION III.** Except as added, revised, amended or deleted herein, the remaining provisions of Chapter 7 as previously adopted shall remain in full force and effect.

**SECTION IV.** The Building Official is directed to file a copy of this Ordinance with the California Building Standards Commission of the State of California.

**SECTION V.** The provisions of this Code shall not be construed as imposing upon the County of Sonoma any liability or responsibility for damages to persons or property resulting from defective work, nor shall the County of Sonoma, or any official, employee or agent thereof, be held as assuming any such liability or responsibility by reason of the review or inspection authorized by the provisions of this Code of any permits or certifications issued under this Code.

**SECTION VI:** The Board of Supervisors finds and determines that this ordinance is exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15061(b)(3) of the State CEQA Guidelines as it can be seen with certainty that there is no possibility that this ordinance may have a significant effect on the environment. This finding and determination is based on the environmental determination of the Permit and Resource Management Department for this ordinance. The Director of Permit and Resource Management Department is directed to file a notice of exemption in accordance with CEQA and the State CEQA Guidelines.

SECTION VII. If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be unconstitutional and invalid, such decision shall not affect the validity of the remaining portion of this ordinance. The Board of Supervisors hereby declares that it would have passed this ordinance and every section, subsection, sentence, clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

SECTION VIII. The ordinance shall be and the same is hereby declared to be in full force and effect on January 1, 2008. The ordinance shall be published once before the expiration of fifteen (15) days after its passage, with the names of the Supervisors voting for or against the same, in a newspaper of general circulation published and circulated in the County of Sonoma.

In regular session of the Board of Supervisors of the County of Sonoma introduced on the 23rd day of October, 2007, and finally passed and adopted this 6th day of November, 2007, on regular roll call of the members of said Board by the following vote:

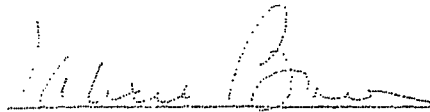
**SUPERVISORS:**

KERNS Absent SMITH Aye KELLEY Aye REILLY Aye BROWN Absent

AYES 3 NOES 0 ABSTAIN 0 ABSENT 2

WHEREUPON, the Chair declared the above and foregoing ordinance duly adopted and

SO ORDERED.

  
Chair, Board of Supervisors

ATTEST:

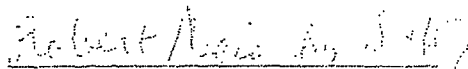
  
Robert Deis, Clerk of the Board of Supervisors



EXHIBIT 2

## CHAPTER 7A [SFM]

# MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE

### SECTION 701A SCOPE, PURPOSE AND APPLICATION

**701A.1 Scope.** This chapter applies to building materials, systems and/or assemblies used in the exterior design and construction of new buildings located within a Wildland-Urban Interface Fire Area as defined in Section 702A.

**701A.2 Purpose.** The purpose of this chapter is to establish minimum standards for the protection of life and property by increasing the ability of a building located in any Fire Hazard Severity Zone within State Responsibility Areas or any Wildland-Urban Interface Fire Area to resist the intrusion of flames or burning embers projected by a vegetation fire and contributes to a systematic reduction in conflagration losses.

**701A.3 Application.** New buildings located in any Fire Hazard Severity Zone within State Responsibility Areas or any Wildland-Urban Interface Fire Area designated by the enforcing agency for which an application for a building permit is submitted on or after December 1, 2005, shall comply with the following sections:

1. 704A.1—Roofing
2. 704A.2—Attic Ventilation

**701A.3.1 Alternates for materials, design, tests, and methods of construction.** The enforcing agency is permitted to modify the provisions of this chapter for site-specific conditions in accordance with Appendix Chapter 1, Section 104.10. When required by the enforcing agency for the purposes of granting modifications, a fire protection plan shall be submitted in accordance with the California Fire Code, Chapter 47.

**701A.3.2 New buildings located in any fire hazard severity zone.** New buildings located in any Fire Hazard Severity Zone shall comply with one of the following:

1. **State Responsibility Areas.** New building located in any Fire Hazard Severity Zone within State Responsibility Areas, for which an application for a building permit is submitted on or after January 1, 2008, shall comply with all sections of this chapter.
2. **Local Agency Very-High Fire Hazard Severity Zone.** New buildings located in any Local Agency Very-High Fire Hazard Severity Zone for which an application for a building permit is submitted on or after July 1, 2008, shall comply with all sections of this chapter.
3. **Wildland-Urban Interface Fire Area designated by the enforcing agency.** New buildings located in any Wildland-Urban Interface Fire Area designated by the enforcing agency for which an application for a building permit is submitted on or after January 1, 2008, shall comply with all sections of this chapter.

**701A.3.2.1 Inspection and certification.** Building permit applications and final completion approvals for buildings within the scope and application of this chapter shall comply with the following:

**701A.3.2.2** The local building official shall, prior to construction, provide the owner or applicant a certification that the building as proposed to be built complies with all applicable state and local building standards, including those for materials and construction methods for wildfire exposure as described in this chapter.

**701A.3.2.3** The local building official shall, upon completion of construction, provide the owner or applicant with a copy of the final inspection report that demonstrates the building was constructed in compliance with all applicable state and local building standards, including those for materials and construction methods for wildfire exposure as described in this chapter.

**701A.3.2.4** Prior to building permit final approval the property shall be in compliance with the vegetation clearance requirements prescribed in California Public Resources Code 4291 California Government Code Section 51182.

### SECTION 702A DEFINITIONS

For the purposes of this chapter, certain terms are defined below:

**CDF DIRECTOR** means the Director of the California Department of Forestry and Fire Protection.

**FIRE PROTECTION PLAN** is a document prepared for a specific project or development proposed for a Wildland Urban Interface Fire Area. It describes ways to minimize and mitigate potential for loss from wildfire exposure.

The Fire Protection Plan shall be in accordance with this chapter and the California Fire Code, Chapter 47. When required by the enforcing agency for the purposes of granting modifications, a fire protection plan shall be submitted. Only locally adopted ordinances that have been filed with the California Building Standards Commission or the Department of Housing and Community Development in accordance with Section 101.8 shall apply.

**FIRE HAZARD SEVERITY ZONES** are geographical areas designated pursuant to California Public Resources Codes Sections 4201 through 4204 and classified as Very High, High, or Moderate in State Responsibility Areas or as Local Agency Very High Fire Hazard Severity Zones designated pursuant to California Government Code, Sections 51175 through 51189. See California Fire Code Article 86.

The California Code of Regulations, Title 14, Section 1280, entitles the maps of these geographical areas as "Maps of the Fire Hazard Severity Zones in the State Responsibility Area of California."

**IGNITION-RESISTANT MATERIAL** is any product which, when tested in accordance with ASTM E 84 for a period of 30 minutes, shall have a flame spread of not over 25 and show no evidence of progressive combustion. In addition, the flame front shall not progress more than 10½ feet (3200 mm) beyond the centerline of the burner at any time during the test.

Materials shall pass the accelerated weathering test and be identified as exterior type, in accordance with ASTM D 2898 and ASTM D 3201. All materials shall bear identification showing the fire performance rating thereof. That identification shall be issued by ICC-ES or a testing facility recognized by the State Fire Marshal having a service for inspection of materials at the factory.

Fire-Retardant-Treated Wood or noncombustible materials as defined in Section 202 shall satisfy the intent of this section.

The enforcing agency may use other definitions of ignition-resistant material that reflect wildfire exposure to building materials and/or their materials, performance in resisting ignition.

**LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONE** means an area designated by a local agency upon the recommendation of the CDF Director pursuant to Government Code Sections 51177(c), 51178 and 5118 that is not a state responsibility area and where a local agency, city, county, city and county, or district is responsible for fire protection.

**STATE RESPONSIBILITY AREA** means lands that are classified by the Board of Forestry pursuant to Public Resources Code Section 4125 where the financial responsibility of preventing and suppressing forest fires is primarily the responsibility of the state.

**WILDFIRE** is any uncontrolled fire spreading through vegetative fuels that threatens to destroy life, property, or resources as defined in Public Resources Code Sections 4103 and 4104.

**WILDFIRE EXPOSURE** is one or a combination of radiant heat, convective heat, direct flame contact and burning embers being projected by vegetation fire to a structure and its immediate environment.

**WILDLAND-URBAN INTERFACE FIRE AREA** is a geographical area identified by the state as a "Fire Hazard Severity Zone" in accordance with the Public Resources Code Sections 4201 through 4204 and Government Code Sections 51175 through 51189, or other areas designated by the enforcing agency to be at a significant risk from wildfires.

### SECTION 703A STANDARDS OF QUALITY

**703A.1 General.** Material, systems, and methods of construction used shall be in accordance with this Chapter.

**703A.2 Qualification by testing.** Material and material assemblies tested in accordance with the requirements of Section 703A shall be accepted for use when the results and conditions

of those tests are met. Testing shall be performed by a testing agency approved by the State Fire Marshal or identified by an ICC-ES report.

**703A.3 Standards of quality.** The State Fire Marshal standards listed below and as referenced in this chapter are located in the California Referenced Standards Code, Part 12 and Chapter 35 of this code.

SFM 12-7A-1, Exterior Wall Siding and Sheathing.

SFM 12-7A-2, Exterior Window.

SFM 12-7A-3, Under Eave.

SFM 12-7A-4, Decking.

### SECTION 704A MATERIALS, SYSTEMS AND METHODS OF CONSTRUCTION

#### 704A.1 Roofing.

**704A.1.1 General.** Roofs shall comply with the requirements of Chapter 7A and Chapter 15. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions.

**704A.1.2 Roof coverings.** Where the roof profile allows a space between the roof covering and roof decking, the spaces shall be constructed to prevent the intrusion of flames and embers, be firestopped with approved materials or have one layer of 72 pound (32.4 kg) mineral-surfaced nonperforated cap sheet complying with ASTM D3909 installed over the combustible decking.

**704A.1.3 Roof valleys.** When provided, valley flashings shall be not less than 0.019-inch (0.48 mm) (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36-inch-wide (914 mm) underlayment consisting of one layer of 72 pound (32.4 kg) mineral-surfaced nonperforated cap sheet complying with ASTM D3909 running the full length of the valley.

**704A.1.4 Reserved.**

**704A.1.5 Roof gutters.** Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter.

#### 704A.2 Attic ventilation.

**704A.2.1 General.** When required by Chapter 15, roof and attic vents shall resist the intrusion of flame and embers into the attic area of the structure, or shall be protected by corrosion-resistant, noncombustible wire mesh with openings a minimum of 1/8-inch (3.2 mm) and shall not exceed 1/4-inch (6 mm) or its equivalent.

**704A.2.2 Eave or cornice vents.** Vents shall not be installed in eaves and cornices.

Exception: Eave and cornice vents may be used provided they resist the intrusion of flame and burning embers into the attic area of the structure.

**704A.2.3 Eave protection.** Eaves and soffits shall meet the requirements of SFM 12-7A-3 or shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside.

**704A.3 Exterior walls.**

**704A.3.1 General.** Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1.

**704A.3.1.1 Exterior wall coverings.** Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure.

**704A.3.2 Exterior wall openings.** Exterior wall openings shall be in accordance with this section.

**704A.3.2.1 Exterior wall vents.** Unless otherwise prohibited by other provisions of this code, vent openings in exterior walls shall resist the intrusion of flame and embers into the structure or vents shall be screened with a corrosion-resistant, noncombustible wire mesh with 1/4-inch (6 mm) openings or its equivalent.

**704A.3.2.2 Exterior glazing and window walls.** Exterior windows, window walls, glazed doors, and glazed openings within exterior doors shall be insulating-glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257, or in accordance with Section 715, or conform to the performance requirements of SFM 12-7A-2.

**704A.3.2.3 Exterior door assemblies.** Exterior door assemblies shall conform to the performance requirements of standard SFM 12-7A-1 or shall be of approved noncombustible construction, or solid core wood having stiles and rails not less than 1 3/8 inches thick with interior field panel thickness no less than 1 1/4 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 252, or in accordance with Section 715.

**Exception:** Noncombustible or exterior fire-retardant treated wood vehicle access doors are not required to comply with this chapter.

**704A.4 Decking, floors and underfloor protection.****704A.4.1 Decking.**

**704A.4.1.1 Decking surfaces.** Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall comply with one of the following methods:

1. Shall be constructed of ignition-resistant materials and pass the performance requirements of SFM 12-7A-4, Parts A and B.
2. Shall be constructed with heavy timber, exterior fire-retardant-treated wood or approved noncombustible materials.
3. Shall pass the performance requirements of SFM 12-7A-4, Part A, 12-7A-4.7.5.1 only with a net

peak heat release rate of 25kW/sq-ft for a 40-minute observation period and:

- a. Decking surface material shall pass the accelerated weathering test and be identified as exterior type, in accordance with ASTM D 2898 and ASTM D 3201 and;
- b. The exterior wall covering to which it the deck is attached and within 10 (3048 mm) feet of the deck shall be constructed of approved noncombustible or ignition resistant material.

**Exception:** Walls are not required to comply with this subsection if the decking surface material conforms to ASTM E-84 Class B flame spread.

The use of paints, coatings, stains, or other surface treatments are not an approved method of protection as required in this chapter.

**704A.4.2 Underfloor and appendages protection.**

**704A.4.2.1 Underside of appendages and floor projections.** The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projection shall be enclosed to the grade.

**704A.4.2.2 Unenclosed underfloor protection.** Buildings shall have all underfloor areas enclosed to the grade with exterior walls in accordance with Section 704A.3.

**Exception:** The complete enclosure of under floor areas may be omitted where the underside of all exposed floors, exposed structural columns, beams and supporting walls are protected as required with exterior ignition-resistant material construction or be heavy timber.

**704A.5 Ancillary buildings and structures.**

**704A.5.1 Ancillary buildings and structures.** When required by the enforcing agency, ancillary buildings and structures and detached accessory structures shall comply with the provisions of this chapter.

## SONOMA COUNTY MUTUAL AID AGREEMENT

WHEREAS, all parties hereto are located within the County of Sonoma; and

WHEREAS, the parties hereto severally maintain and operate fire protection organizations for the purpose of providing emergency services within their respective jurisdictions; and

WHEREAS, it is to the mutual advantage and benefit of the parties hereto that each of the other parties render supplemental protection in the event of an emergency of a magnitude that has or appears to have developed beyond the control of a single party and therefore requires the assistance of one or more of the parties hereto; and

WHEREAS, agreement between the parties hereto of the type and for the purpose and effect of this agreement is expressly authorized by Section 13855 and 14092 of the Health and Safety Code of the State of California and Title 5, Division 2, Part 2, Chapter 4, Article 2 of the Government Code and Title 1, Division 7, Chapter 5 of the Government Code (Joint Exercise of Powers Act) and is otherwise duly authorized by law; and

WHEREAS, it has heretofore been determined by the governing authority of each of the parties hereto that it is mutually advantageous to render assistance to one another in the suppression and control of fires and emergency incidents and that the benefit to be derived by each of the parties hereto of availability hereunder of additional protection to life and property against loss resulting from an emergency incident within the boundaries of jurisdiction of each party is ample consideration for each to enter into this agreement; and

WHEREAS, the County of Sonoma currently maintains a radio communication system (herein called CENTRAL DISPATCH) by which the various fire protection agencies throughout Sonoma County may be alerted and which receives emergency calls from the public throughout the County, which said system is maintained and operated by the County of Sonoma; and

WHEREAS, the County of Sonoma has signified its willingness to make this communications system available for use in the performance of a master County-wide mutual aid agreement; now therefore

IT IS AGREED as follows:

1. In the event of an emergency within the areas of responsibility of one of the parties hereto, which is of such magnitude that the regular

resources of such party cannot readily control the same, the incident commander in charge of the emergency for said party may request assistance from one of the parties of this agreement in the manner provided below.

2. Whenever possible, all requests for aid shall be made directly to CENTRAL DISPATCH either by radio or telephone. CENTRAL DISPATCH shall then alert the appropriate agency committed to render mutual aid. In any event, all parties hereto shall make every effort to keep CENTRAL DISPATCH advised of any major fire, other emergency or out-of-area assignment of vehicles.
3. Upon receipt of a request for aid from CENTRAL DISPATCH or directly from a party to this agreement, the agency to whom the request is made shall respond to its fullest ability to do so but in doing so is not required to leave its own area unprotected. The decision of the fire chief or other duly designated officer in charge of the agency from whom aid is requested, as to what equipment is available for mutual aid response, shall be final.
4. The agency legally responsible for the emergency incident shall remain in charge and provide general directions to all aiding agencies through their incident commander. At the request of the incident commander of the responsible agency, any aiding agency shall withdraw from the scene of the incident.
5. It is mutually agreed and understood that this agreement shall not relieve any party hereto of the responsibility for protection within its own jurisdiction nor does this agreement create any right in or obligation to third persons by any party hereto which would not exist in the absence of this agreement.
6. It is agreed that this agreement for mutual aid shall constitute the sole consideration for the performance hereto and that no party hereto shall be obligated to reimburse any other for use of resources. During the course of rendering aid, the resources of each party shall be at the risk of that party. Each party hereto shall protect its personnel performing under this agreement by adequate workers compensation insurance. Each party hereto shall obtain and maintain in full force and effect adequate public liability and property damage insurance to cover claims for injury to persons or damage to property arising from the performance of this agreement.
7. This agreement shall be and remain in full force and effect from and after the date of execution set out opposite the signature of each party signatory hereto or until terminated or modified as herein provided. This

agreement may be modified at any time by mutual consent of the parties hereto. Any party to this agreement may withdraw at any time on thirty(30)days' written notice to each of the other parties and thereafter such withdrawing party shall no longer be a party to this agreement, but the agreement shall continue to exist among the remaining parties. Any party hereto may be excluded from this agreement upon thirty(30)days' written notice executed by at least a majority of the parties hereto.

8. It is expressly declared to be the intention of each party signatory hereto that this agreement be entered into with any one or more of the parties named herein whether or not joined into by all the parties named herein.

IN WITNESS WHEREOF the parties hereto have caused this agreement to be executed on the day and year set out opposite the signature of each thereof. Said execution having been theretofore first duly authorized in accordance with law.

This agreement made and entered into by and between the following agencies:

**CITY FIRE DEPARTMENTS-**

City of Healdsburg	City of Santa Rosa
City of Petaluma	City of Sebastopol
City of Rohnert Park	City of Sonoma

**FIRE PROTECTION DISTRICTS-**

Bennett Valley FPD	Rancho Adobe FPD
Bodega Bay FPD	Rincon Valley FPD
Cloverdale FPD	Roseland FPD
Forestville FPD	Russian River FPD
Geyserville FPD	Schell-Vista FPD
Glen Ellen FPD	Timber Cove FPD
Gold Ridge FPD	Valley of the Moon FPD
Graton FPD	Windsor FPD
Kenwood FPD	
Monte Rio FPD	

**COMMUNITY SERVICES DISTRICTS-**

Cazadero CSD  
Occidental CSD

STATE AND FEDERAL AGENCIES -

California Department of Forestry & Fire Protection, North Bay Ranger Unit  
U.S. Coast Guard Training Center Fire Department, Coast Guard Training  
Center, Two Rock  
Sonoma Developmental Center

FIRE BRIGADES -

Hewlett Packard

COUNTY FIRE AGENCIES -

County Service Area Number 40

Annapolis VFC  
Bloomfield VFC  
Bodega VFC  
Camp Meeker VFC  
Dry Creek VFC  
Fitch Mountain VFC  
Fort Ross VFC  
Jenner VFC  
Knights Valley VFC  
Lakeville VFC  
Mayacamas VFC  
Mountain VFC  
Pole Mountain Lookout  
San Antonio VFC  
Sea Ranch VFC  
Two Rock VFC  
Valley Ford VFC  
Wilmar VFC



## Cynthia Demidovich

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**From:** Roberta MacIntyre  
**Sent:** Friday, December 13, 2013 1:57 PM  
**To:** 'Vern Losh'; 'Vern Losh'  
**Cc:** DeWayne Starnes; Dean Parsons; Verne Ball; Jennifer Barrett; Tennis Wick; Al Terrell; Cynthia Demidovich; Timber Cove FPD; Ben Neuman; Steve Mosiurchak  
**Subject:** Ratna Ling Membrane Structures Fire Resistance  
**Attachments:** FES-noReply@sonoma-county.org\_20131213\_142554.pdf  
**Importance:** High

Mr. Losh,

Attached is a copy of a letter recognizing that the fire resistance requirement for the membrane structures located at the Ratna Ling Retreat Center has been met.

Thank you so very much.

Respectfully,

**Roberta MacIntyre, Assistant Chief/Fire Marshal**  
**Sonoma County Fire & Emergency Services Department**  
**Fire Prevention Division**  
**2300 County Center Drive - Suite 220-B, Santa Rosa CA, 95403**  
**(707) 565-1154**



Attorney-client communication/Privileged and confidential

=====~~Confidentiality Statement~~=====

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*County of Sonoma*  
**FIRE & EMERGENCY SERVICES DEPARTMENT**  
FIRE SERVICES \* EMERGENCY MANAGEMENT \* HAZARDOUS MATERIALS



Al Terrell, DIRECTOR/FIRE CHIEF

December 13, 2013

Vern Losh,  
1306 Creekside Court  
Healdsburg, CA 95448

Dear Mr. Losh,

This letter is a follow-up of our phone call on or about December 11, 2013 and the letter I sent dated December 9, 2013, related to Permit No. PLP08-0021.

I have obtained satisfactory proof (attached) that the membrane structures meet the fire propagation performance criteria of NFPA 701 and thus are in compliance Section 3102 of the 2007 California Building Code, as adopted and amended by Sonoma County Code.

The attached information shall be retained on the premises on which the membrane structures are located and be available to fire officials upon request.

Thank you for making fire safety a priority. Please let me know if I may be of further assistance.

Respectfully,

Roberta MacIntyre, Assistant Chief/Fire Marshal  
Sonoma County Fire and Emergency Services

*Cc: Chief Al Terrell- Sonoma County Fire and Emergency Services; Tennis Wick, Director - PRMD; Jennifer Barrett, Deputy Director Planning - PRMD; Dean Parsons, Project Review Manager - PRMD; Verne Ball, Deputy County Counsel - County Counsel; Cynthia Demidovich PRMD, Planner III - PRMD; DeWayne Starnes, Deputy Director Engineering - PRMD; Chief Singer, Timber Cove FPD - 30800 Seaview Rd. Cazadero, CA 95421*



# Certificate of Flame Resistance

Registered No

F444.08

Mahaffey Fabric Structures  
4161 Delp Street  
Memphis, TN 38118  
800-245-8368

Manufactured Date

10/05

This is to certify that the materials described below have been flame retardant treated (or are inherently nonflammable)

For: Ratna Ling Retreat Center

Address 1: 35755 Hauser Bridge Road

City: Cazadero

State, Zip: CA, 95421-9611

Certification is hereby made that: (Check "a" or "b")

- (a) The articles described below have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.

Name of Chemical:  
Method of Application:

Chem. Registered No.:

- (b) The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use, and are equal to or exceed NFPA 701, CPAI 84, ULC 109.

*The flame retardant process used will not be removed by washing.*

FERRARI TEXTILE CORPORATION

Signed: *John D. Bell*

Name of Applicator of Flame Resistant Finish

Manufacturing Department - Mahaffey Fabric Structures

Description: #702 Ferrari Opaque Blockout Vinyl for: (1) 10Mx25Mx5M clearspan fabric structure (top and gables)

Serial Numbers: 8125210C (1)

REGISTERED  
FIRE MARSHAL  
CALIFORNIA

REGISTERED  
FIRE MARSHAL  
CALIFORNIA

10/05

## CHAPTER 31

# SPECIAL CONSTRUCTION

### SECTION 3101 GENERAL

**3101.1 Scope.** The provisions of this chapter shall govern special building construction including membrane structures, temporary structures, pedestrian walkways and tunnels, awnings and canopies, marquees, signs, and towers and antennas.

### SECTION 3102 MEMBRANE STRUCTURES

**3102.1 General.** The provisions of this section shall apply to air-supported, air-inflated, membrane-covered cable and membrane-covered frame structures, collectively known as membrane structures, erected for a period of 180 days or longer. Those erected for a shorter period of time shall comply with the *California Fire Code*. Membrane structures covering water storage facilities, water clarifiers, water treatment plants, sewage treatment plants, greenhouses and similar facilities not used for human occupancy, are required to meet only the requirements of Sections 3102.3.1 and 3102.7.

**3102.2 Definitions.** The following words and terms shall, for the purposes of this section and as used elsewhere in this code, have the meanings shown herein:

**AIR-INFLATED STRUCTURE.** A building where the shape of the structure is maintained by air pressurization of cells or tubes to form a barrel vault over the usable area. Occupants of such a structure do not occupy the pressurized area used to support the structure.

**AIR-SUPPORTED STRUCTURE.** A building wherein the shape of the structure is attained by air pressure and occupants of the structure are within the elevated pressure area. Air-supported structures are of two basic types:

**Double skin.** Similar to a single skin, but with an attached liner that is separated from the outer skin and provides an airspace which serves for insulation, acoustic, aesthetic or similar purposes.

**Single skin.** Where there is only the single outer skin and the air pressure is directly against that skin.

**CABLE-RESTRAINED, AIR-SUPPORTED STRUCTURE.** A structure in which the uplift is resisted by cables or webbings which are anchored to either foundations or dead men. Reinforcing cable or webbing is attached by various methods to the membrane or is an integral part of the membrane. This is not a cable-supported structure.

**MEMBRANE-COVERED CABLE STRUCTURE.** A nonpressurized structure in which a mast and cable system provides support and tension to the membrane weather barrier and the membrane imparts stability to the structure.

**MEMBRANE-COVERED FRAME STRUCTURE.** A nonpressurized building wherein the structure is composed of a

rigid framework to support a tensioned membrane which provides the weather barrier.

**NONCOMBUSTIBLE MEMBRANE STRUCTURE.** A membrane structure in which the membrane and all component parts of the structure are noncombustible.

**3102.3 Type of construction.** Noncombustible membrane structures shall be classified as Type IIB construction. Noncombustible frame or cable-supported structures covered by an approved membrane in accordance with Section 3102.3.1 shall be classified as Type IIB construction. Heavy timber frame-supported structures covered by an approved membrane in accordance with Section 3102.3.1 shall be classified as Type IV construction. Other membrane structures shall be classified as Type V construction.

**Exception:** Plastic less than 30 feet (9144 mm) above any floor used in greenhouses, where occupancy by the general public is not authorized, and for aquaculture pond covers is not required to meet the fire propagation performance criteria of NFPA 701.

**3102.3.1 Membrane and interior liner material.** Membranes and interior liners shall be either noncombustible as set forth in Section 703.4 or meet the fire propagation performance criteria of NFPA 701 and the manufacturer's test protocol.

**Exception:** Plastic less than 20 mil (0.5 mm) in thickness used in greenhouses, where occupancy by the general public is not authorized, and for aquaculture pond covers is not required to meet the fire propagation performance criteria of NFPA 701.

**3102.4 Allowable floor areas.** The area of a membrane structure shall not exceed the limitations set forth in Table 503, except as provided in Section 506.

**3102.5 Maximum height.** Membrane structures shall not exceed one story nor shall such structures exceed the height limitations in feet set forth in Table 503.

**Exception:** Noncombustible membrane structures serving as roofs only.

**3102.6 Mixed construction.** Membrane structures shall be permitted to be utilized as specified in this section as a portion of buildings of other types of construction. Height and area limits shall be as specified for the type of construction and occupancy of the building.

**3102.6.1 Noncombustible membrane.** A noncombustible membrane shall be permitted for use as the roof or as a skylight of any building or atrium of a building of any type of construction provided it is at least 20 feet (6096 mm) above any floor, balcony or gallery.

**3102.6.1.1 Membrane.** A membrane meeting the fire propagation performance criteria of NFPA 701 shall be permitted to be used as the roof or as a skylight on build-

LAW OFFICES OF  
CLEMENT, FITZPATRICK & KENWORTHY  
INCORPORATED  
3333 MENDOCINO AVENUE, SUITE 200  
SANTA ROSA, CALIFORNIA 95403  
FAX: 707 546-1360

TELEPHONE: (707) 523-1181

TINA WALLIS  
[twallis@cfk.com](mailto:twallis@cfk.com)

January 21, 2014

**HAND DELIVERED**

Cynthia Demidovich, Planner III  
Sonoma County PRMD  
2550 Ventura Avenue  
Santa Rosa, CA 95403

Re: *PLP 08-0021 – Ratna Ling Master Use Permit Application  
35755 and 36000 Hauser Bridge Rd, Cazadero  
APNs: 109-230-024 and 109-230-018*

Dear Ms. Demidovich:

I am submitting the following documents for inclusion in the record of the Ratna Ling Master Use Permit Application (“MUP”). The PRMD MUP application number is PLP 08-0021 for 35755 and 36000 Hauser Bridge Road, Cazadero. This letter will first list the information included in this submittal and will then explain the binder’s contents:

In addition to this letter, I am submitting:

1. A binder labeled “Ratna Ling Membrane Structures – Documentation.”
2. A 16-page set of drawings for Tent No. 2, with the following notations:
  - a. Job ID – SBS 08-1007
  - b. Order ID – 85871
  - c. Stamped – April 1, 2008
3. A 16-page set of drawings for Tent No. 3, with the following notations:
  - a. Job ID – SBS 08-1010
  - b. Order ID – 87114
  - c. Stamped – June 2, 2008
4. An 18-page set of drawings for Tent No. 4, with the following notations:
  - a. Job ID – SBS 08-1015
  - b. Order ID – 88640
  - c. Stamped – August 25, 2008

5. An email exchange between Vern Losh and Nathan Stobbe, dated December 18, 2013
6. Photographs of Tents 2, 3 and 4

Tent 1 has a "Certificate of Flame Resistance" from Mahaffey Fabric Structures showing that the membrane meets the NFPA 701 standard.

Tents 2, 3, and 4 have different membranes than Tent 1. The material on Tents 2, 3 and 4 is called "DuraWeave FR" and was most recently sold by a company called Summit Structures, which no longer exists. Summit Structures was a division of company called Coverall. Ratna Ling's consultant, Vern Losh, attempted to obtain copies of Summit's records for these tents. According to Nathan Stobbe, formerly of Summit, Summit's records are no longer available.<sup>1</sup> Thus, Ratna Ling is unable to obtain duplicates of any records from the manufacturer, Summit.

Binder Contents:

Tab 1 of the binder contains general information showing that the DuraWeave FR product meets the NFPA 701 standard. For example, the DuraWeave FR material is registered with the California State Fire Marshal as product FRU88x-6 (4 mil). Manufacturer's specifications from Cover-All show that the DuraWeave FR product meets the NFPA Large and Small standards and gives the char length and drip information. A product specification sheet from NorseMan Structures for DuraWeave product FRU88x-6 4 mil, shows that the membranes meet the NFPA 701 – 2004 Tests for methods 1 and 2.

The binder contains the following information under Tabs 2, 3, and 4 for Tents 2, 3, and 4; the tab and tent numbers are the same (e.g., Tab 2 contains information for Tent 2):

- A copy of a Letter of Intent/Order - The second bullet point of the LOIs shows that Ratna Ling ordered the DuraWeave FR membrane. The LOI also includes the price for the membrane.
- A complete or mostly complete copy of a "Material Sales Agreement" ("MSA"), which is the purchase contract for the membrane structures. For each tent, the dollar amount in the LOI matches the dollar amount in the MSA. If executed copies of the MSA exist, they were included in the binder; otherwise the copy may be unsigned or signed only by Ratna Ling. Appendix A to each MSA shows that the membrane is the DuraWeave FR fabric.
- Checks confirming that Ratna Ling paid the price set forth in the LOI and the MSA. Please note that for Tent 4, the check totals include a \$6,427 technical representative charge and a shipping credit of \$4,600, so the check totals must be adjusted by these amounts in order to match the contract price.

---

<sup>1</sup> Email exchange between Nathan Stobbe and Vern Losh, dated December 18, 2013.

Cynthia Demidovich

January 21, 2014

Page 3

- A copy of Coverall's quality control records. Please note that: (i) the "Sales Order" number in the left hand column corresponds to the "Order ID" in the drawings attached to this letter; and (ii) the quality control records show all fabric names starting with "FR" in the column on the far right.
- Excerpts of the drawings attached to this letter. The drawings attached to this letter all show that the fabric is the "FR" fabric in multiple locations.
- A label for each tent showing that the fabric is "FR." The label also includes the Sales Order Number, which corresponds to the Sales Order Number in the quality control records and in the drawings attached to this letter.

Please feel free to call me at 523-1181 if you have any questions regarding this letter or its enclosures.

Very truly yours,

  
TINA WALLIS

TW/pd  
enclosures

c (w/enc.): DeWayne Starnes, Deputy Director - Engineering & Construction  
Sonoma County PRMD  
Roberta MacIntyre  
Sonoma County Fire Marshal  
client

**CERTIFICATE OF DESIGN AND MANUFACTURING CONFORMANCE FOR COVER-ALL BUILDING SYSTEMS**

All components of the steel and fabric building system described below have been or will be designed and fabricated in accordance with the standards and loads listed below.

**1. DESCRIPTION**

AP / Ref Number: S04 85871 / SBS 08-1007  
 Building Type and Size: S0 x 120' @ 20' O.C. - TISSZ - TITAN BUILDINGS  
 Use and Occupancy: S-2 (STORAGE LOW HAZARD)  
 Site Location (Civil Address): 33755 HAUSER BRIDGE ROAD CAZADERO, CA  
 Applicable Building Code: 2007 CALIFORNIA BUILDING CODE  
 Fabric Type: TN  
 Construction Type: TYPE B N

Builder's Name and Address: SUMMIT STRUCTURES - USA ALLENTOWN, PA  
 Owner's Name and Address: RATNA LING DHARMA PUBLISHING - WHOLESALE CAZADERO, CA  
 Building Legal Address: 33755 HAUSER BRIDGE ROAD CAZADERO, CA

**2. DESIGN CRITERIA**

Design Standard: ASCE 7-05  
 Occupancy Category: STANDARD  
 Exposure Category: C  
 Importance Factor Wind (I<sub>w</sub>): 1.0  
 Importance Factor Snow (I<sub>s</sub>): 1.0  
 Building Dued Load (P<sub>u</sub>): 1.2D  
 DESIGN IS IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE 1989 ASCE (58-05) AND 1989 AISI SPECIFICATION

**GENERAL**

The drawings including dimensions, materials, and the properties of cover-all building system are the property of SUMMIT STRUCTURES, LLC. It is provided solely for the use of the customer and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without prior written approval of cover-all building system, LLC.

THE GENERAL CONTRACTOR AND/OR OWNER IS SOLELY RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PERMITS IN ACCORDANCE WITH THE APPLICABLE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PERMITS IN ACCORDANCE WITH THE APPLICABLE CODES.

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COVER-ALL BUILDING SYSTEMS INC. IS NOT RESPONSIBLE FOR DESIGN, CONSTRUCTION OR ERECTION OF THE COVER-ALL BUILDING SYSTEMS INC. IN THE DESIGN OF THE STRUCTURE OR FOR THE PROVISION OF PERMITS OR FOR THE PROVISION OF PERMITS.

THE CONTRACTOR AND ENGINEER SHALL APPLY ONLY TO PEOPLE'S DESIGN AND PROVIDED BY COVER-ALL BUILDING SYSTEMS INC. FOR THE COVER-ALL BUILDING SYSTEMS INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PERMITS IN ACCORDANCE WITH THE APPLICABLE CODES.

**ANCHOR BOLTS:**

ANCHOR BOLT CONNECTIONS ARE APPROVED IN ACCORDANCE WITH THE COVER-ALL BUILDING SYSTEMS INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PERMITS IN ACCORDANCE WITH THE APPLICABLE CODES.

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**STRUCTURAL BOLT TORQUE VALUES**

TABLE B - TORQUE

SIZE	MIN	MAX	MIN	MAX	MIN	MAX
3/8"	18	22	3/8"	30	3/8"	30
1/2"	24	28	1/2"	40	1/2"	40
5/8"	30	36	5/8"	50	5/8"	50
3/4"	36	42	3/4"	60	3/4"	60
7/8"	42	50	7/8"	70	7/8"	70
1"	48	58	1"	80	1"	80

**MATERIAL SPECIFICATIONS**

STRUCTURAL STEEL: A36 (MIN)

STEEL BOLTS: A325 (MIN)

ANCHOR BOLTS: A307 (MIN)

ANCHOR BOLTS: A307 (MIN)

ANCHOR BOLTS: A307 (MIN)

ANCHOR BOLTS: A307 (MIN)

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DRAWING SCHEDULE		REVISIONS			
NO.	DESCRIPTION	REV.	DATE	BY	DATE
1	ISSUED FOR PERMIT				
2	FOR CONSTRUCTION				
3	FOR CONSTRUCTION				
4	FOR CONSTRUCTION				
5	FOR CONSTRUCTION				
6	FOR CONSTRUCTION				
7	FOR CONSTRUCTION				
8	FOR CONSTRUCTION				
9	FOR CONSTRUCTION				
10	FOR CONSTRUCTION				
11	FOR CONSTRUCTION				
12	FOR CONSTRUCTION				
13	FOR CONSTRUCTION				
14	FOR CONSTRUCTION				
15	FOR CONSTRUCTION				
16	FOR CONSTRUCTION				
17	FOR CONSTRUCTION				
18	FOR CONSTRUCTION				
19	FOR CONSTRUCTION				
20	FOR CONSTRUCTION				

**ROOF PLAN NOTES:**  
 ALL ROOF PANELS SHALL BE INSTALLED IN ACCORDANCE WITH THE COVER-ALL BUILDING SYSTEMS INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PERMITS IN ACCORDANCE WITH THE APPLICABLE CODES.

**ELEVATION NOTES:**  
 ALL ELEVATION PANELS SHALL BE INSTALLED IN ACCORDANCE WITH THE COVER-ALL BUILDING SYSTEMS INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PERMITS IN ACCORDANCE WITH THE APPLICABLE CODES.

**PARTITION WALL NOTE:**  
 ALL PARTITION WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE COVER-ALL BUILDING SYSTEMS INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PERMITS IN ACCORDANCE WITH THE APPLICABLE CODES.

**MAINTENANCE STANDARDS:**  
 ALL MAINTENANCE STANDARDS SHALL BE IN ACCORDANCE WITH THE COVER-ALL BUILDING SYSTEMS INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY PERMITS IN ACCORDANCE WITH THE APPLICABLE CODES.

**COVER-ALL BUILDING SYSTEMS INC. IS A ISO 9001 CERTIFIED ORGANIZATION AND MANUFACTURER OF BUILDINGS. ALL BUILDINGS COMPLETED IN SHOWN AS FOX C&S SYSTEMS FOR S&H AND SO. AS PART OF OUR QUALITY CONTROL AND IMPROVEMENT, WE PERFORM VISUAL INSPECTIONS AND PROCEDURES AND MONITOR OUR QUALITY. THIS CERTIFICATION MEANS HIGH QUALITY AND FIELD COMPLIANCE.**

**MANUFACTURING STANDARDS:**  
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REV.	DESCRIPTION	BY	DATE
1	RELEASED	RS	24 MAR 08



OFFICE: SUMMIT STRUCTURES US LLC

CUSTOMER: RATNA LING DHARMA PUBLISHING - WHOLESALE CAZADERO, CA

PROJECT: WAREHOUSE

PROJECT ID: SBS 08-1007

ORDER ID: 85871

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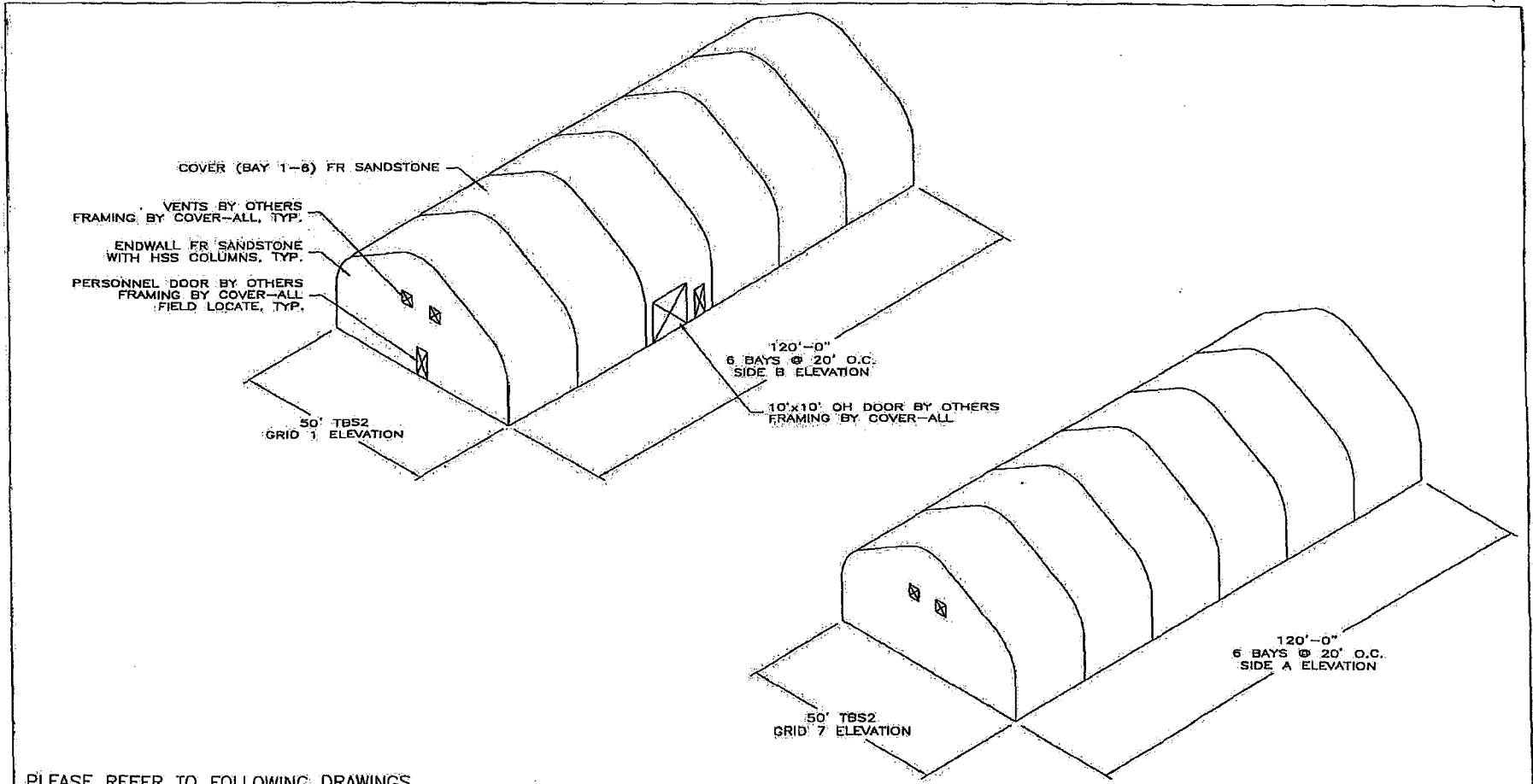


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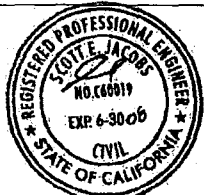
WSO 1 1





PLEASE REFER TO FOLLOWING DRAWINGS FOR EXACT BUILDING DIMENSIONS

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PROJECT: WAREHOUSE

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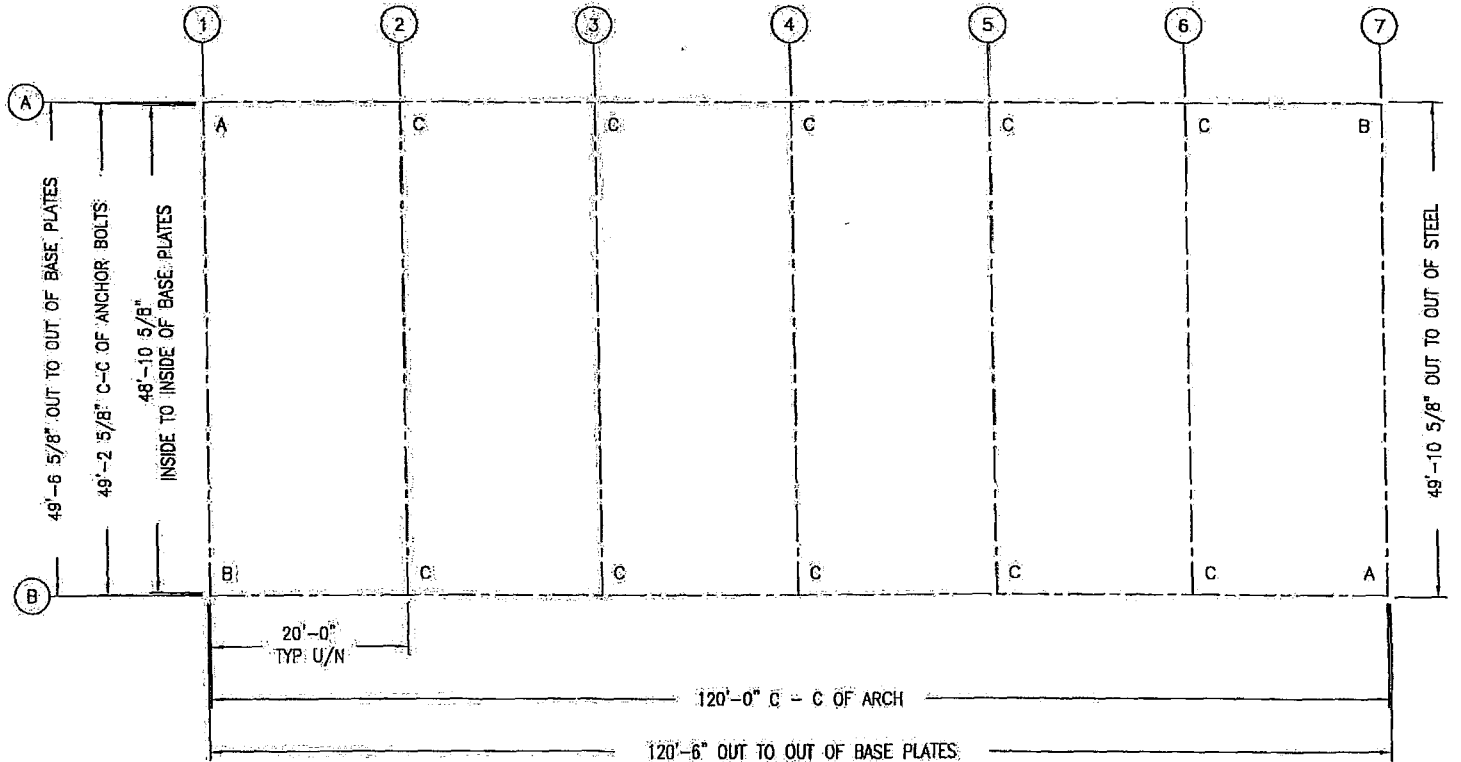
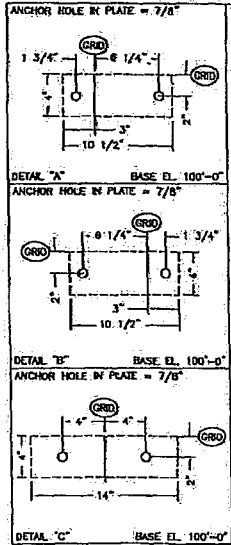
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**TBS2 - Titan Building - 50' Span**  
**Site Specific American Structural Evaluation**  
**20 Foot Frame Spacing**

**Site Specific Evaluation Summary**

This evaluation covers a TBS2 - Titan Building 50' in span with frames spaced at 20' on center. The structure is intended to be used as permanent, stand alone, and fully enclosed. The structure is designed for the loads listed below in accordance with the American Society of Civil Engineers: Minimum Design Loads for Buildings and Other Structures (ASCE 7-05). Any deviation outside the criteria listed below is subject to review by the Professional Engineer for that specific project.

**Site Wind Criteria**

Wind Speed (3 Second Gust): 110 mph  
 Exposure Category: C  
 Building Category: Standard  
 Basic pressure: 21.5 psf @ 25' elevation  
 Enclosure: Fully Enclosed

**Site Snow Criteria**

Ground Snow Load: 2.0 psf  
 Flat Roof Snow Load: 1.0 psf  
 Building Category: Standard  
 Wind Exposure: Fully Exposed

**Live Load Criteria**

Minimum Roof Live Load: 12.0 psf

**Allowable Hanging Loads on Frames**

Hung loads have been assumed to be less than 3.25 psf (approximately 3,250 pounds distributed along the frame). Additional load will reduce the snow load capacity accordingly.

**Base Reactions for Site Specific Loads**

The maximum forces at the foundations/supports due to the rated load and exposure class are as follows. The following reactions are unfactored.

**At Truss Anchor Pias**

Load Case	Gridline A		Gridline B	
	R <sub>y</sub> (kip)	R <sub>x</sub> (kip)	R <sub>y</sub> (kip)	R <sub>x</sub> (kip)
Dead Load	0.18	0.66	-0.18	-0.66
Collateral Load	0.60	1.44	-0.60	-1.44
Live Load	2.24	5.95	-2.24	-5.95
Balanced Snow Load	0.16	0.37	-0.16	-0.37
Unbalanced Snow Load	0.41	0.93	-0.41	-0.66
Perpendicular Wind Load	-4.98	0.03	6.82	-2.43
Parallel Wind Load*	0.07	-1.82	-0.72	-3.74
Internal Wind Load	-0.21	2.18	0.21	2.18



\* Add -0.9 kip to vertical base reaction at gridlines A & B for cross bracing forces

**At End Wall Vertical Base**

Load Case	R (kip)
Parallel Wind Load	2.7

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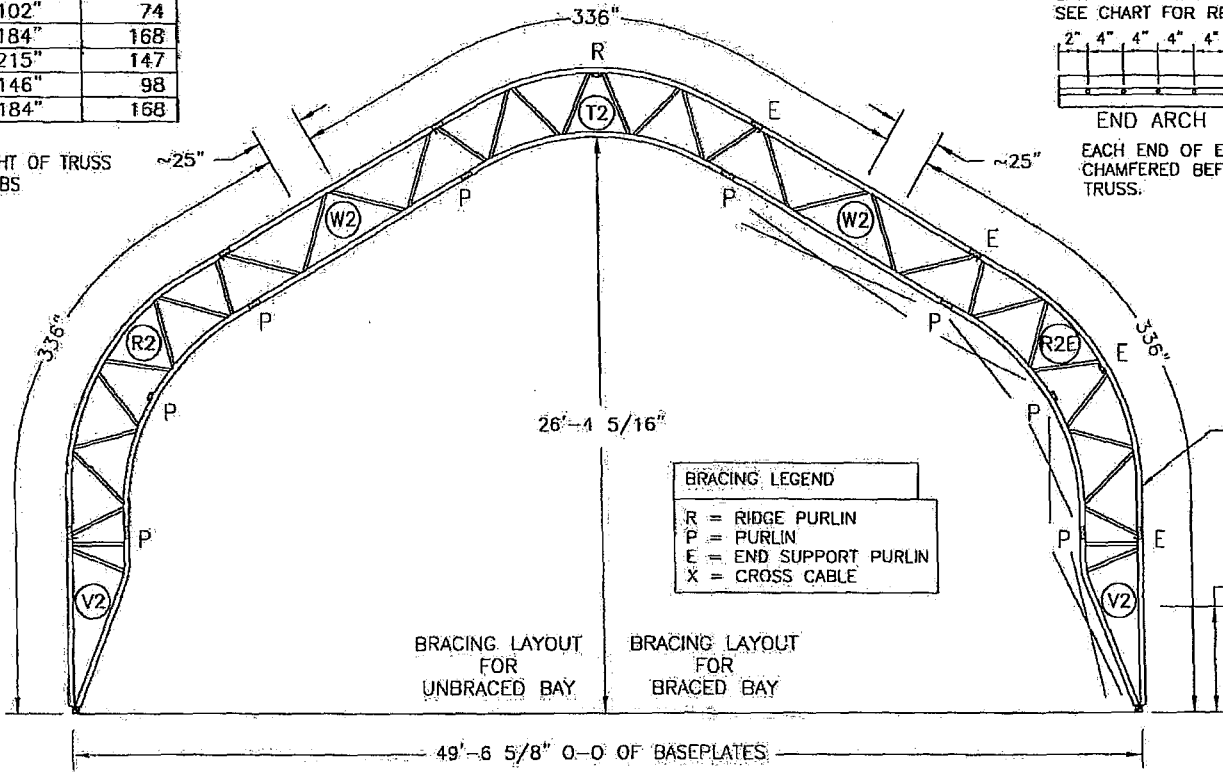
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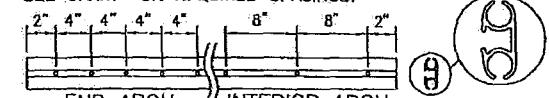
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 DWG #: WSO4  
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MARK#	QTY	LENGTH	WEIGHT
V2	2	102"	74
R2	2	184"	168
S2	0	215"	147
W2	2	146"	98
T2	1	184"	168

NOTE:  
APPROXIMATE WEIGHT OF TRUSS  
WITH BOLTS 950 LBS



USE TEK3 X 1 1/4" SELF DRILLING  
SCREWS 2" FROM END.  
SEE CHART FOR REQUIRED SPACINGS.



END ARCH INTERIOR ARCH  
EACH END OF EXTRUSION MUST BE  
CHAMFERED BEFORE ATTACHMENT TO  
TRUSS.

TEK3 SCREW SPACING	O.C.
END ARCH	4"
INTERIOR ARCH	8"

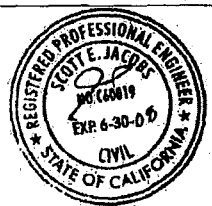
BRACING LEGEND  
R = RIDGE PURLIN  
P = PURLIN  
E = END SUPPORT PURLIN  
X = CROSS CABLE

R2E REQUIRED ON END  
TRUSS ONLY

FIELD CUT FOR  
PANEL PULL AS REQ'D  
(APPROX 4'-0")

ITEM#	QTY	WEIGHT
V2 LEG	2	253
R2 HALF	2	244
E2 HALF	2	283
W2 TRUSS	2	287
T2 TRUSS	1	241

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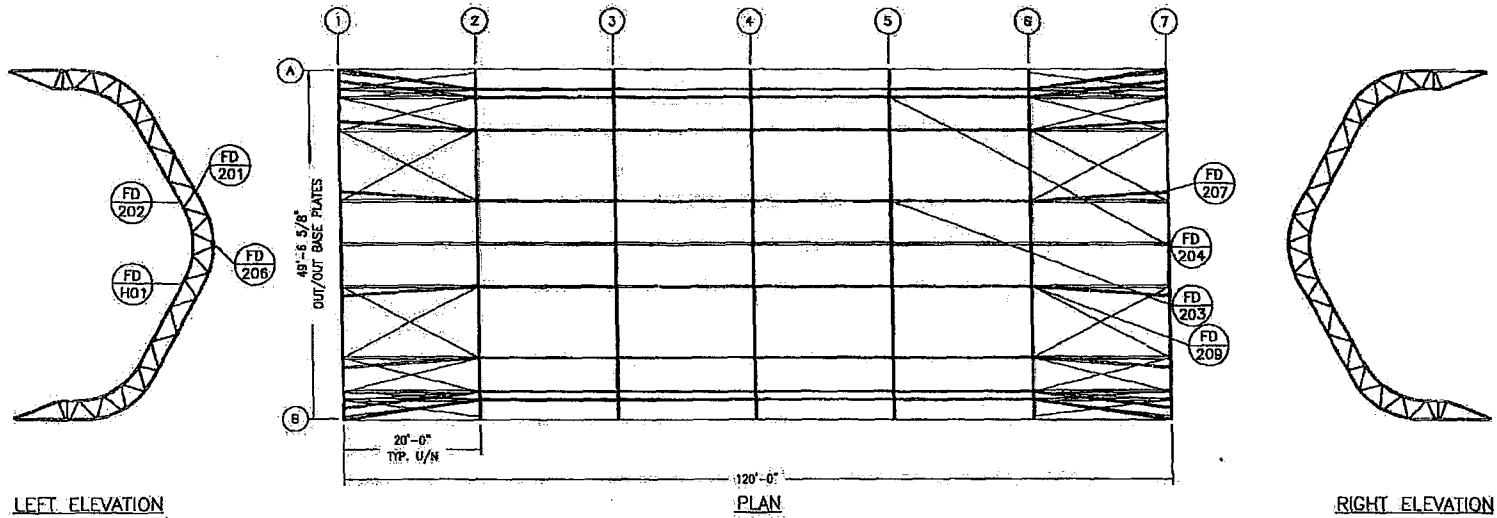


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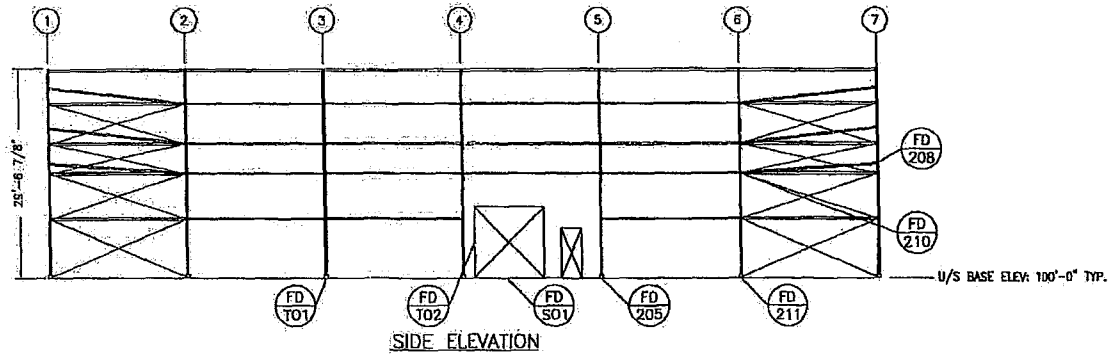
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REGULAR PURLINS: #2 7/8"  
 BRACED PURLINS: #4  
 RIDGE PURLINS: #4  
 SUPPORT PURLINS: 3" SQUARE



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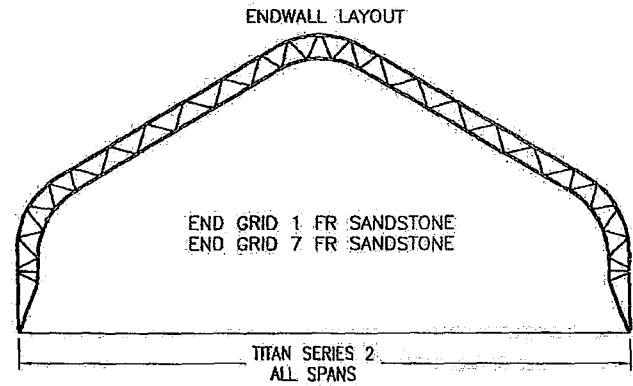
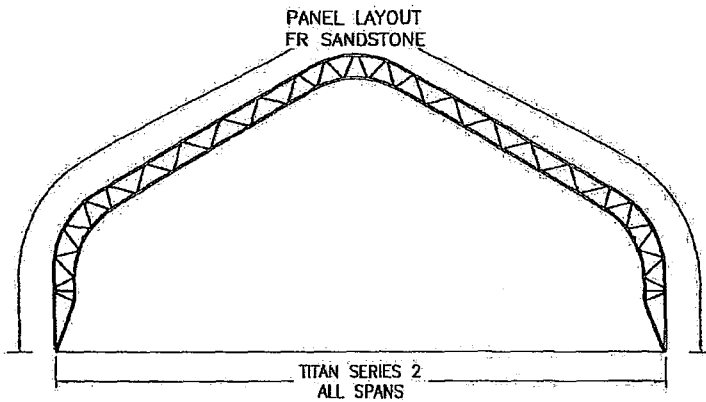
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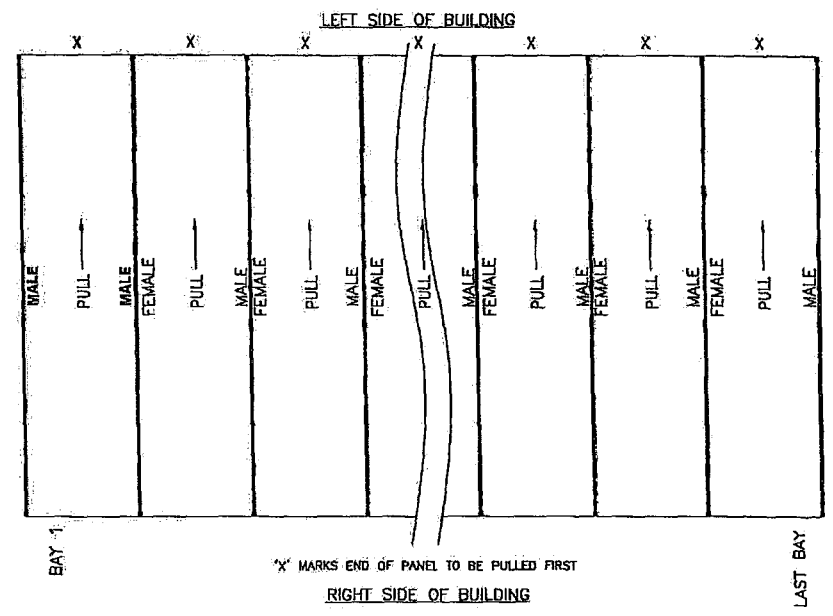
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NOTE:  
IF YOU MUST PULL OPPOSITE OF SHOWN, YOU NEED TO RE-FOLD FABRIC TO GAIN ACCESS TOP PULL POCKETS. (WITHOUT THE X MARKS)

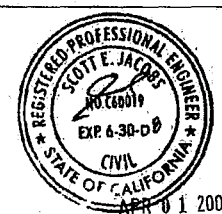
IMPORTANT:  
BAY 1 IS ALWAYS BAY 1, NO MATTER WHICH DIRECTION YOU NEED TO PULL.



STANDARD FABRIC ORIENTATION FOR WEATHER-TIGHT EXTRUSION

MALE FLAP = WITH KEEDER  
FEMALE FLAP = FABRIC ONLY

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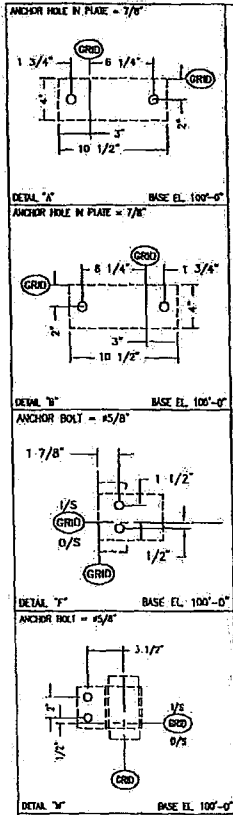
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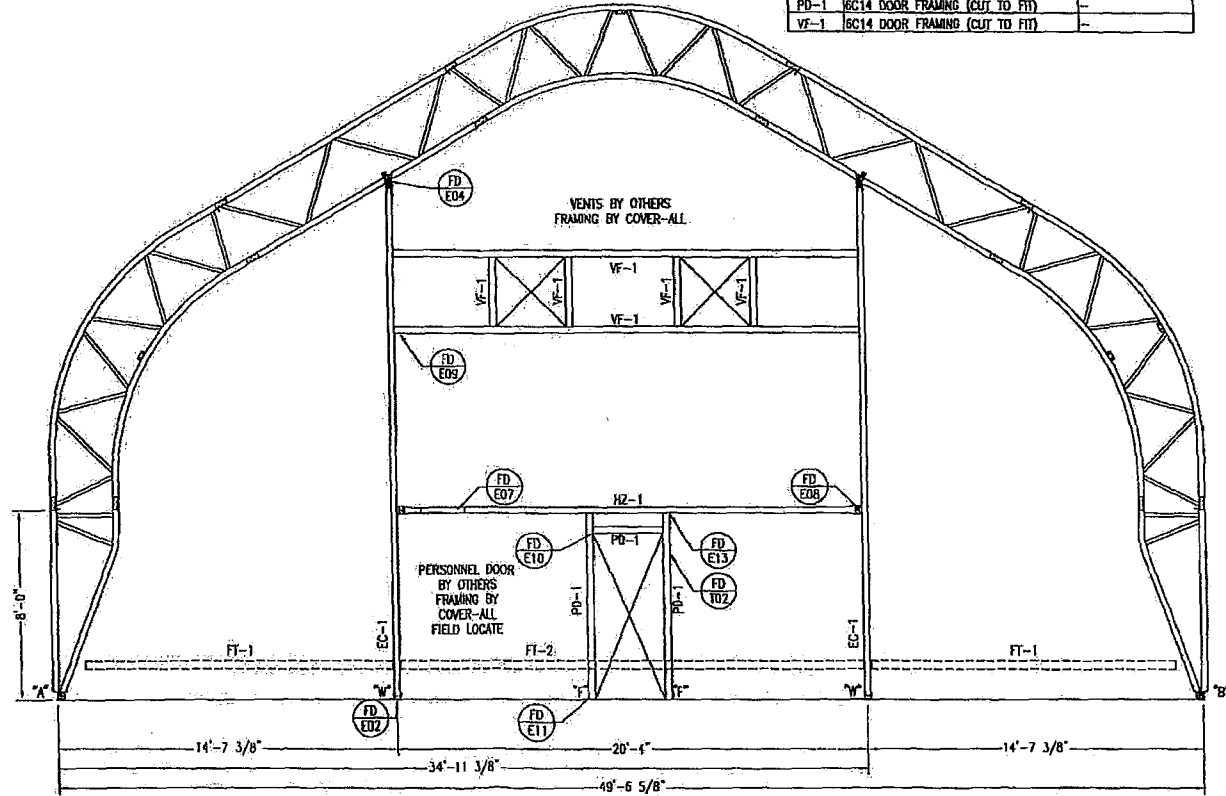
DRAWING TITLE: FABRIC DETAILS

DWG #: W507

REVISION: 1



MARK	DESCRIPTION	WEIGHT - LB
EC-1	HSS 3x6x3/16 (260)	231.4
HZ-1	330550 (34) + 32000080 (228.75)	53.5
FT-1	2x4 FASTENING TUBE (159)	89.3
FT-2	2x4 FASTENING TUBE (240)	104.5
PD-1	6C14 DOOR FRAMING (CUT TO FIT)	-
VF-1	6C14 DOOR FRAMING (CUT TO FIT)	-



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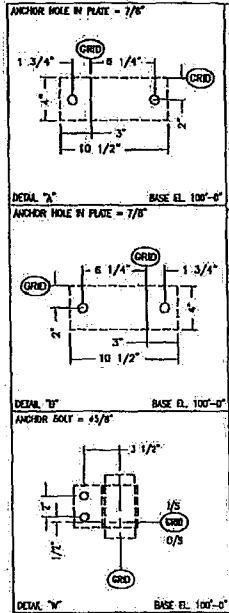
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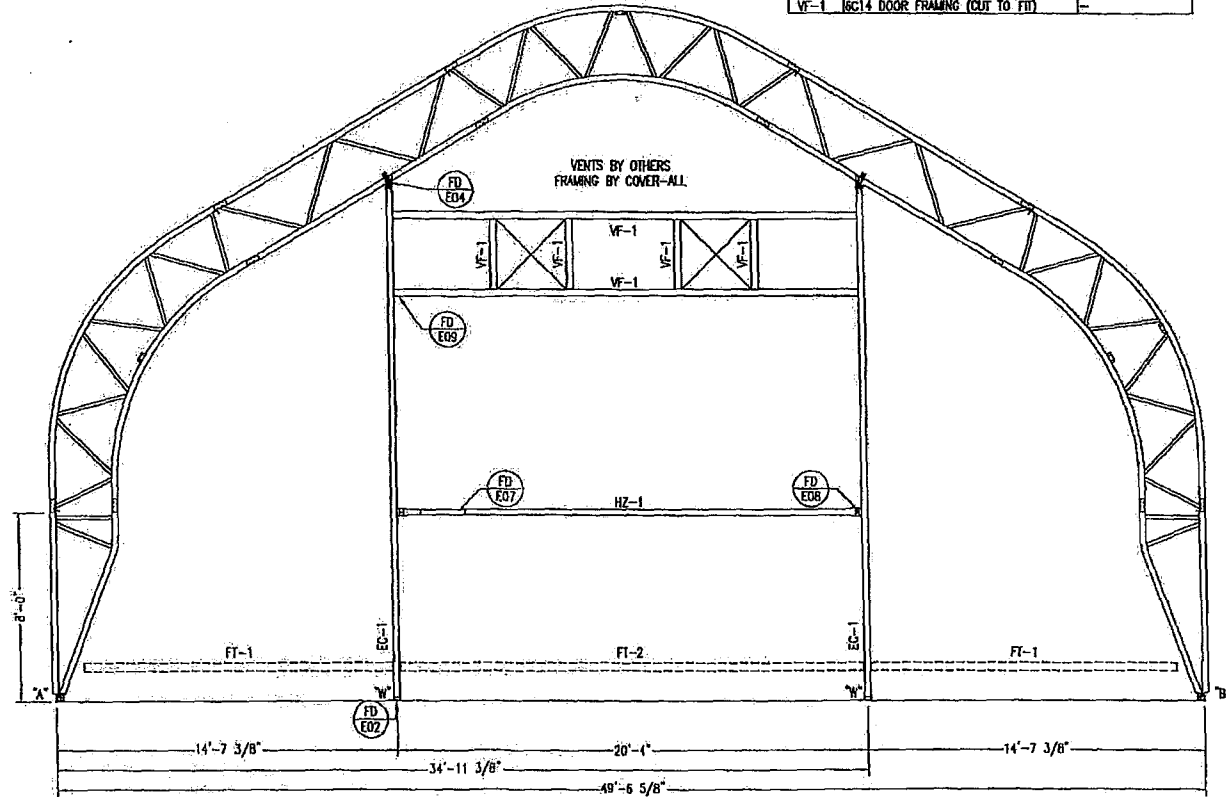
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DWG # WS08

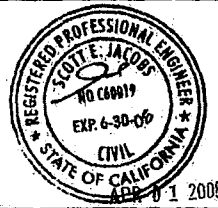
REVISION 1



MARK	DESCRIPTION	WEIGHT - lb
ED-1	HSS 3x6x3/16 (280)	231.4
HZ-1	330550 (34) + 32000080 (226.75)	53.5
FT-1	2x4 FASTENING TUBE (159)	69.3
FT-2	2x4 FASTENING TUBE (240)	104.5
VF-1	16C14 DOOR FRAMING (CUT TO FIT)	-



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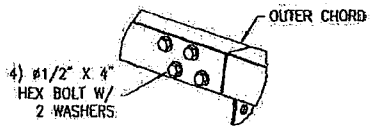
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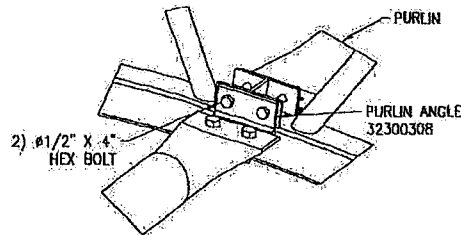
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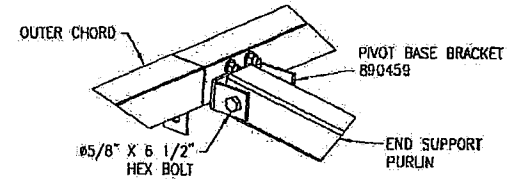




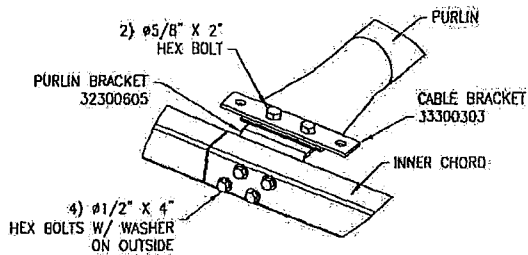
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201 @ OUTER CHORD



FD MID RADIUS PURLIN CONNECTION  
204 @ INNER CHORD (COMMON ARCH)

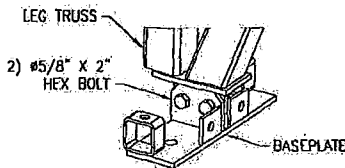


FD END SUPPORT CONNECTION  
207 @ OUTER CHORD COUPLER

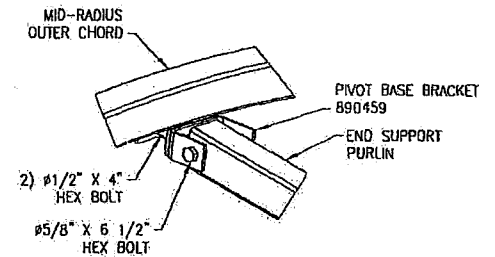


\*\* CROSS CABLES NOT SHOWN FOR CLARITY \*\*

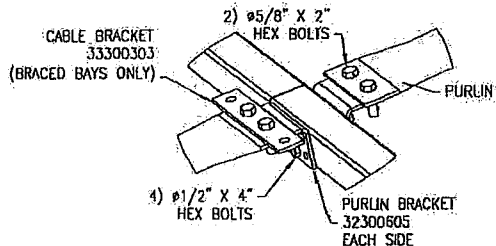
FD COUPLER CONNECTION  
202 @ INNER CHORD (END ARCH)



FD LEG CONNECTION  
205 TO BASEPLATE

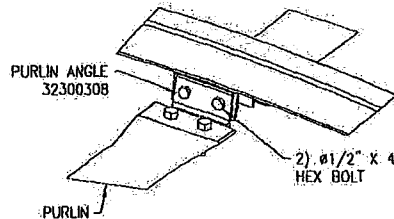


FD END SUPPORT CONNECTION  
208 @ OUTER CHORD MID RADIUS



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FD COUPLER CONNECTION  
203 @ INNER CHORD (COMMON ARCH)



FD RIDGE PURLIN  
206 CONNECTION

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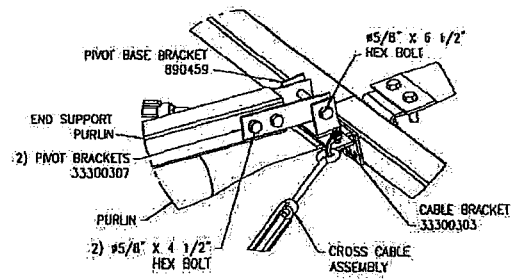


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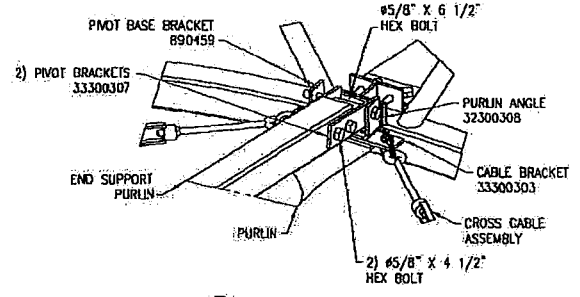
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 DWG # WS10  
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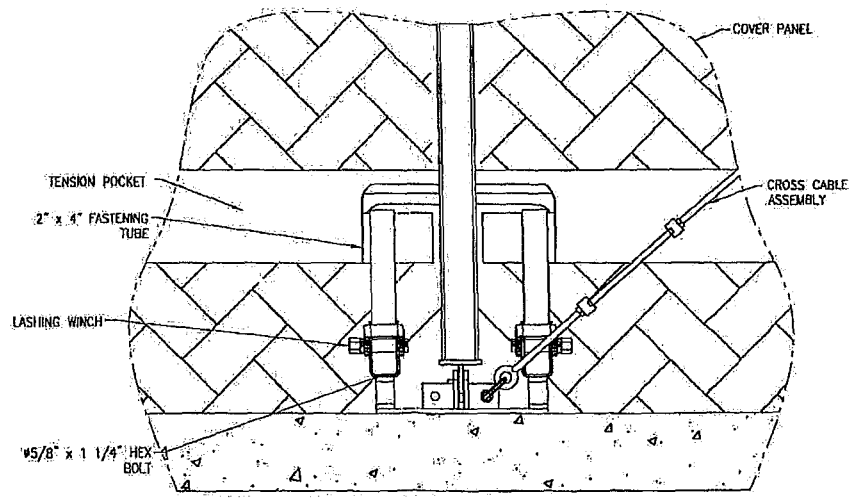
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FD 209 END SUPPORT CONNECTION @ INNER CHORD COUPLER

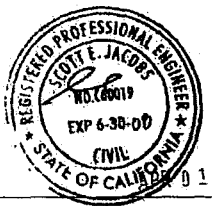


FD 210 END SUPPORT CONNECTION @ INNER CHORD MID-RADIUS



FD 211 FABRIC TENSION AND CABLE CONNECTION @ BASEPLATES

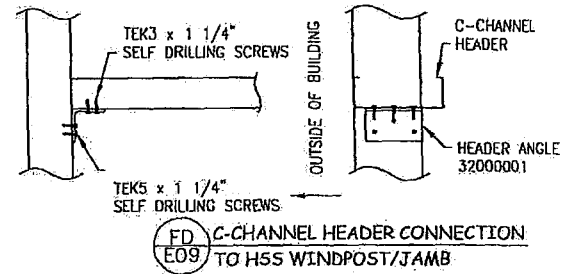
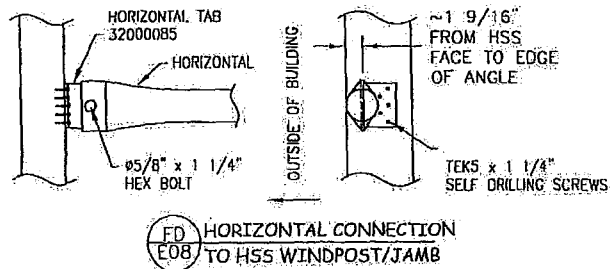
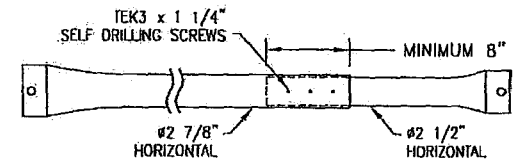
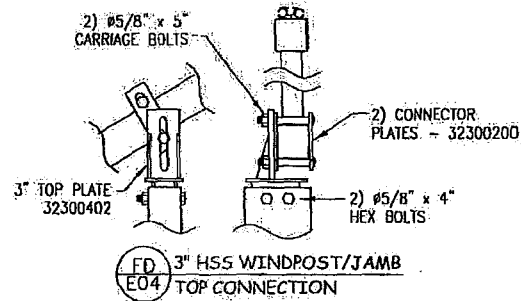
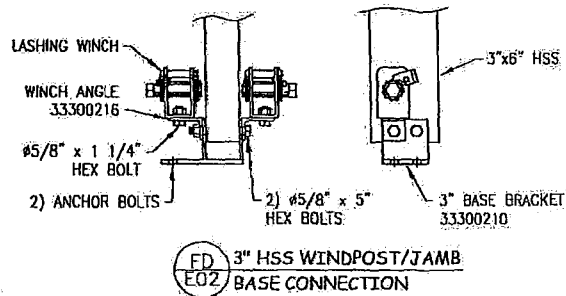
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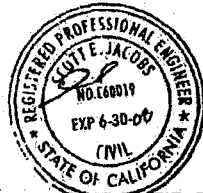
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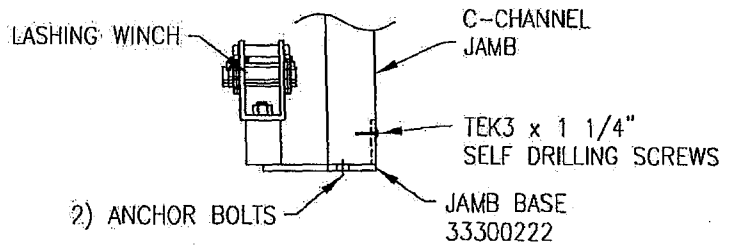
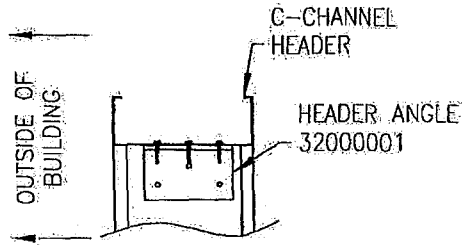
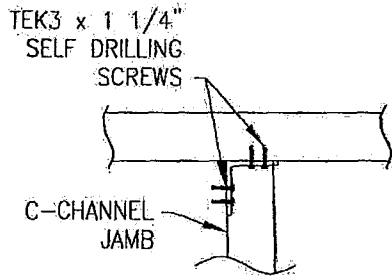


OFFICE: SUMMIT STRUCTURES US LLC  
CUSTOMER: RATNA LING DHARMA PUBLISHING - WHOLESALE  
PROJECT: WAREHOUSE  
PROJECT ID: SBS 08-1007  
ORDER ID: 85871

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DRAWN BY: R SCHMID  
DATE: 24 MAR 08  
CHECKED BY: [Signature]  
DATE: 31 MAR 08  
SCALE: N.T.S.

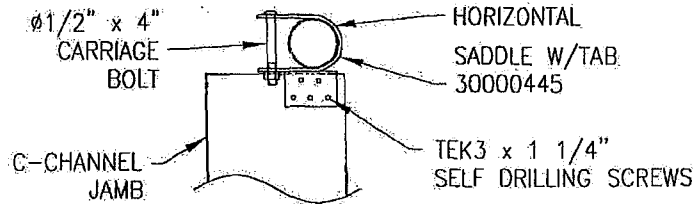
summit STRUCTURES  
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WEBSITE: www.summitstructures.com  
E-MAIL: info@summitstructures.com  
FAX: 1-877-413-7189  
DRAWING TITLE: END DETAILS 1  
DWG #: WS12  
REVISION: 1

APR 11 2008



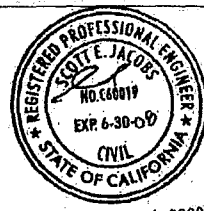
FD E10 C-CHANNEL JAMB CONNECTION TO C-CHANNEL HEADER

FD E11 C-CHANNEL JAMB BASE CONNECTION



FD E13 C-CHANNEL JAMB CONNECTION TO HORIZONTAL

REV.	DESCRIPTION	BY	DATE
1	RELEASED	RS	24 MAR 08



OFFICE: SUMMIT STRUCTURES US LLC

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PROJECT: WAREHOUSE

PROJECT ID: SBS 08-1007

ORDER ID: 85871

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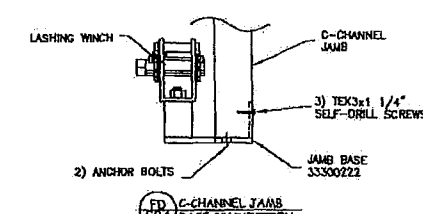
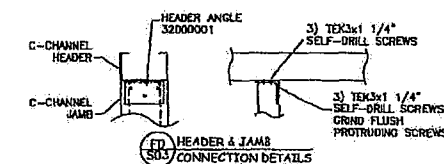
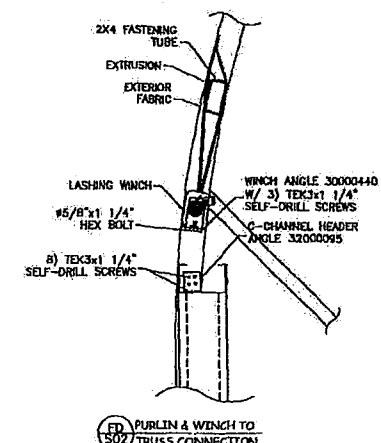
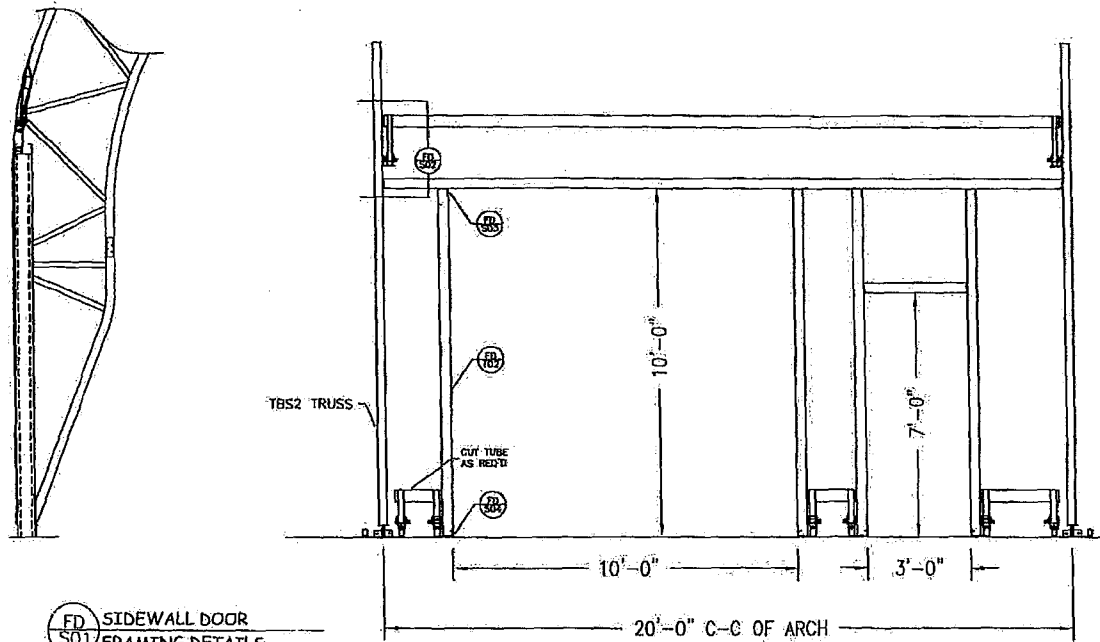
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DWG # WS13

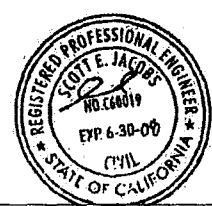
REVISION 1

APR 01 2008

NOTE: HEADER POCKET & ADDITIONAL TENSION COMPONENTS NOT REQUIRED FOR PERSONNEL DOOR OPENING



REV.	DESCRIPTION	BY	DATE
1	RELEASED	RS	24 MAR 08

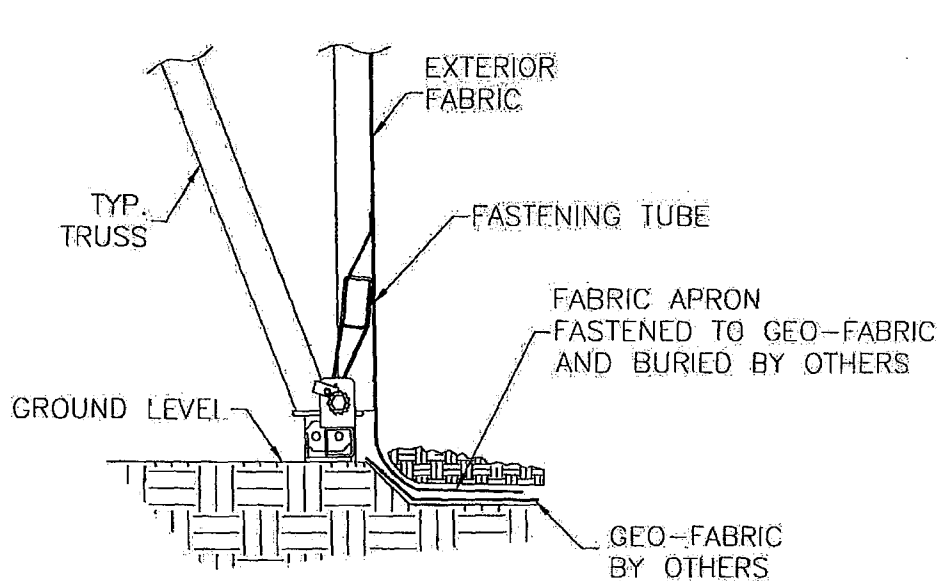


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 CUSTOMER: RATNA LING DHARMA PUBLISHING - WHOLESALE  
 PROJECT: CAZADERO, CA WAREHOUSE  
 PROJECT ID: SBS 08-1007  
 ORDER ID: 85871

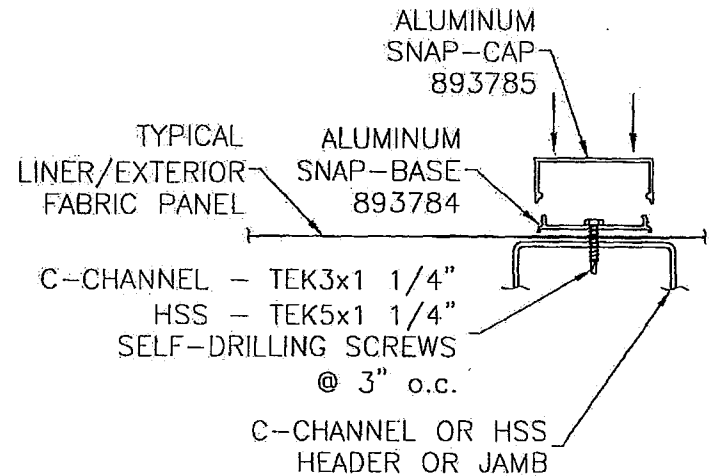
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 DATE: 24 MAR 08  
 DATE: 5/1/08  
 SCALE: N.T.S.

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 E-MAIL: info@summitstructures.com  
 FAX: 1-877-413-7187  
 DRAWING TITLE: SIDE OPENING DETAILS  
 SHEET: WS14  
 REVISION: 1

APR 01 2008



FD  
T01 FABRIC TERMINATION  
W/ APRON & GEO-FABRIC



TYPICAL INSIDE AND OUTSIDE  
OF OPENING

FD  
T02 SNAP - CAP FINISH  
DETAIL

PLEASE REFER TO FOLLOWING DRAWINGS  
FOR EXACT BUILDING DIMENSIONS

REV.	DESCRIPTION	BY	DATE
1	RELEASED	RS	24 MAR 08

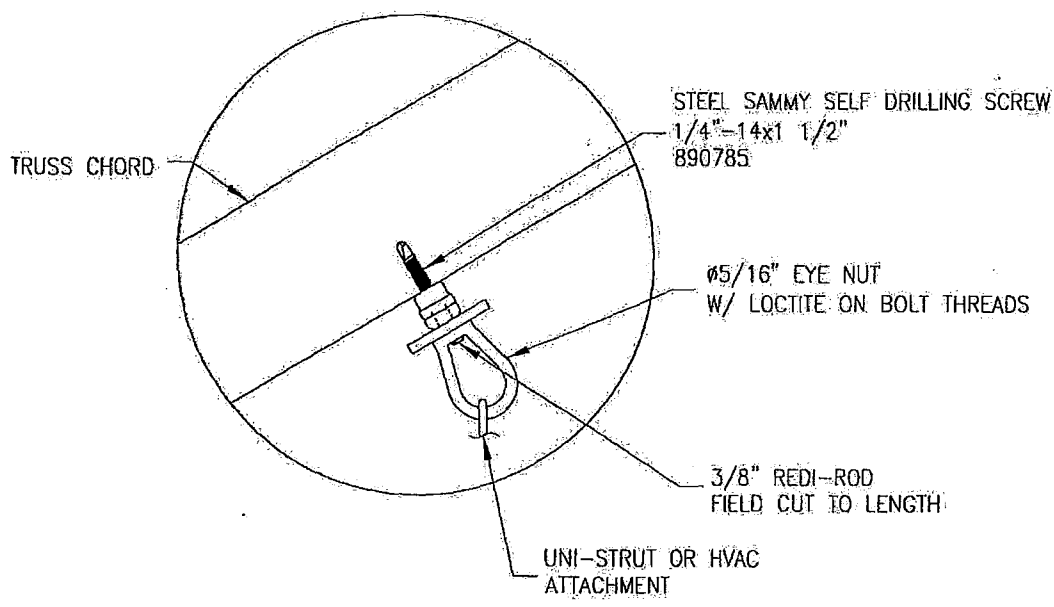


OFFICE: SUMMIT STRUCTURES US LLC  
 CUSTOMER: RATNA LING DHARMA  
 PUBLISHING - WHOLESALE  
 CAZADERO, CA  
 PROJECT: WAREHOUSE  
 PROJECT ID: SRS 08-1007  
 ORDER ID: 85871

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 CHECKED BY: MS  
 DATE: 24 MAR 08  
 DATE: 3/16/08  
 SCALE: N.T.S.

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 FAX: 1-877-413-7189  
 DRAWING TITLE: FABRIC TERMINATION DETAILS  
 WS15 1

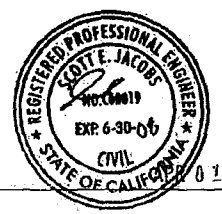


HANGING POINTS FOR LIGHT FIXTURES WILL BE REQ'D. LOCATION T.B.D.

FD  
H01 TYPICAL HANGING POINT ON TRUSS

NOTE  
HANGING POINT MUST FALL ON THE TRUSS GRIDLINE  
MAX LOAD T.B.D.

1	RELEASED	RS	24 MAR 08
REV.	DESCRIPTION	BY	DATE



OFFICE: SUMMIT STRUCTURES US LLC  
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 PROJECT: WAREHOUSE  
 PROJECT ID: SBS 08-1007  
 ORDER ID: 85871

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 CHECKED BY: [Signature] DATE: [Signature]  
 SCALE: N.T.S.

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 WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com  
 DRAWING TITLE: HANGING POINT DETAIL  
 DWG #: WS16 REVISION: 1

DRAWING SCHEDULE		REVISIONS	
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	05/15/08	SS
2	REVISED BASE REACTIONS	05/29/08	SS
3	RELEASED FOR PRE-CONSTRUCTION	07/01/08	SS

**REVISIONS**

1. ISSUED FOR PERMITS

2. REVISED BASE REACTIONS

3. RELEASED FOR PRE-CONSTRUCTION

**DRAWING SCHEDULE**

NO. DESCRIPTION DATE BY

1 ISSUED FOR PERMITS 05/15/08 SS

2 REVISED BASE REACTIONS 05/29/08 SS

3 RELEASED FOR PRE-CONSTRUCTION 07/01/08 SS

**REVISIONS**

1. ISSUED FOR PERMITS

2. REVISED BASE REACTIONS

3. RELEASED FOR PRE-CONSTRUCTION

**DRAWING SCHEDULE**

NO. DESCRIPTION DATE BY

1 ISSUED FOR PERMITS 05/15/08 SS

2 REVISED BASE REACTIONS 05/29/08 SS

3 RELEASED FOR PRE-CONSTRUCTION 07/01/08 SS

**DRAWING SCHEDULE**

NO. DESCRIPTION DATE BY

1 ISSUED FOR PERMITS 05/15/08 SS

2 REVISED BASE REACTIONS 05/29/08 SS

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NO. DESCRIPTION DATE BY

1 ISSUED FOR PERMITS 05/15/08 SS

2 REVISED BASE REACTIONS 05/29/08 SS

3 RELEASED FOR PRE-CONSTRUCTION 07/01/08 SS

**summit STRUCTURES**

PH: 1-877-437-7107  
 WEBSITE: www.summit-structures.com  
 FAX: 1-877-437-7108

PROJECT: 87114

DATE: 29 MAY 08

SCALE: N 1/8"

CHECKED BY: S. SOBOTKA

DRAWN BY: S. SOBOTKA

DATE: 29 MAY 08

PROJECT ID: 87114

OFFICE: SUMMIT STRUCTURES US LLC

CUSTOMER: RAINA LING BIHARMA PUBLISHING - WHOLESALE SALES CAZADERO, CA

PROJECT: WARFHOUSE

ORDER ID: 87114

PROJECT ID: 87114

PROJECT ID: 87114

**REVISIONS**

1. ISSUED FOR PERMITS

2. REVISED BASE REACTIONS

3. RELEASED FOR PRE-CONSTRUCTION

**DRAWING SCHEDULE**

NO. DESCRIPTION DATE BY

1 ISSUED FOR PERMITS 05/15/08 SS

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DATE: 29 MAY 08

SCALE: N 1/8"

CHECKED BY: S. SOBOTKA

DRAWN BY: S. SOBOTKA

DATE: 29 MAY 08

PROJECT ID: 87114

OFFICE: SUMMIT STRUCTURES US LLC

CUSTOMER: RAINA LING BIHARMA PUBLISHING - WHOLESALE SALES CAZADERO, CA

PROJECT: WARFHOUSE

ORDER ID: 87114

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**REVISIONS**

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NO. DESCRIPTION DATE BY

1 ISSUED FOR PERMITS 05/15/08 SS

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PH: 1-877-437-7107  
 WEBSITE: www.summit-structures.com  
 FAX: 1-877-437-7108

PROJECT: 87114

DATE: 29 MAY 08

SCALE: N 1/8"

CHECKED BY: S. SOBOTKA

DRAWN BY: S. SOBOTKA

DATE: 29 MAY 08

PROJECT ID: 87114

OFFICE: SUMMIT STRUCTURES US LLC

CUSTOMER: RAINA LING BIHARMA PUBLISHING - WHOLESALE SALES CAZADERO, CA

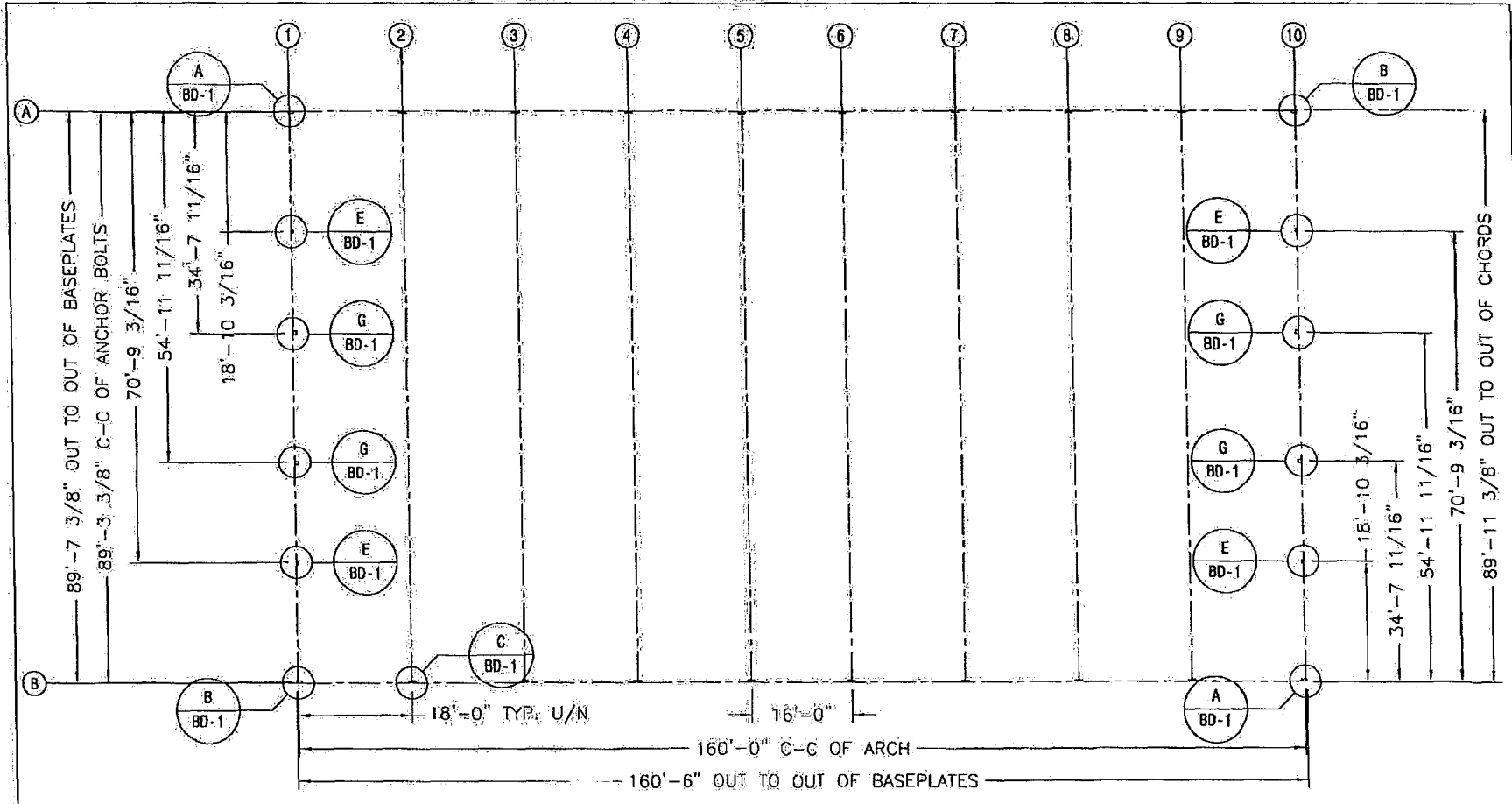
PROJECT: WARFHOUSE

ORDER ID: 87114

PROJECT ID: 87114

PROJECT ID: 87114





REV.	DESCRIPTION	BY	DATE
2	BASE PLATES REVISED	DB	30 MAY 08
1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08



OFFICE: SUMMIT STRUCTURES US LLC  
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 PROJECT: WAREHOUSE

PROJECT ID: SBS 08-1010      ORDER ID: 87114

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 CHECKED BY:      DATE:      SCALE: N.T.S.

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 DRAWING TITLE: BASE PLATE LAYOUT      SHEET: FB-2      REVISION: 2

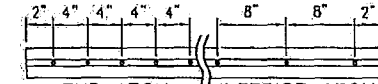
JUN 0 2 2008



MARK#	QTY	LENGTH	WEIGHT
V2	2	102"	74
R2	2	184"	168
S2	4	215"	147
W2	0	146"	98
T2	1	184"	168

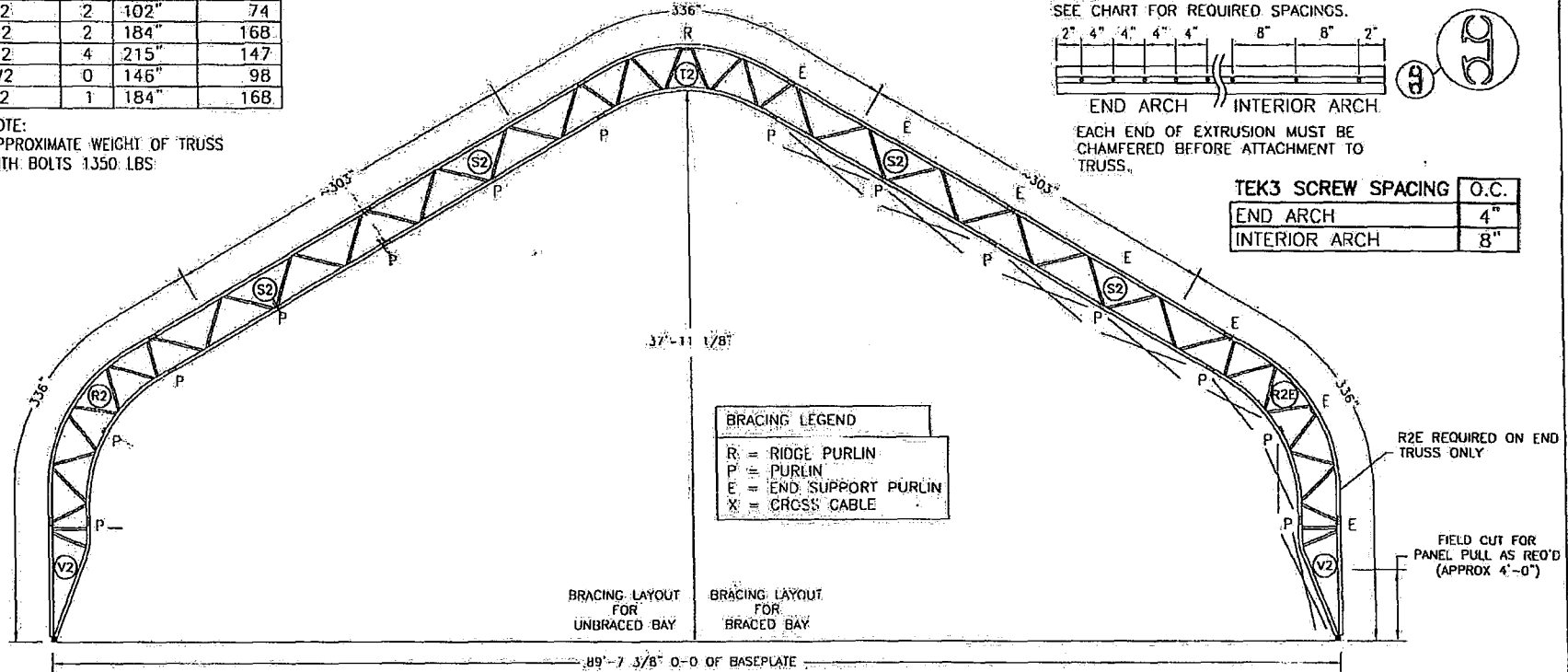
NOTE:  
APPROXIMATE WEIGHT OF TRUSS  
WITH BOLTS 1350. LBS

USE TEK3 X 1 1/4" SELF DRILLING  
SCREWS 2" FROM END  
SEE CHART FOR REQUIRED SPACINGS.



END ARCH INTERIOR ARCH  
EACH END OF EXTRUSION MUST BE  
CHAMFERED BEFORE ATTACHMENT TO  
TRUSS.

TEK3 SCREW SPACING	O.C.
END ARCH	4"
INTERIOR ARCH	8"



**BRACING LEGEND**  
R = RIDGE PURLIN  
P = PURLIN  
E = END SUPPORT PURLIN  
X = CROSS CABLE

R2E REQUIRED ON END TRUSS ONLY

FIELD CUT FOR PANEL PULL AS REQ'D (APPROX 4'-0")

ITEMS	20	30	40	50	60	70	80	90	100	110	120	130	140	150	160	170	180	190	200
V2	253	247	231	220	209	199	186	178	168	159	149								
R2	244	232	221	208	198	187	176	165	154	144	133								
S2	253	242	231	220	209	199	188	178	168	158	148								
T2	267	258	248	236	226	217	207	198	189	181	173								
W2	241	229	218	206	195	184	173	163	153	143	132								

REV.	DESCRIPTION	BY	DATE
1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08

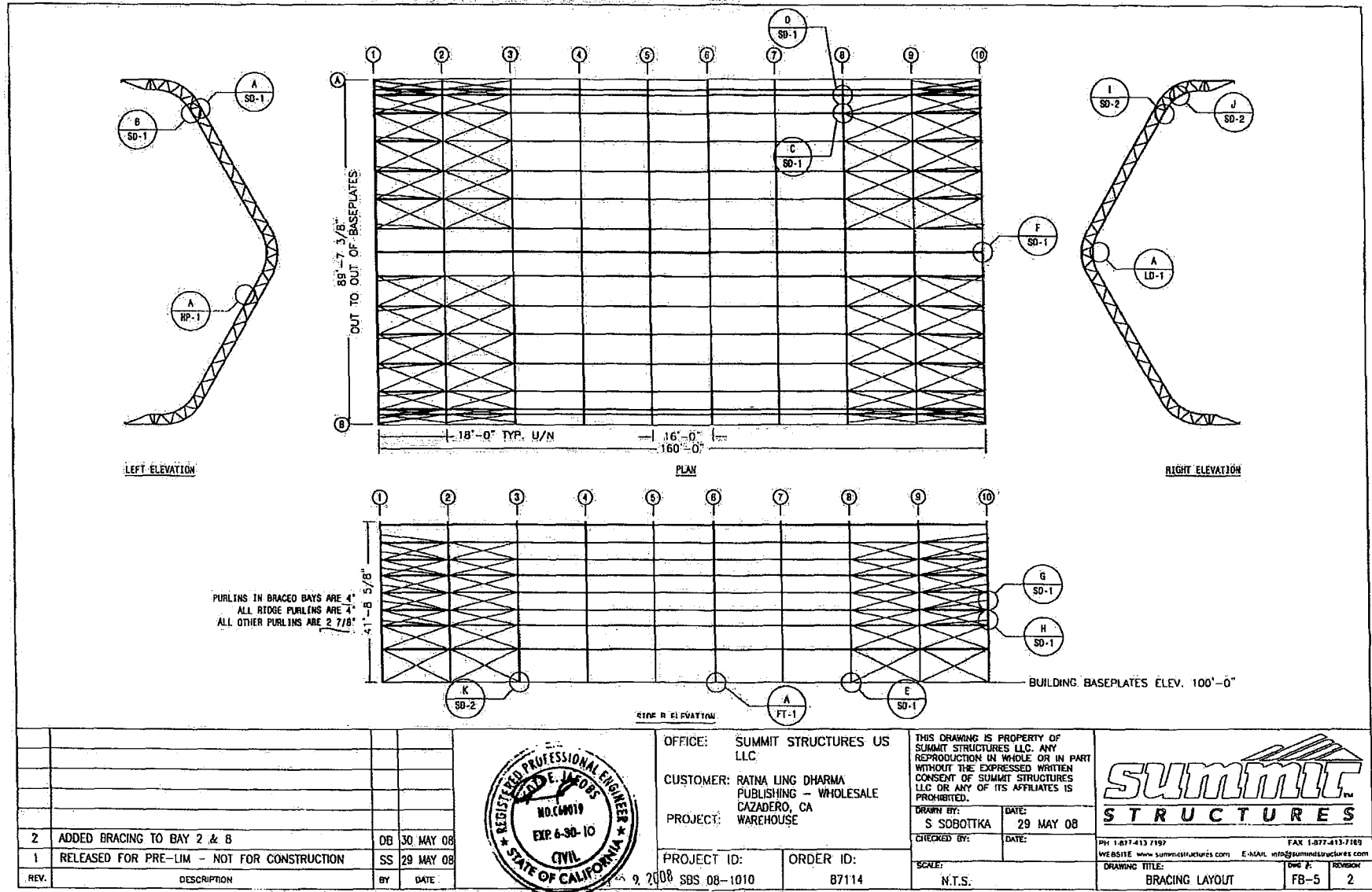


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PROJECT: WAREHOUSE  
PROJECT ID: SBS\_08-1010  
ORDER ID: 87114

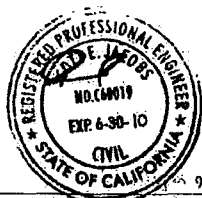
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CHECKED BY:  
DATE: 29 MAY 08  
SCALE: N.T.S.

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FAX 1-877-413-7189  
DRAWING TITLE: BUILDING PROFILE  
DWG #: FB-4  
REVISION: 1

DATE: 0 2 2008



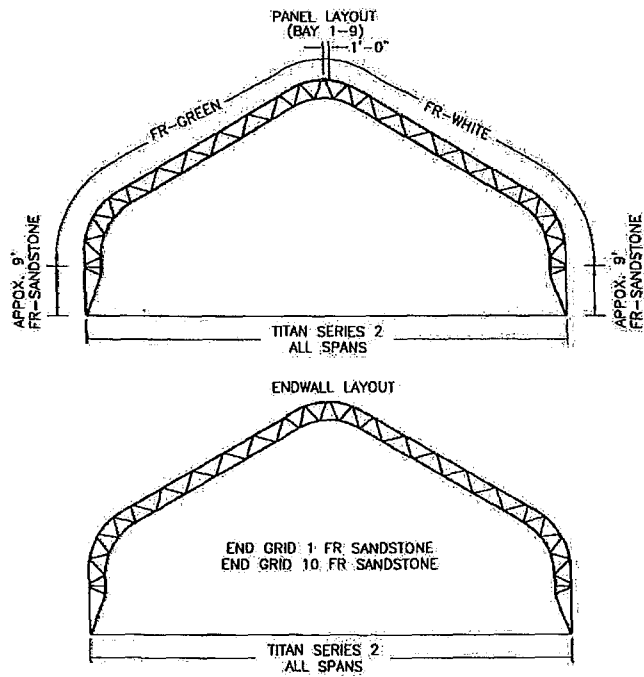
REV.	DESCRIPTION	BY	DATE
2	ADDED BRACING TO BAY 2 & 8	DB	30 MAY 08
1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08



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 PROJECT: WAREHOUSE  
 PROJECT ID: SBS 08-1010  
 ORDER ID: 87114

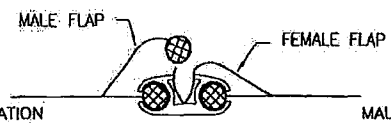
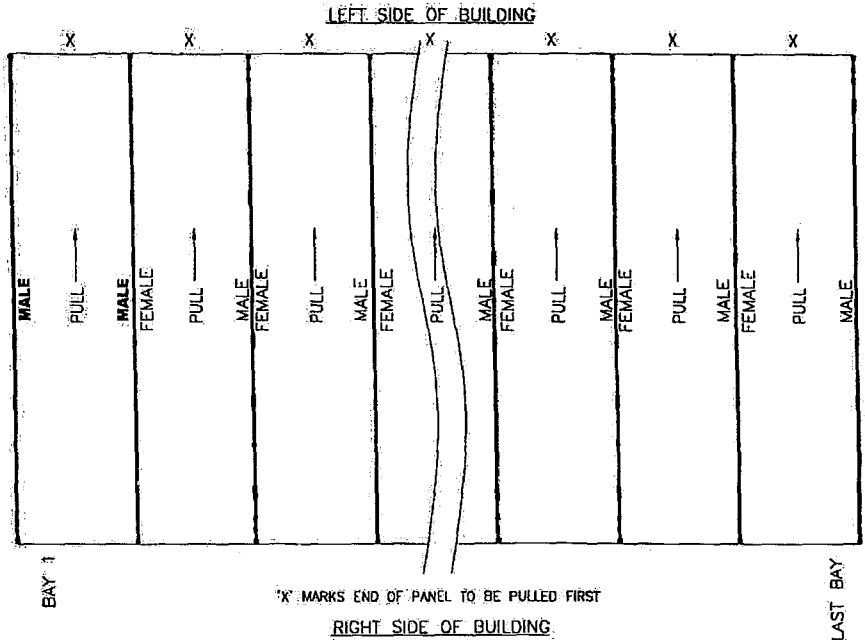
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 CHECKED BY: S SOBOTKA  
 DATE: 29 MAY 08  
 SCALE: N.T.S.

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 WEBSITE www.summitstructures.com E-MAIL info@summitstructures.com  
 DRAWING TITLE: BRACING LAYOUT  
 DWG #: FB-5  
 REVISION: 2



NOTE:  
IF YOU MUST PULL OPPOSITE OF SHOWN, YOU NEED TO RE-FOLD FABRIC TO GAIN ACCESS TOP PULL POCKETS. (WITHOUT THE X MARKS)

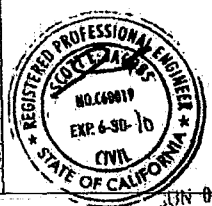
IMPORTANT:  
BAY 1 IS ALWAYS BAY 1, NO MATTER WHICH DIRECTION YOU NEED TO PULL.



STANDARD FABRIC ORIENTATION FOR WEATHER-TIGHT EXTRUSION

MALE FLAP = WITH KEEDER  
FEMALE FLAP = FABRIC ONLY

REV.	DESCRIPTION	BY	DATE
1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08



JUN 02 2008

OFFICE: SUMMIT STRUCTURES US LLC  
 CUSTOMER: RATNA LING DHARMA PUBLISHING - WHOLESALE CAZADERO, CA  
 PROJECT: WAREHOUSE

PROJECT ID: SHS 08-1010  
 ORDER ID: 87114

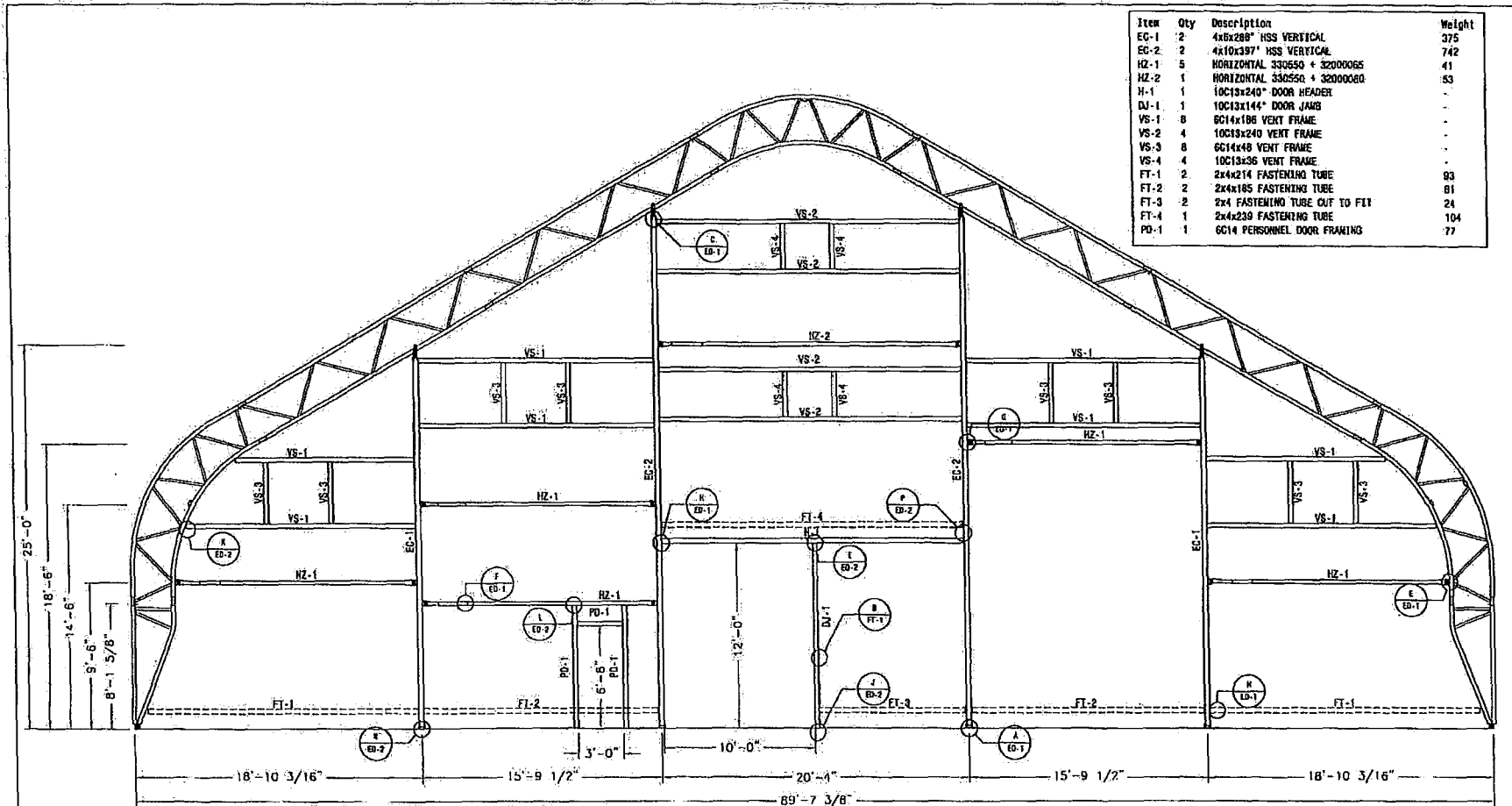
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 CHECKED BY: S SOBOTKA  
 DATE: 29 MAY 08

SCALE: N.T.S.

PHI 1-877-413-7197 FAX 1-877-413-7189  
 WEBSITE www.summitstructures.com E-MAIL info@summitstructures.com

DRAWING TITLE: FABRIC DETAILS  
 DWG #: FB-6  
 REVISION: 1



Item	Qty	Description	Weight
EC-1	2	4x6x208" HSS VERTICAL	375
EC-2	2	4x10x197" HSS VERTICAL	742
HZ-1	5	HORIZONTAL 330550 + 32000065	41
HZ-2	1	HORIZONTAL 330550 + 32000065	53
H-1	1	10C13x240" DOOR HEADER	-
DJ-1	1	10C13x144" DOOR JAMB	-
VS-1	8	6C14x186 VENT FRAME	-
VS-2	4	10C13x240 VENT FRAME	-
VS-3	8	6C14x48 VENT FRAME	-
VS-4	4	10C13x36 VENT FRAME	-
FT-1	2	2x4x214 FASTENING TUBE	93
FT-2	2	2x4x185 FASTENING TUBE	81
FT-3	2	2x4 FASTENING TUBE CUT TO FIT	24
FT-4	1	2x4x239 FASTENING TUBE	104
PD-1	1	6C14 PERSONNEL DOOR FRAMING	77

REV.	DESCRIPTION	BY	DATE
2	REVISED HSS	DB	30 MAY 08
1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08



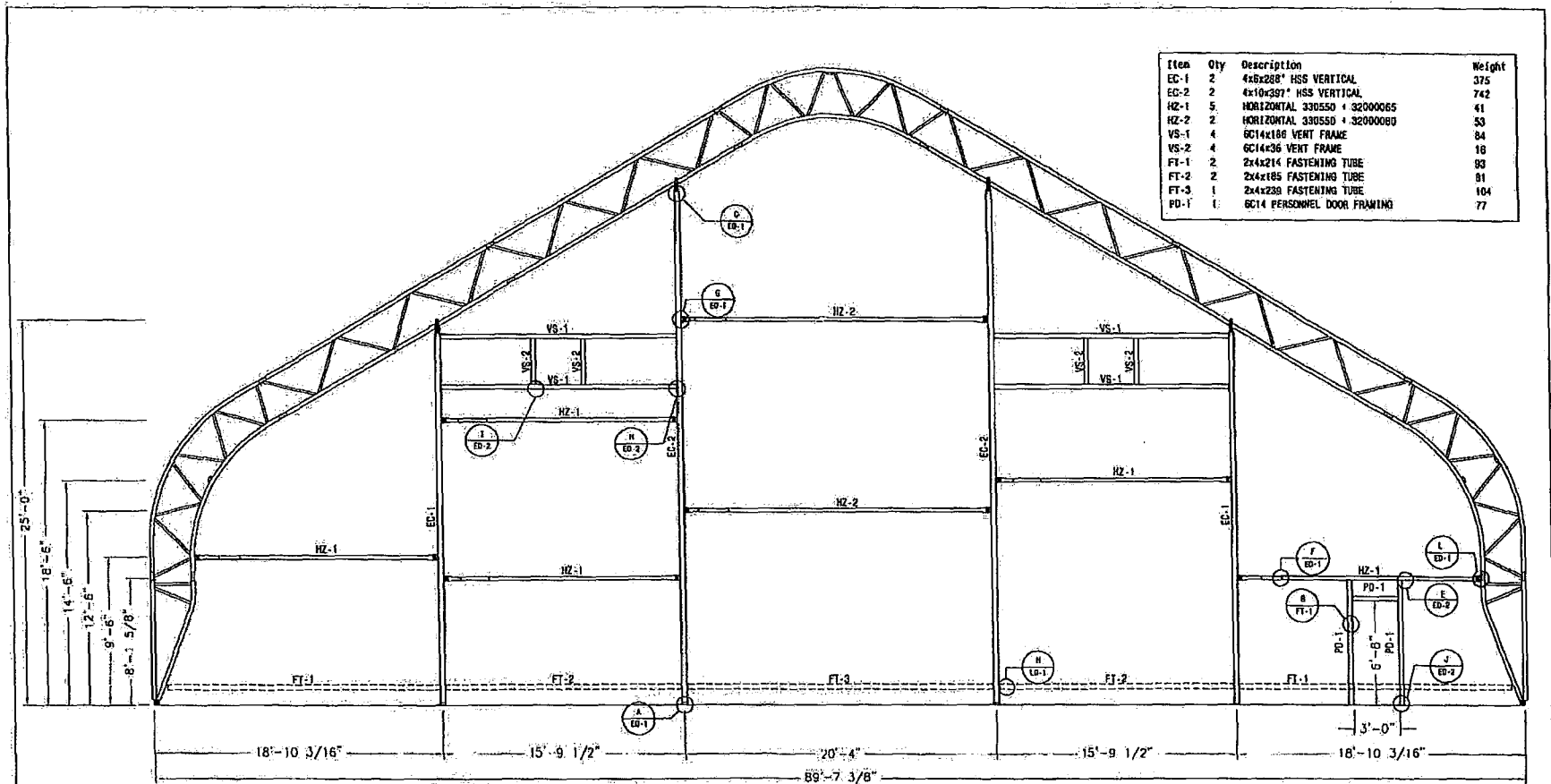
OFFICE: SUMMIT STRUCTURES US LLC  
 CUSTOMER: RATNA LING DHARMA PUBLISHING - WHOLESALE CAZADERO, CA  
 PROJECT: WAREHOUSE

PROJECT ID: SBS 08-1010      ORDER ID: 87114

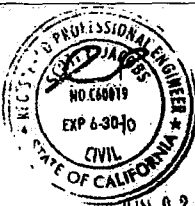
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 SCALE: N.T.S.

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 WEBSITE: www.summitstructures.com      E-MAIL: info@summitstructures.com  
 DRAWING TITLE: ENDWALL - 1      DWG #: EW-1      REVISION: 2



REV.	DESCRIPTION	BY	DATE
2	REVISED HSS	DB	30 MAY 08
1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08



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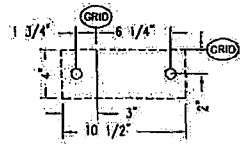
OFFICE: SUMMIT STRUCTURES US LLC  
 CUSTOMER: RATNA LING DHARMA PUBLISHING - WHOLESALE CAZADERO, CA  
 PROJECT: WAREHOUSE

PROJECT ID: SBS 08-1010  
 ORDER ID: 87114

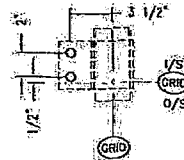
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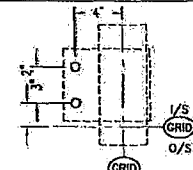
PH: 1-877-413-7187 FAX: 1-877-413-7189  
 WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com  
 DRAWING TITLE: ENDWALL - 2  
 DWG # : EW-2  
 REVISION : 2



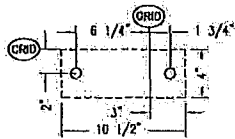
**A** LEFT END TRUSS  
BD-1 BASEPLATE DETAIL



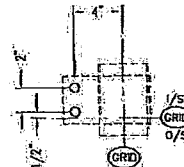
**D** 3x6 HSS ENDWALL  
BD-1 BASEPLATE DETAIL



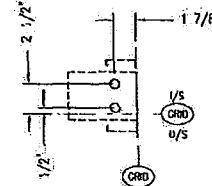
**G** 4x10 HSS ENDWALL  
BD-1 BASEPLATE DETAIL



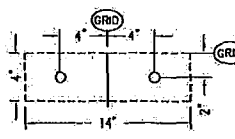
**B** RIGHT END TRUSS  
BD-1 BASEPLATE DETAIL



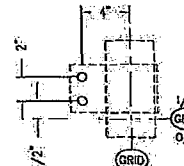
**E** 4x6 HSS ENDWALL  
BD-1 BASEPLATE DETAIL



**H** C-CHANNEL ENDWALL  
BD-1 BASEPLATE DETAIL



**C** COMMON TRUSS  
BD-1 BASEPLATE DETAIL



**F** 4x8 HSS ENDWALL  
BD-1 BASEPLATE DETAIL

REV.	DESCRIPTION	BY	DATE
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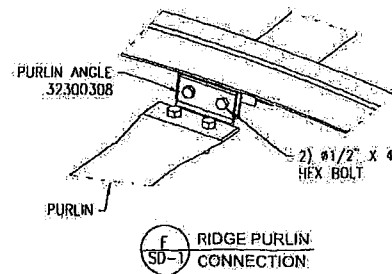
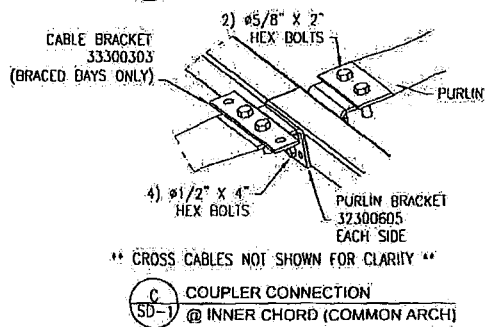
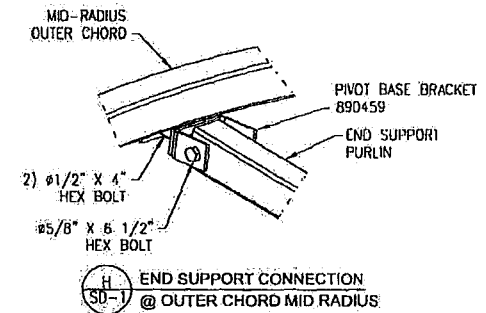
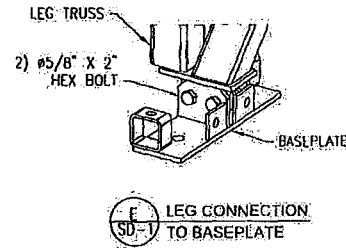
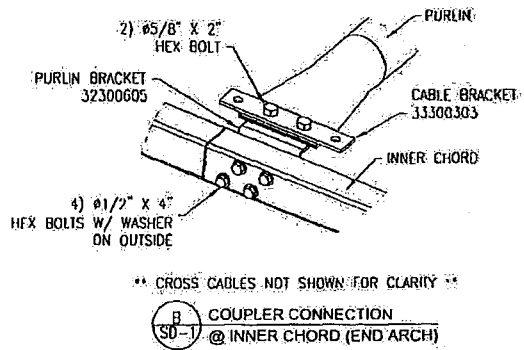
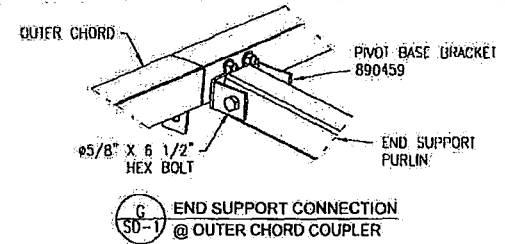
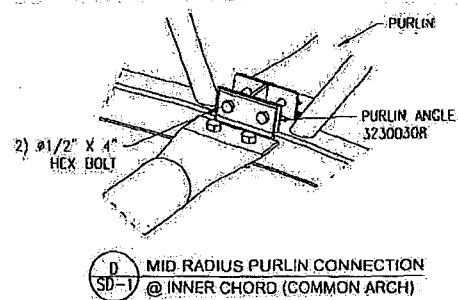
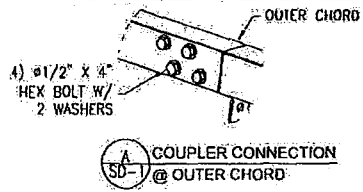
PROJECT ID: SBS 08-1010  
 ORDER ID: 87114

SCALE: N.T.S.

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 WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com  
 DRAWING TITLE: BASE PLATE DETAILS  
 DWG #: BD-1 REVISION: 1

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\*\* CROSS CABLES NOT SHOWN FOR CLARITY \*\*

\*\* CROSS CABLES NOT SHOWN FOR CLARITY \*\*

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 PROJECT: WAREHOUSE

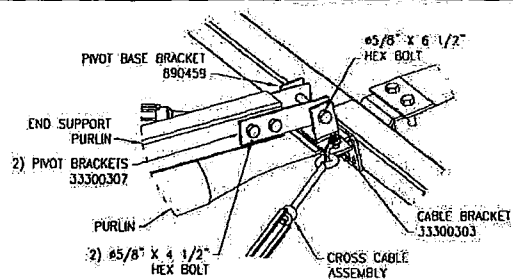
PROJECT ID: SBS 08-1010      ORDER ID: 87114

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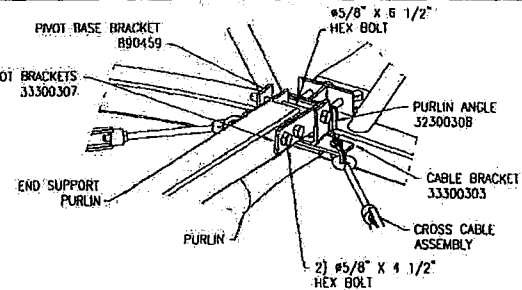
DRAWN BY: S SOBOTKA      DATE: 29 MAY 08  
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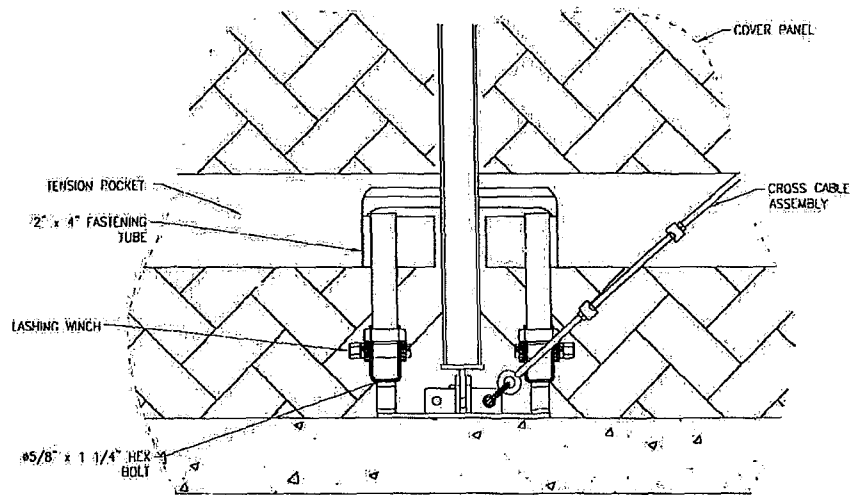
DRAWING TITLE: STANDARD DETAILS-1      DWG # SD-1      REVISION: 1



I  
SD-2  
END SUPPORT CONNECTION  
@ INNER CHORD COUPLER



J  
SD-2  
END SUPPORT CONNECTION  
@ INNER CHORD MID-RADIUS



K  
SD-2  
FABRIC TENSION AND CABLE  
CONNECTION @ BASEPLATES

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 PROJECT: CAZADERO, CA WAREHOUSE

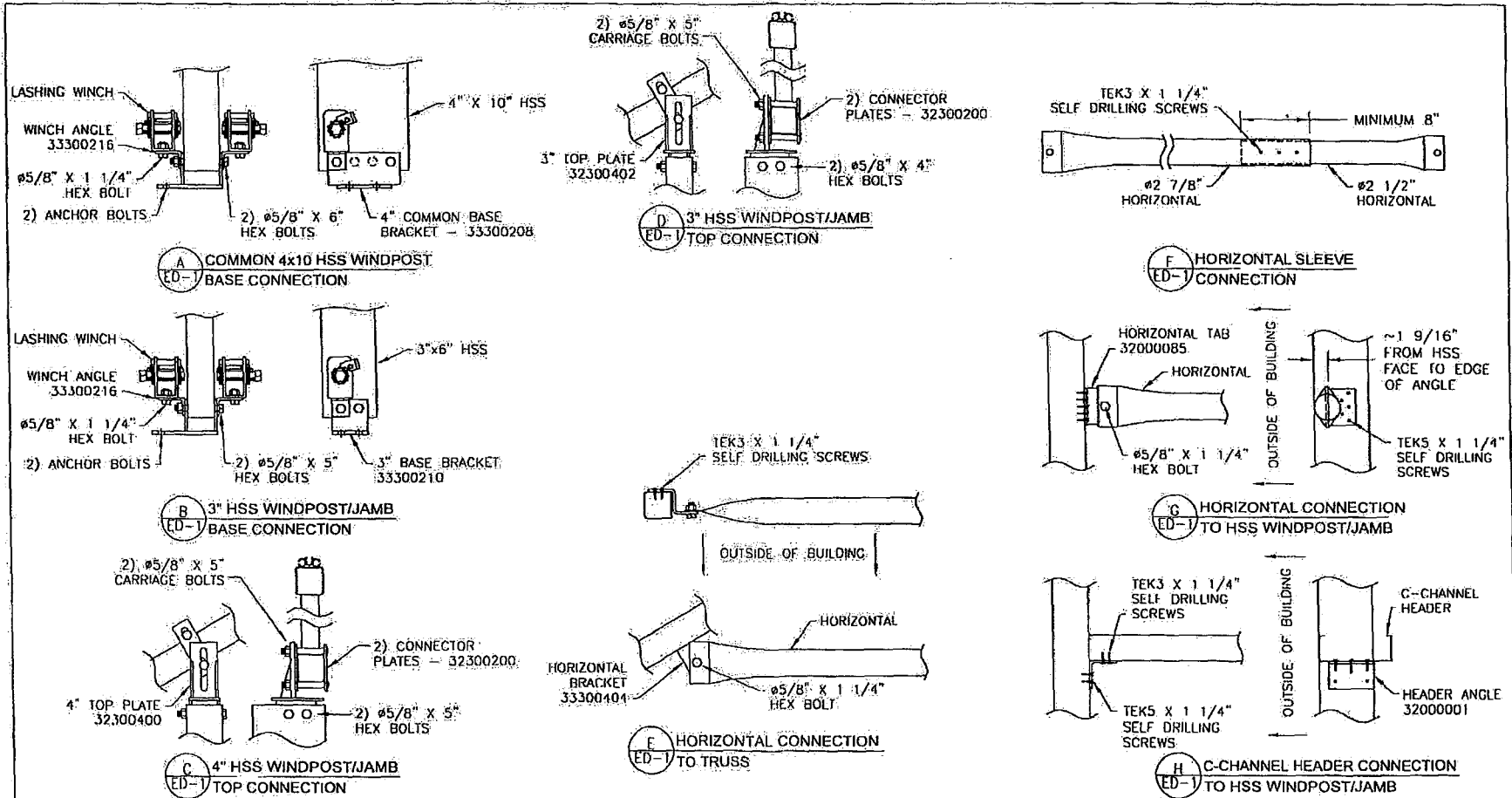
PROJECT ID: SBS\_08-1010  
 ORDER ID: 87114

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 SHEET NO: SD-2  
 REVISION: 1

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1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08

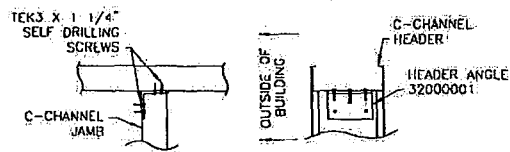


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 PROJECT: WAREHOUSE  
 PROJECT ID: SBS 08-1010  
 ORDER ID: 87114

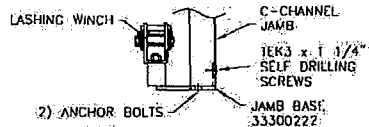
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 DRAWING TITLE: ENDWALL DETAILS 1  
 DWG #: ED-1  
 REVISION: 1

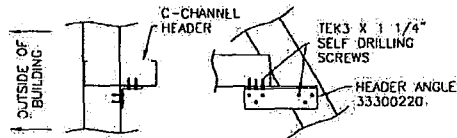
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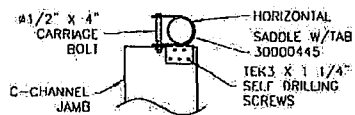
**C** C-CHANNEL JAMB CONNECTION TO C-CHANNEL HEADER  
ED-2



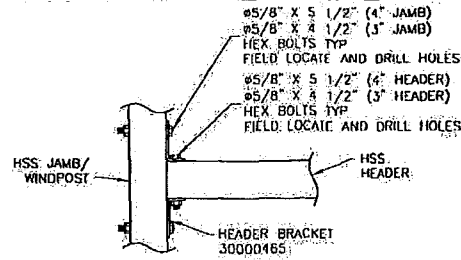
**J** C-CHANNEL JAMB BASE CONNECTION  
ED-2



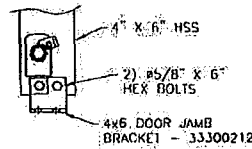
**K** C-CHANNEL HEADER CONNECTION TO TRUSS  
ED-2



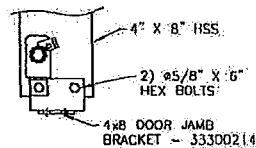
**L** C-CHANNEL JAMB CONNECTION TO HORIZONTAL  
ED-2



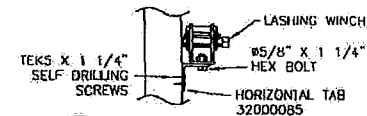
**M** HSS HEADER CONNECTION TO HSS JAMB/WINDPOST  
ED-2



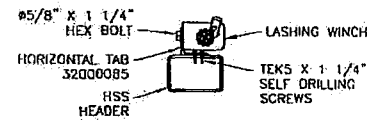
**N** 4x6 HSS WINDPOST BASE CONNECTION  
ED-2



**O** 4x8 HSS WINDPOST BASE CONNECTION  
ED-2



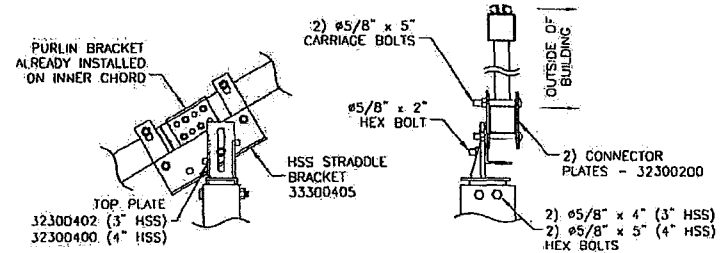
**P** LASHING WINCH CONNECTION TO HSS WINDPOST  
ED-2



**Q** LASHING WINCH CONNECTION TO HSS HEADER  
ED-2



**R** LASHING WINCH CONNECTION TO C-CHANNEL HEADER  
ED-2



**S** SERIES 2 STRADDLE BRACKET CONNECTION TO TRUSS  
ED-2

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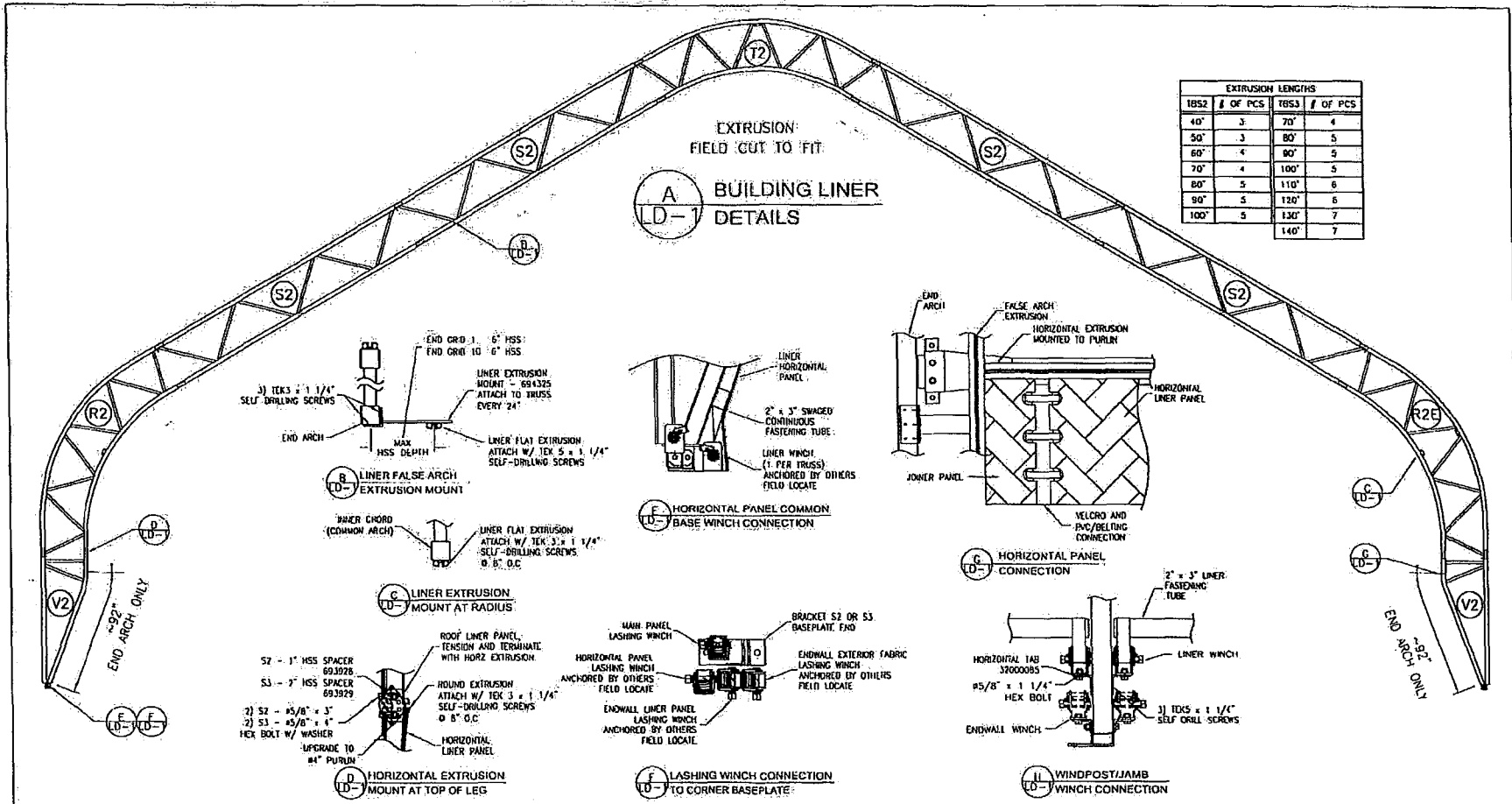
OFFICE: SUMMIT STRUCTURES US LLC  
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 PROJECT: WAREHOUSE  
 PROJECT ID: SBS 08-1010  
 ORDER ID: 87114

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 DRAWING TITLE: ENDWALL DETAILS 2  
 DWG #: ED-2  
 REVISION: 1

JUN 02 2008



EXTRUSION LENGTHS			
IBS2	# OF PCS	TBS3	# OF PCS
40'	3	70'	4
50'	3	80'	5
60'	4	90'	5
70'	4	100'	5
80'	5	110'	6
90'	5	120'	6
100'	5	130'	7
		140'	7

1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION.	SS	29 MAY 08
REV:	DESCRIPTION	BY	DATE

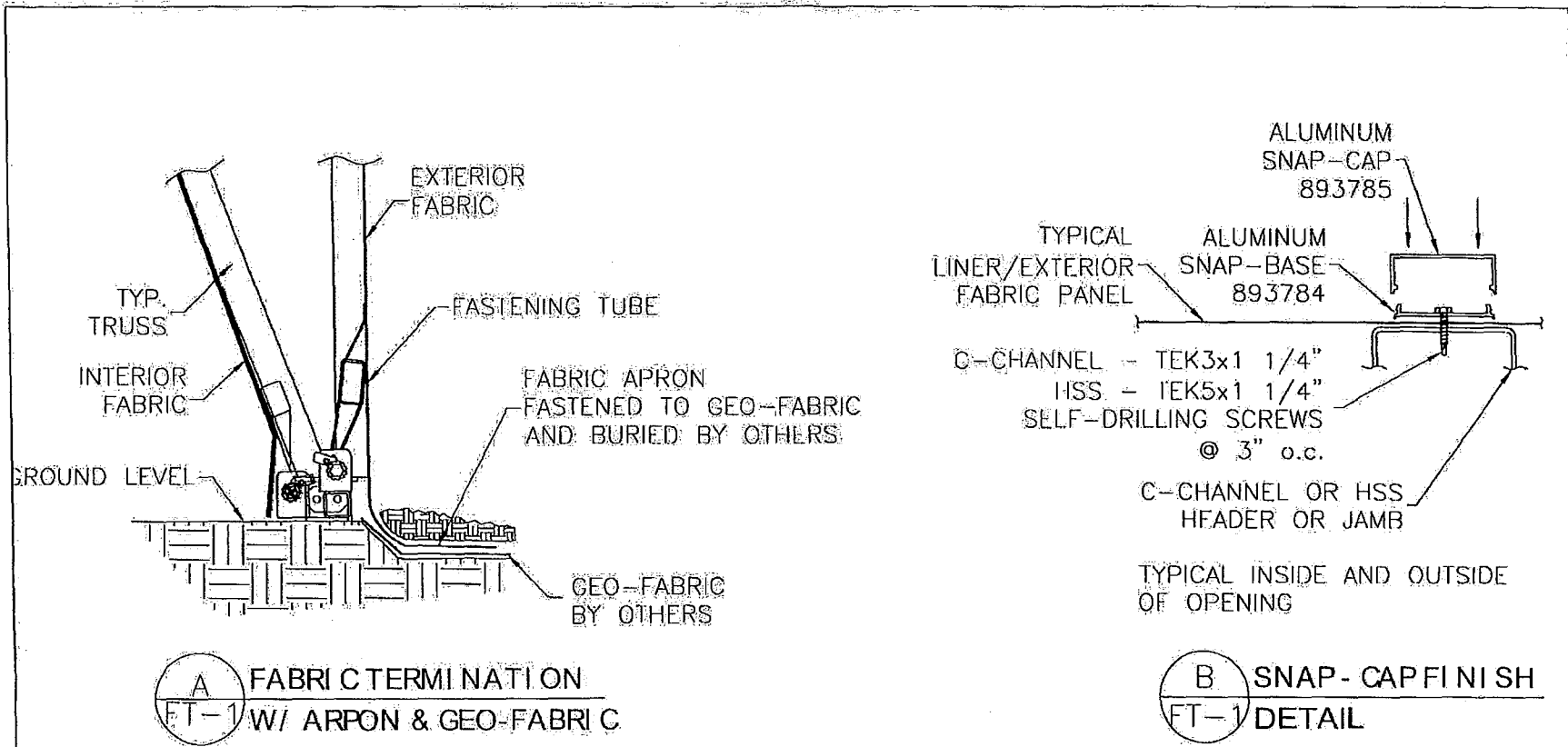


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 PROJECT:  
 PROJECT ID: SBS-08-1010  
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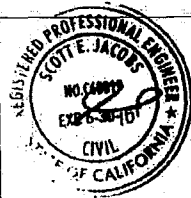
3615 WINDUSKEWIN RD, SASKATON, SASKATCHEWAN, S7P 1A4  
 PH: 1-306-657-2888 FAX: 1-306-657-2717  
 WEBSITE: www.coverall.net  
 DRAWING TITLE: LINER DETAILS  
 DWG #: LD-1  
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REV.	DESCRIPTION	BY	DATE
1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08

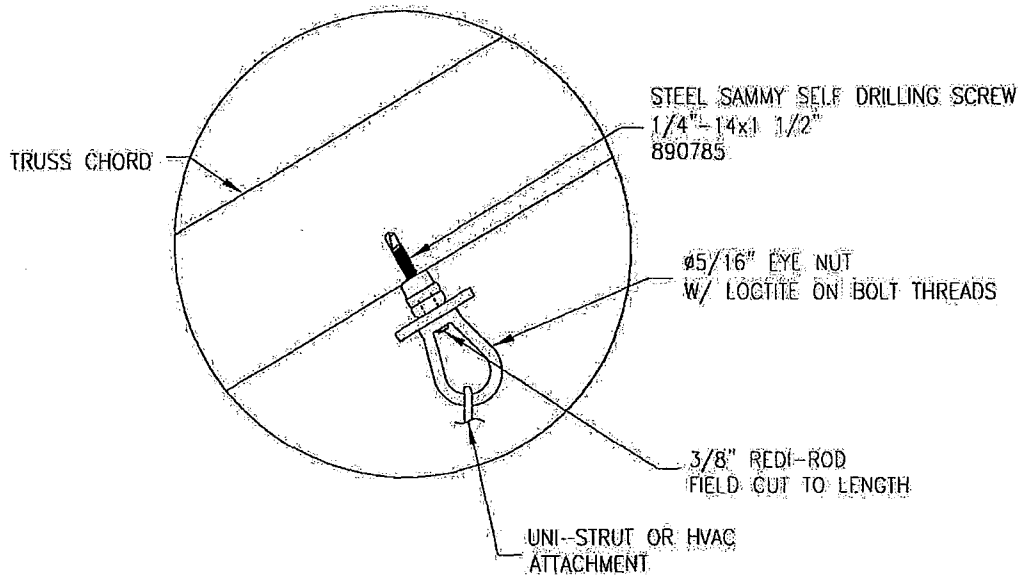


OFFICE: SUMMIT STRUCTURES US LLC  
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 CAZADERO, CA  
 PROJECT: WAREHOUSE  
 PROJECT ID: SBS 08-1010  
 ORDER ID: 87114

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 DRAWING TITLE: FABRIC TERMINATION DETAILS  
 DWG # FT-1  
 REVISION 1

MAY 2 2008



HANGING POINTS FOR LIGHT FIXTURES WILL BE REQ'D. LOCATION T.B.D.

**A**  
**HD-1**  
**TYPICAL HANGING POINT ON TRUSS**

**NOTE**  
 HANGING POINT MUST FALL ON THE TRUSS GRIDLINE

MAX LOAD: T.B.D.

REV.	DESCRIPTION	BY	DATE
1	RELEASED FOR PRE-LIM -- NOT FOR CONSTRUCTION	SS	29 MAY 08



OFFICE: SUMMIT STRUCTURES US LLC  
 CUSTOMER: RATNA LING DHARMA PUBLISHING - WHOLESALE  
 PROJECT: CAZADERO, CA WAREHOUSE  
 PROJECT ID: SBS-08-1010  
 ORDER ID: 87114

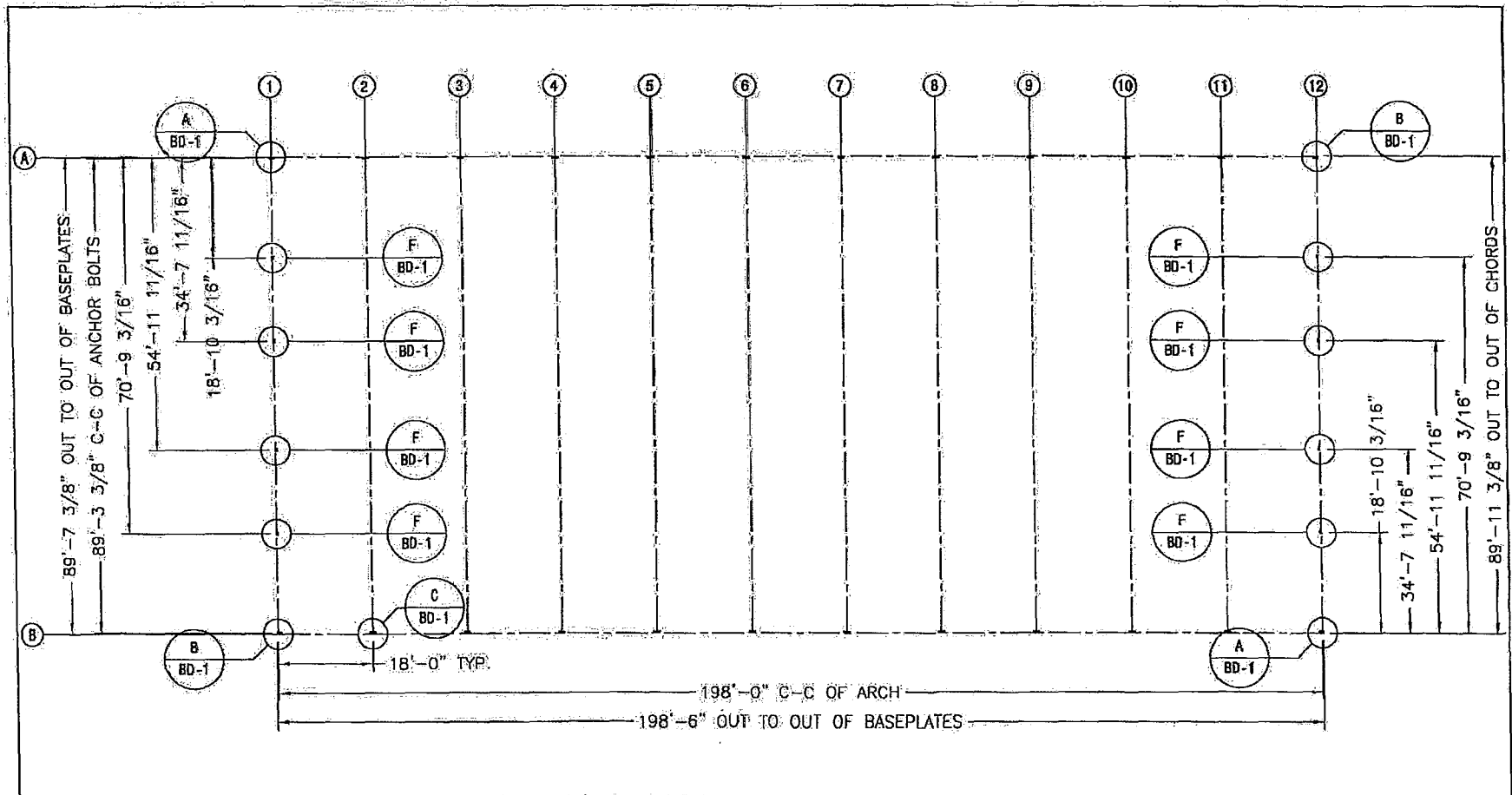
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 DATE: 29 MAY 08  
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 DATE: [Blank]  
 SCALE: N.T.S.

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 FAX: 1-877-413-7189  
 E-MAIL: info@summitstructures.com  
 DRAWING TITLE: HANGING POINT DETAIL  
 SHEET NO: HP-1  
 REVISION: 1

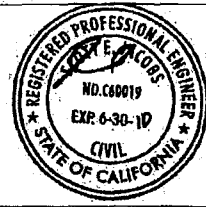
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REV.	DESCRIPTION	BY	DATE
1	RELEASED	SS	31 JUL 08

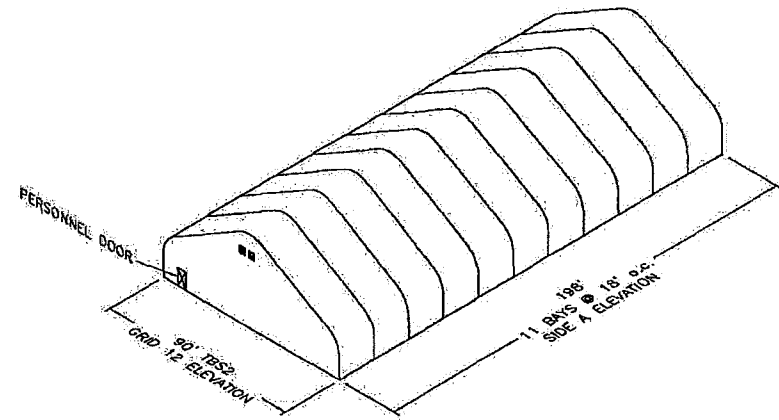
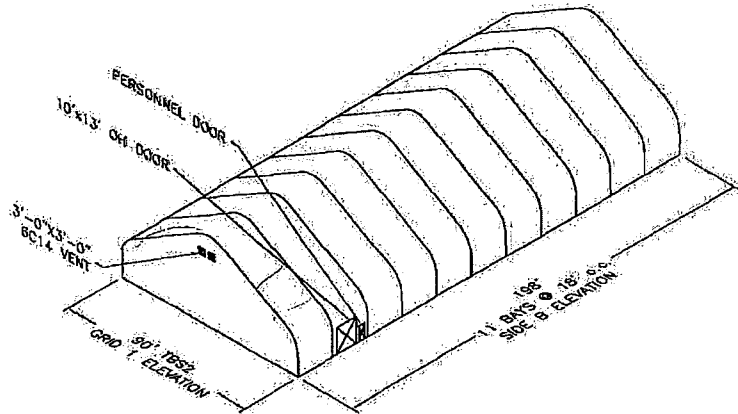


OFFICE: SUMMIT STRUCTURES US LLC  
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 PROJECT: WAREHOUSE  
 PROJECT ID: SBS 08-1015  
 ORDER ID: 88640

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 CHECKED BY:  
 DATE: 31 JUL 08  
 SCALE: N.T.S.

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 WEBSITE: www.summitstructures.com  
 FAX: 1-877-413-7182  
 E-MAIL: info@summitstructures.com  
 DRAWING TITLE: BASE PLATE LAYOUT  
 SHEET: FB-2  
 REVISION: 1

ALLIG 9.5 2008



ALL BAYS ARE: RIGHT SIDE FR WHITE, LEFT SIDE FR-GREEN - 4mil MAIN COLOR  
 BOTTOM TO TOP-OF-LEG FR SANDSTONE - 4mil UNLESS NOTED  
 COVER LINER: FR-WHITE  
 EndWall 1: HSS and Fabric FR SANDSTONE - 4mil  
 EndWall 2: HSS and Fabric FR SANDSTONE - 4mil  
 ENDWALL LINERS: FR-WHITE  
 PLEASE REFER TO FOLLOWING DRAWINGS  
 FOR EXACT BUILDING DIMENSIONS

REV.	DESCRIPTION	BY	DATE
1	RELEASED	SS	31 JUL 08



OFFICE: SUMMIT STRUCTURES US LLC

CUSTOMER: RATNA LING DHARMA  
 PUBLISHING  
 CAZADERO, CA  
 WAREHOUSE

PROJECT ID: SBS 08-1015  
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 DATE: 31 JUL 08

CHECKED BY:  
 DATE:

SCALE: N.T.S.



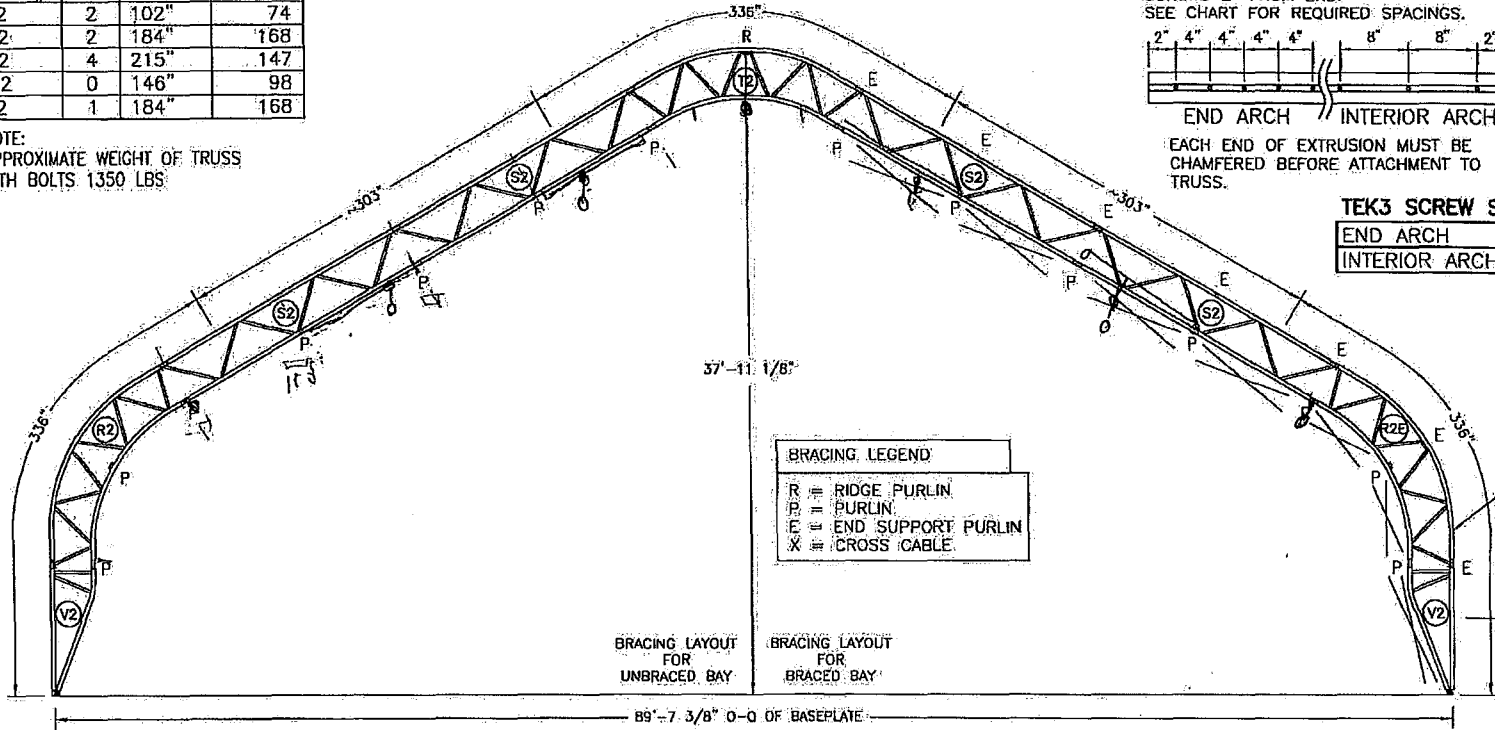
PH: 1-877-413-7187 FAX: 1-877-413-7188  
 WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com

DRAWING TITLE: PROJECT LAYOUT  
 DWG # FB-3  
 REVISION 1

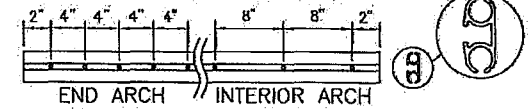
AUG 25 2008

MARK#	QTY	LENGTH	WEIGHT
V2	2	102"	74
R2	2	184"	168
S2	4	215"	147
W2	0	146"	98
T2	1	184"	168

NOTE:  
APPROXIMATE WEIGHT OF TRUSS  
WITH BOLTS 1350 LBS.



USE TEK3 X 1 1/4" SELF DRILLING  
SCREWS 2" FROM END.  
SEE CHART FOR REQUIRED SPACINGS.



END ARCH INTERIOR ARCH  
EACH END OF EXTRUSION MUST BE  
CHAMFERED BEFORE ATTACHMENT TO  
TRUSS.

TEK3 SCREW SPACING	O.C.
END ARCH	4"
INTERIOR ARCH	8"

BRACING LEGEND

R	==	RIDGE PURLIN
P	==	PURLIN
E	==	END SUPPORT PURLIN
X	==	CROSS CABLE

BRACING LAYOUT FOR UNBRACED BAY  
BRACING LAYOUT FOR BRACED BAY

R2E REQUIRED ON END TRUSS ONLY

FIELD CUT FOR PANEL PULL AS REQ'D (APPROX 4'-0")

ITEM #	20	19	18	17	16	15	14	13	12	11	10
VALING SBS *-9	253	242	231	220	208	199	190	178	169	159	149
BEHALF SBS *-9	244	232	221	209	198	187	176	165	154	144	133
BEHALF SBS *-9	253	242	231	220	209	199	190	178	169	159	149
VAL TRUSS SBS *-9	287	256	246	236	226	217	207	198	188	181	173
CE TRUSS SBS *-9	241	229	218	208	195	183	172	161	150	138	128

REV.	DESCRIPTION	BY	DATE
1	RELEASED	SS	31 JUL 08

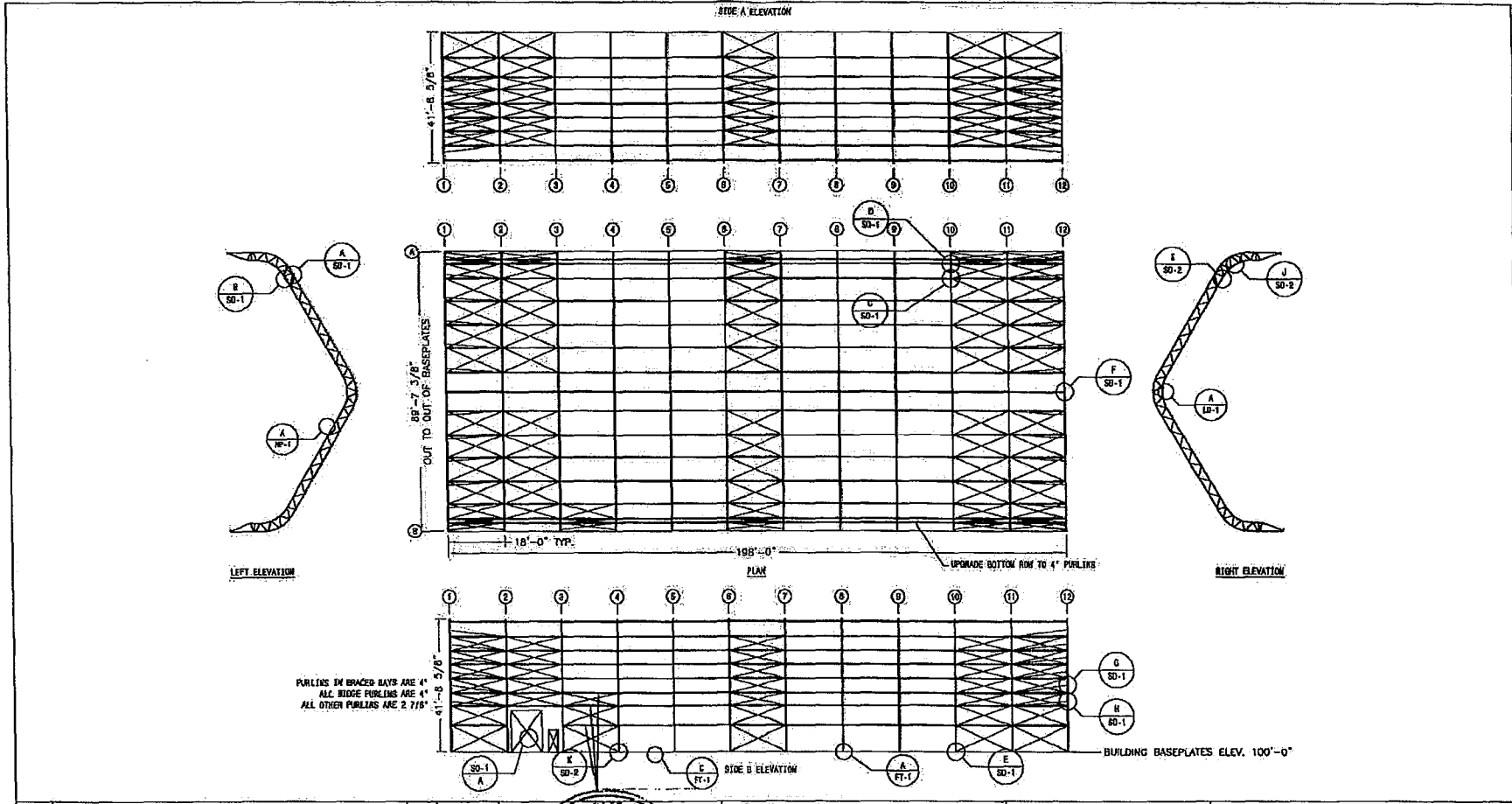


OFFICE: SUMMIT STRUCTURES US LLC  
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 PROJECT: WAREHOUSE  
 PROJECT ID: SBS 08-1015  
 ORDER ID: 88640

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 DRAWING TITLE: BUILDING PROFILE  
 SHEET: FB-4  
 REVISION: 1

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PURLINS IN BRACED BAYS ARE 4"  
ALL RIDGE PURLINS ARE 4"  
ALL OTHER PURLINS ARE 2 7/8"

UPGRADE BOTTOM ROW TO 4" PURLINS

BUILDING BASEPLATES ELEV. 100'-0"

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 PROJECT ID: SBS 08-1015  
 ORDER ID: B8640

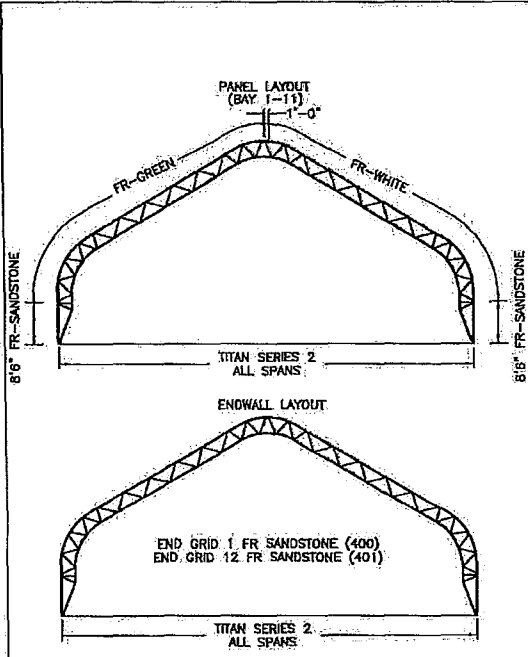
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 DRAWING TITLE: BRACING LAYOUT  
 SHEET NO: FB-5  
 REVISION: 1

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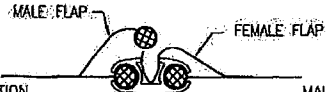
**NOTE:**  
IF YOU MUST PULL OPPOSITE OF SHOWN, YOU NEED TO RE-FOLD FABRIC TO GAIN ACCESS TOP PULL POCKETS.  
(WITHOUT THE X MARKS)

**IMPORTANT:**  
BAY 1 IS ALWAYS BAY 1, NO MATTER WHICH DIRECTION YOU NEED TO PULL.

**LEFT SIDE OF BUILDING**

FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE
(200) FR-GREEN	(201) FR-GREEN	(202) FR-GREEN	(202) FR-GREEN	(202) FR-GREEN	(202) FR-GREEN	(202) FR-GREEN	(202) FR-GREEN	(202) FR-GREEN	(202) FR-GREEN	(202) FR-GREEN	(202) FR-GREEN
MALE PULL	FEMALE PULL	FEMALE PULL	MALE PULL	FEMALE PULL	MALE PULL	FEMALE PULL	MALE PULL	FEMALE PULL	MALE PULL	FEMALE PULL	MALE
FR-WHITE	FR-WHITE	FR-WHITE	FR-WHITE	FR-WHITE	FR-WHITE	FR-WHITE	FR-WHITE	FR-WHITE	FR-WHITE	FR-WHITE	FR-WHITE
FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE	FR-SANDSTONE
BAY 1 X	BAY 2 X	BAY 3 X	BAY 4 X	BAY 5 X	BAY 6 X	BAY 7 X	BAY 8 X	BAY 9 X	BAY 10 X	BAY 11 X	

X MARKS END OF PANEL TO BE PULLED FIRST  
**RIGHT SIDE OF BUILDING**



STANDARD FABRIC ORIENTATION  
FOR WEATHER-TIGHT EXTRUSION

MALE FLAP = WITH KEEDER  
FEMALE FLAP = FABRIC ONLY

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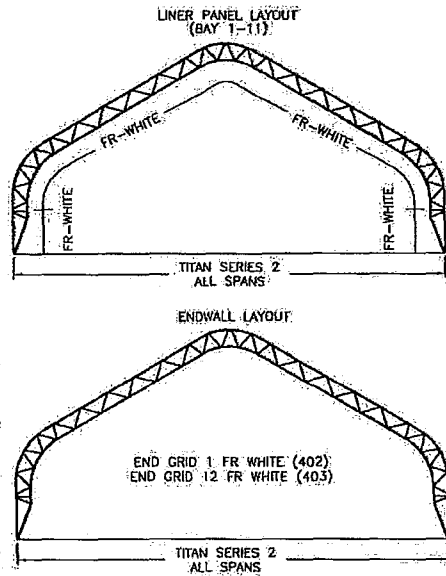
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 WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com  
 DRAWING TITLE: FABRIC LAYOUT  
 DWG #: FB-6  
 REVISION: 1

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NOTE:  
IF YOU MUST PULL OPPOSITE OF SHOWN, YOU NEED TO RE-FOLD FABRIC TO GAIN  
ACCESS TO PULL POCKETS. (WITHOUT THE X MARKS)

IMPORTANT:  
BAY 1 IS ALWAYS BAY 1, NO MATTER WHICH DIRECTION YOU NEED TO PULL.

LEFT SIDE OF BUILDING



	(203) FR-WHITE	(205) FR-WHITE	FR-WHITE (207)	(204) FR-WHITE	(204) FR-WHITE	(204) FR-WHITE	(204) FR-WHITE	(204) FR-WHITE	(204) FR-WHITE	(204) FR-WHITE	(203) FR-WHITE
	MALE PULL	MALE FEMALE		MALE FEMALE	MALE FEMALE	MALE FEMALE	MALE FEMALE	MALE FEMALE	MALE FEMALE	MALE FEMALE	MALE FEMALE
			FR-WHITE (206)						FR-WHITE (207)		
BAY 1	X	X	X	X	X	X	X	X	X	X	X
BAY 2											
BAY 3											
BAY 4											
BAY 5											
BAY 6											
BAY 7											
BAY 8											
BAY 9											
BAY 10											
BAY 11											

X MARKS END OF PANEL TO BE PULLED FIRST

RIGHT SIDE OF BUILDING



STANDARD FABRIC ORIENTATION  
FOR WEATHER-TIGHT EXTRUSION

MALE FLAP = WITH KEEDER  
FEMALE FLAP = FABRIC ONLY

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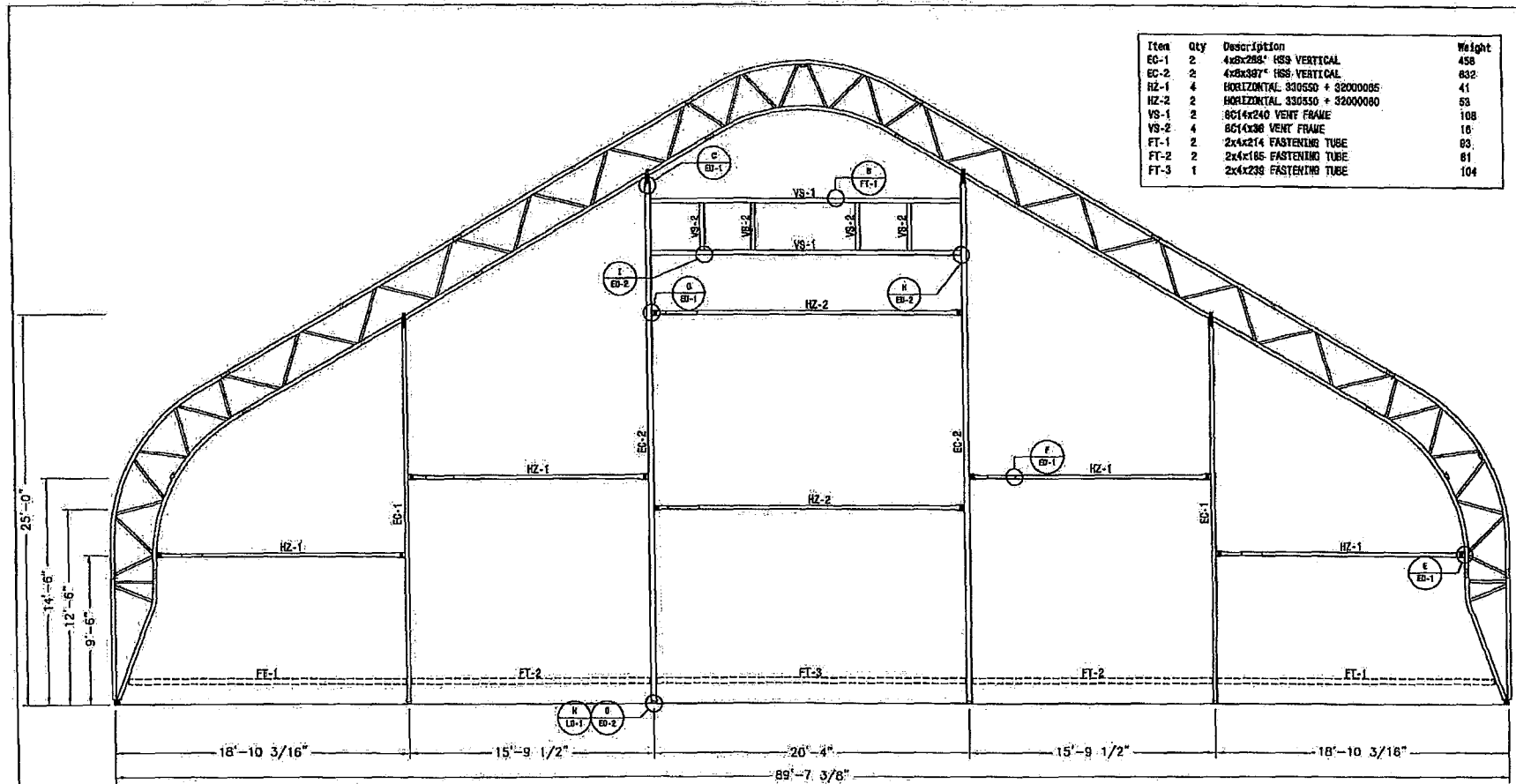


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 PROJECT:  
 PROJECT ID: SBS DB-1015  
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 DRAWING TITLE: LINER FABRIC DETAILS  
 FB-7 1

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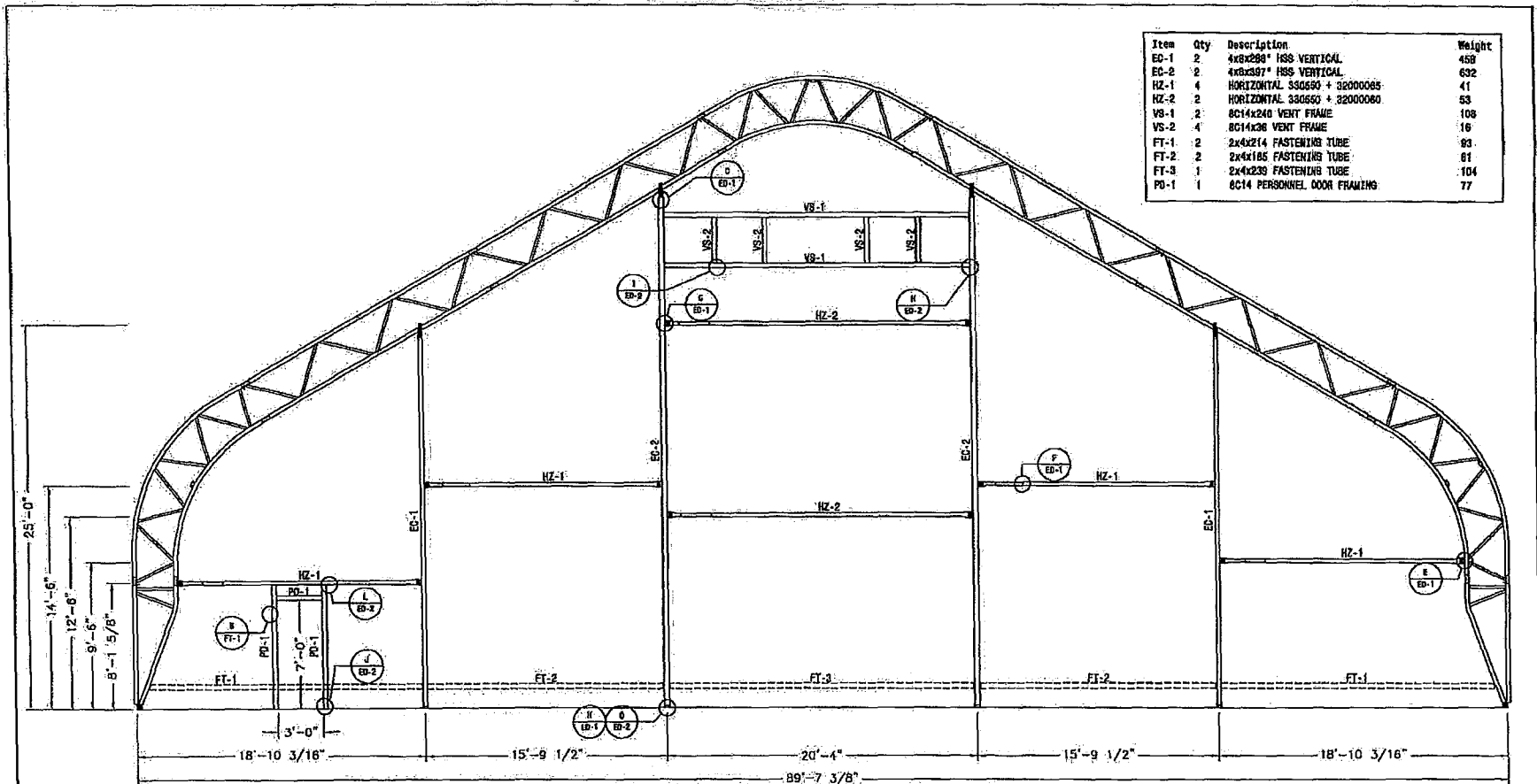


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 DWG #: EW-1  
 REVISION: 1

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Item	Qty	Description	Weight
EB-1	2	4x8x200" HSS VERTICAL	450
EB-2	2	4x8x397" HSS VERTICAL	632
HZ-1	4	HORIZONTAL 330650 + 32000065	41
HZ-2	2	HORIZONTAL 330650 + 32000060	53
VS-1	2	8C14x240 VENT FRAME	108
VS-2	4	8C14x36 VENT FRAME	16
FT-1	2	2x4x214 FASTENING TUBE	83
FT-2	2	2x4x165 FASTENING TUBE	81
FT-3	1	2x4x239 FASTENING TUBE	104
PD-1	1	6C14 PERSONNEL DOOR FRAMING	77

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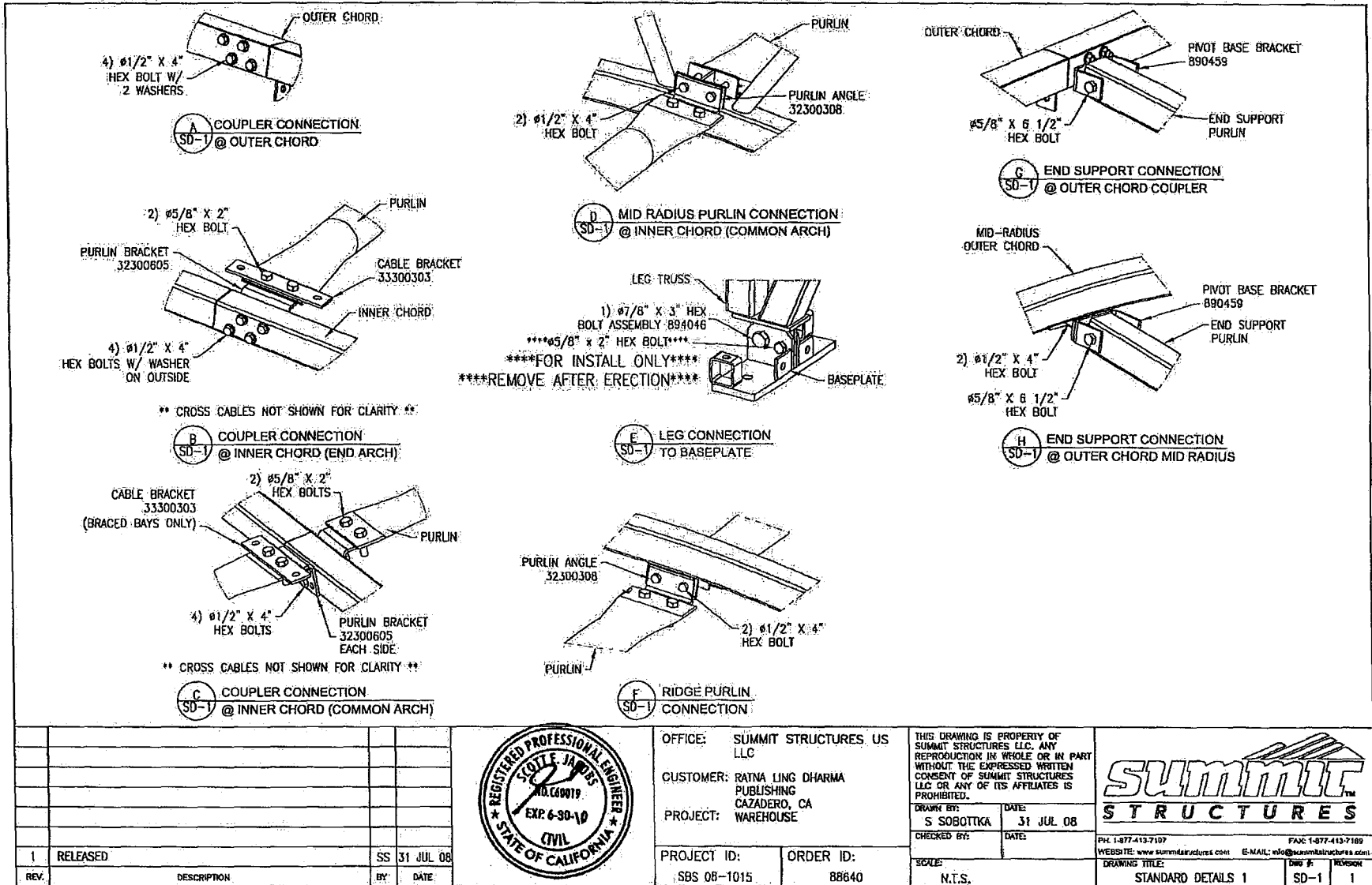


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 DRAWING TITLE: ENDWALL 2  
 DWG # EW-2  
 REVISION 1

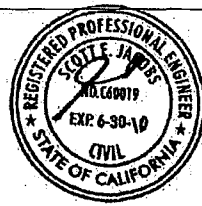
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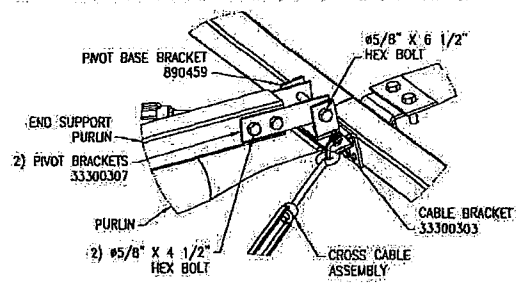
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WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com

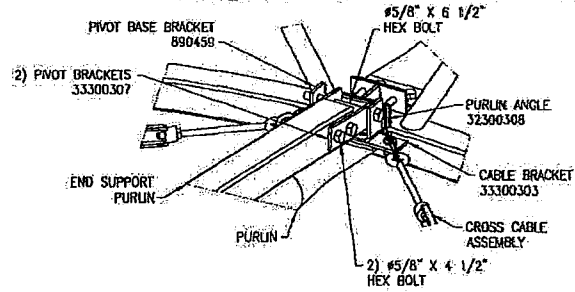
DRAWING TITLE: STANDARD DETAILS 1

REV: SD-1

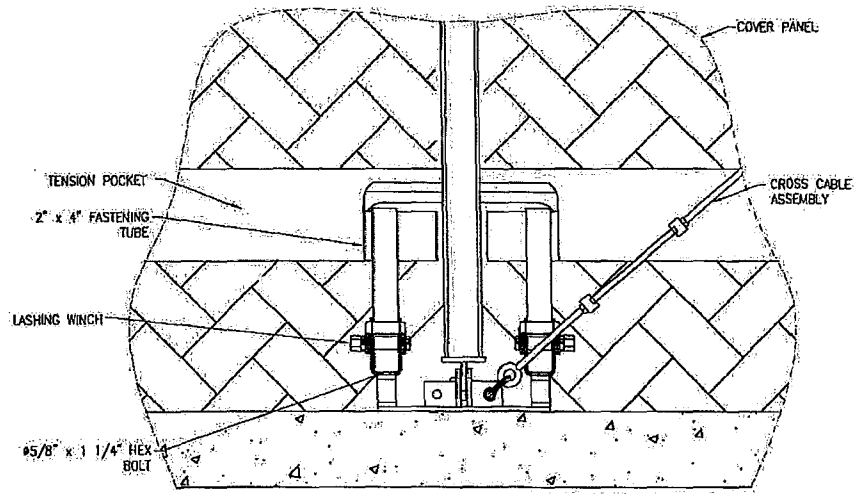
REVISION: 1



I END SUPPORT CONNECTION @ INNER CHORD COUPLER  
SD-2



J END SUPPORT CONNECTION @ INNER CHORD MID-RADIUS  
SD-2



K FABRIC TENSION AND CABLE CONNECTION @ BASEPLATES  
SD-2

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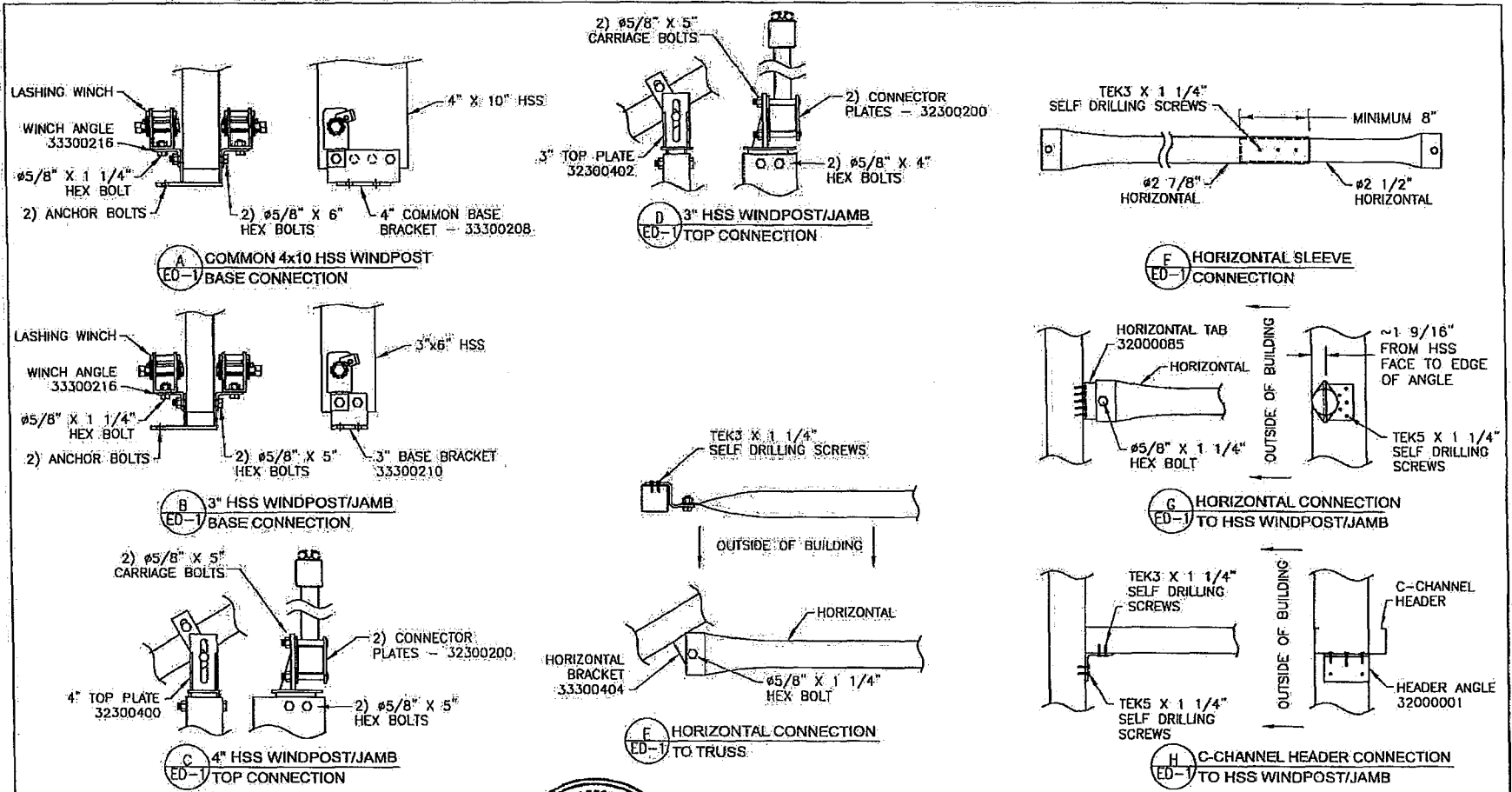
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 PROJECT: WAREHOUSE  
 PROJECT ID: SBS 08-1015  
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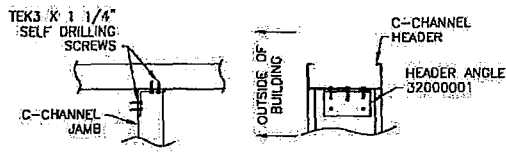
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 DATE: 31 JUL 08

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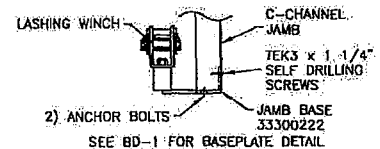
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 Website: www.summitstructures.com E-MAIL: info@summitstructures.com

DRAWING TITLE: ENDWALL DETAILS 1  
 DWD #: ED-1  
 REVISION: 1

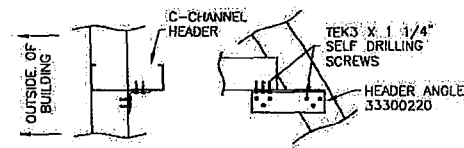
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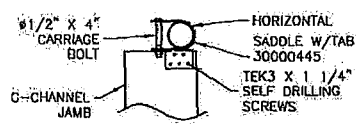
**I** C-CHANNEL JAMB CONNECTION TO C-CHANNEL HEADER  
ED-2



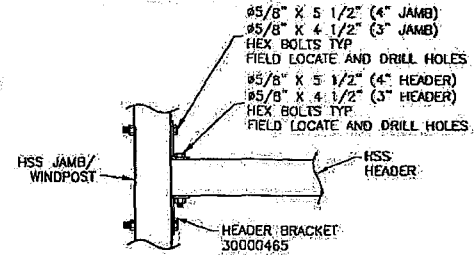
**J** C-CHANNEL JAMB BASE CONNECTION  
ED-2



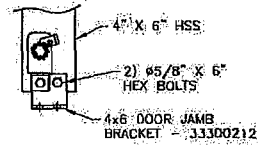
**K** C-CHANNEL HEADER CONNECTION TO TRUSS  
ED-2



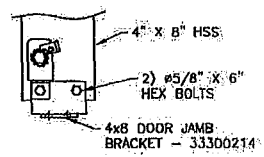
**L** C-CHANNEL JAMB CONNECTION TO HORIZONTAL  
ED-2



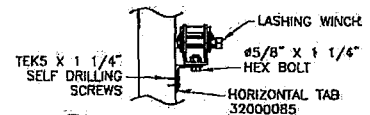
**M** HSS HEADER CONNECTION TO HSS JAMB/WINDPOST  
ED-2



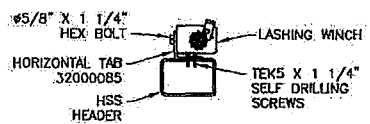
**N** 4x6 HSS WINDPOST BASE CONNECTION  
ED-2



**O** 4x8 HSS WINDPOST BASE CONNECTION  
ED-2



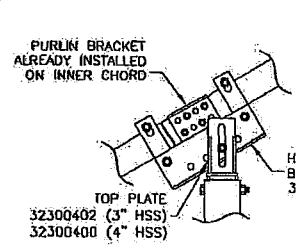
**P** LASHING WINCH CONNECTION TO HSS WINDPOST  
ED-2



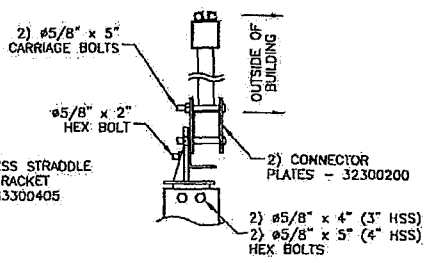
**Q** LASHING WINCH CONNECTION TO HSS HEADER  
ED-2



**R** LASHING WINCH CONNECTION TO C-CHANNEL HEADER  
ED-2

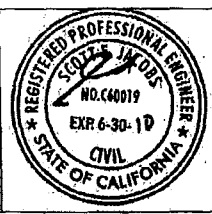


INSIDE VIEW



**S** SERIES 2 STRADDLE BRACKET CONNECTION TO TRUSS  
ED-2

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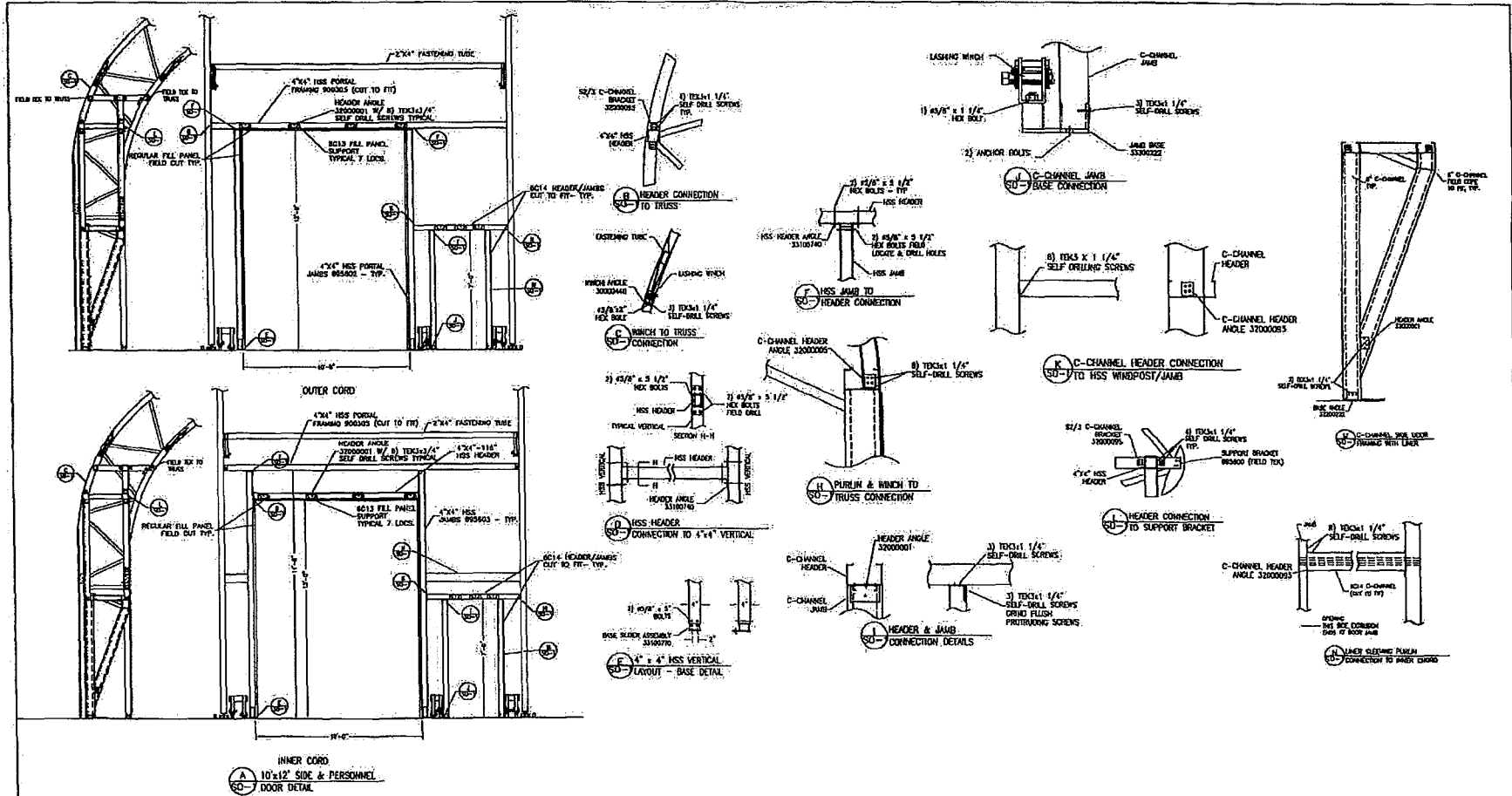
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 SHEET NO: ED-2  
 REV: 1

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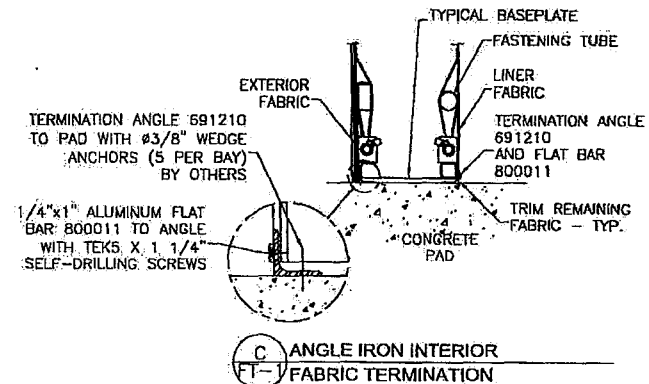
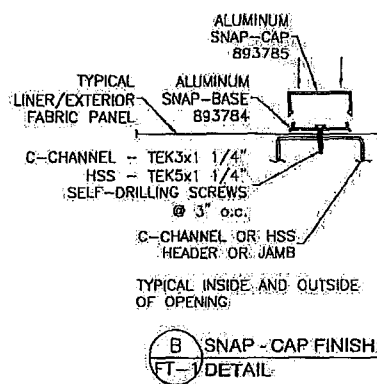
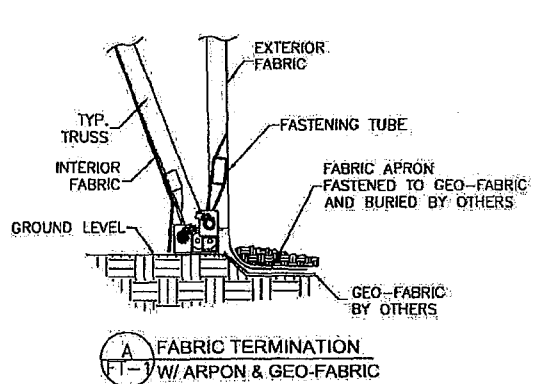
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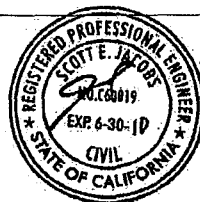
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 FAX: 1-877-413-7189  
 DRAWING TITLE: SIDE OH DOOR DETAIL  
 DWG # : SO-1  
 REVISION : 1





PLEASE REFER TO FOLLOWING DRAWINGS FOR EXACT BUILDING DIMENSIONS

REV.	DESCRIPTION	BY	DATE
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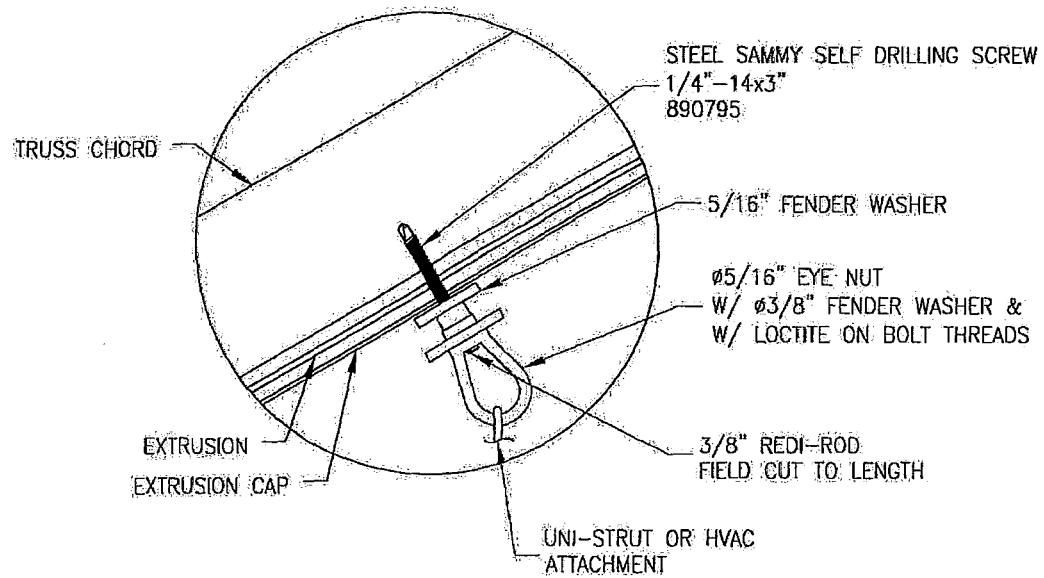
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 SHEET #: FT-1  
 REVISION: 1

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A TYPICAL HANGING  
HP-1 POINT ON TRUSS

NOTE  
 HANGING POINT MUST FALL  
 ON THE TRUSS GRIDLINE

MAX LOAD T.B.D.

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					CUSTOMER: RATNA LING DHARMA PUBLISHING CAZADERO, CA	DRAWN BY: S SOBOTKA	DATE: 31 JUL 08			
					PROJECT: WAREHOUSE	CHECKED BY:	DATE:	PH: 1-877-413-7197	FAX: 1-877-413-7197	
					PROJECT ID: SBS 08-1015	ORDER ID: 88640	SCALE: N.T.S.	WEBSITE: <a href="http://www.summitstructures.com">www.summitstructures.com</a>	E-MAIL: <a href="mailto:info@summitstructures.com">info@summitstructures.com</a>	
1	RELEASED		SS	31 JUL 08				DRAWING TITLE: HANGING POINT DETAIL	DWG #: HP-1	REVISION: 1
REV.	DESCRIPTION		BY	DATE						

AUG 25 2008

**From:** Nathan Stobbe [<mailto:nstobbe@havenbuilders.ca>]  
**Sent:** Wednesday, December 18, 2013 12:24 PM  
**To:** 'Vern Losh'  
**Subject:** RE: Nathan Stobbe

Vern,

Thanks for sending this through. Obviously, I have no ability to follow the flow through from the order through to the manufacturing floor. However, what I get from the Letter of Intent is that the exterior fabric would be the Duraweave FR and the liner fabric is as well. Since this building is lined, (has fabric on the inside and outside of the trusses, any labels that are on it would underside of the fabric or in the truss cavity between the two fabric levels. It is unfortunate that there is not any more information available like a signed contract etc. Hopefully you are able to find the labels on the fabric.

Thanks  
Nathan

**Nathan Stobbe**  
**Haven Builders Inc**  
829 – 46<sup>th</sup> St West  
Saskatoon, SK  
S7L 7C5  
Office: 306 382 3667  
Fax: 306 382 3697  
Cell: 306 251 1044  
Email: [nstobbe@havenbuilders.ca](mailto:nstobbe@havenbuilders.ca)  
Website: [www.havenbuilders.ca](http://www.havenbuilders.ca)

**From:** Vern Losh [<mailto:vlosh@aol.com>]  
**Sent:** December-18-13 1:29 PM  
**To:** 'Nathan Stobbe'  
**Subject:** RE: Nathan Stobbe

Nathan,

Thank you very much for taking the time to speak with me today. I appreciate any thing that you can do for us. I have attached a copy of the "Letter of Intent". I will also look to get a full copy of it for your review.

Vern

Vern Losh  
1306 Creekside Court  
Healdsburg, CA 95448  
707.540.2929

**From:** Nathan Stobbe [<mailto:nstobbe@havenbuilders.ca>]  
**Sent:** Wednesday, December 18, 2013 10:50 AM

**To:** 'Vern Losh'  
**Subject:** RE: Nathan Stobbe

Vern,

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Website: [www.havenbuilders.ca](http://www.havenbuilders.ca)

**From:** Vern Losh [<mailto:vlosh@aol.com>]  
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**To:** [yourhome@havenbuilders.ca](mailto:yourhome@havenbuilders.ca)  
**Subject:** Nathan Stobbe

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I am looking for a gentleman named Nathan Stobbe that previously worked for Summit Structures or Cover-All. I found that name attached to your company.

Is this the correct Nathan?

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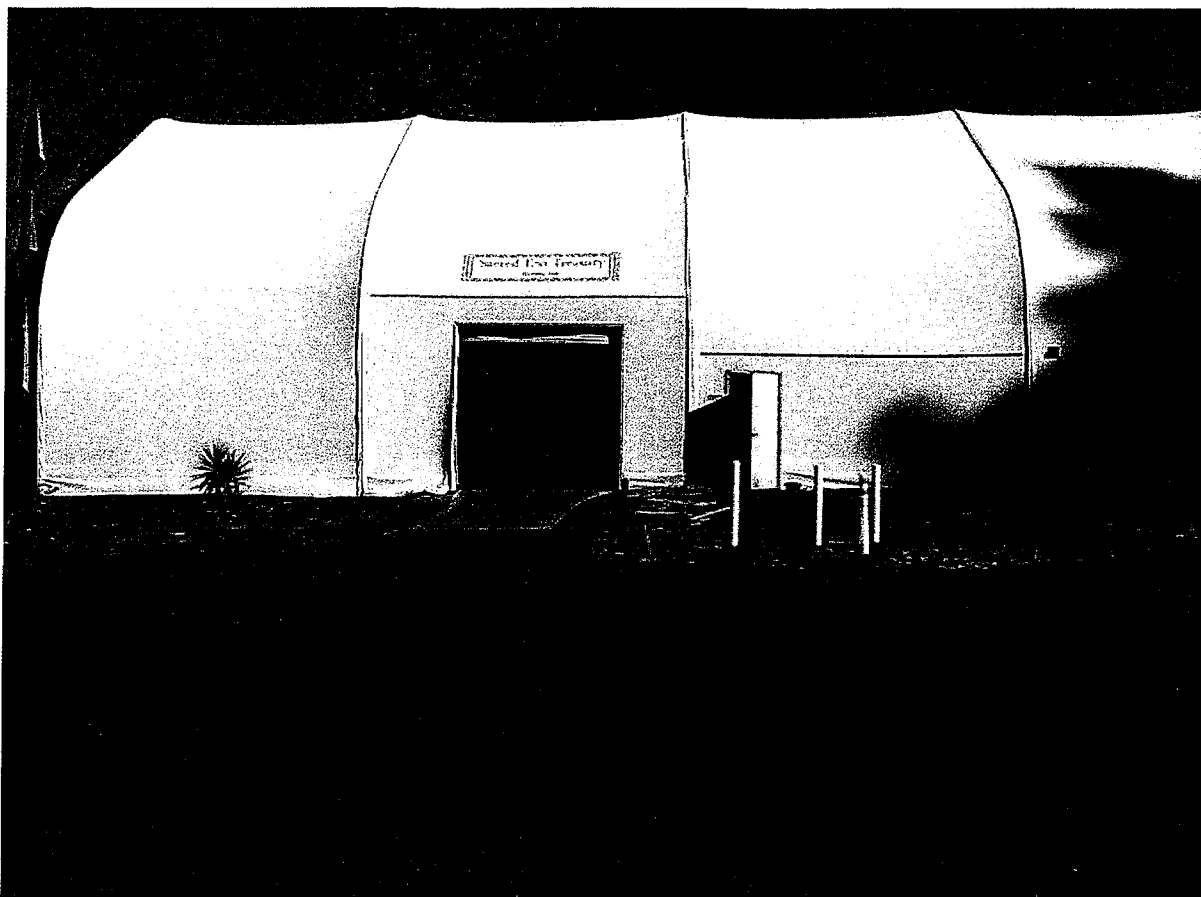
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Healdsburg, CA 95448  
707.540.2929

**RATNA LING TENT STRUCTURES**  
**Photos of Tent Structure Nos. 2, 3 and 4**



TENT STRUCTURE NO. 2



TENT STRUCTURES 3 AND 4

RECEIVED @ PRMD 1-21-14  
CW



# Ratna Ling Retreat Center

35755 Hauser Bridge Road  
Cazadero, California, 95421  
Telephone: (888) 944-3777  
[www.ratnaling.org](http://www.ratnaling.org)

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## RATNA LING MEMBRANE STRUCTURES

## DOCUMENTATION

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Submitted: January 21, 2014



**Table of contents:**

- 1. Duraweave FR meets the requirements of NFPA 701**
- 2. Sacred text treasury 2 is covered with Duraweave FR**
- 3. Sacred text treasury 3 is covered with Duraweave FR**
- 4. Sacred text treasury 4 is covered with Duraweave FR**
- 5. Building, and Sprinkler Inspection reports (finaled)**

# SECTION 1

## **FLAME RESISTANCE OF COVERINGS USED ON SACRED TEXT TREASURIES**

Sacred text treasury one meets the requirements of NFPA 701 and is registered with the California State Fire Marshal (# F444.08) Please see attached Certificate of Flame Resistance

Sacred text treasuries 2,3,4 are covered with Duraweave FR which also meets the requirements of NFPA 701 and is registered as a flame resistant product with the California State fire Marshal as FRU88X-6 (4-Mil) Registration # F-51405

Duraweave FR is a trade name for a fabric used by Summit Structures a division of COVER-ALL to cover the structures sold to Rata Ling. Duraweave and Duraweave FR are manufactured by Engineered Coated Products (a division of Intertape Polymer Group) as RU88x-6 4 mil and FRU88x-6 4 mill  
FRU88X-6 4 mill has been tested by an independent materials testing laboratory and proven to pass the requirements of NFPA 701 both small and large scale and is a REGISTERED FLAME RESISTANT PRODUCT included in the current edition of the California state fire marshal active records of flame retardant fabrics

### **Attachments:**

**Certificate of flame resistance F444.08**

**Duraweave FR specifications**

**Duraweave specifications -4 mil**

**Registered flame resistant product F-51405**

**List of active registered flame resistant products**

**Laboratory report testing to NFPA 701 small scale**

**Laboratory report testing to NFPA 701 large scale**



# Certificate of Flame Resistance

Registered No  
F444.08

Mahaffey Fabric Structures  
4161 Delp Street  
Memphis, TN 38118  
800-245-8368

Manufactured Date  
1975

This is to certify that the materials described below have been flame retardant treated (or are inherently nonflammable).

For: Ratna Ling Retreat Center Address 1: 35755 Hauser Bridge Road  
City: Cazadero State, Zip: CA, 95421-9611

Certification is hereby made that: (Check "a" or "b")

(a) The articles described below have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.

Name of Chemical: \_\_\_\_\_ Chem. Registered No.: \_\_\_\_\_  
Method of Application: \_\_\_\_\_

(b) The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use, and are equal to or exceed NFPA 701, CPAI 84, ULC 109.

*The flame retardant process used will not be removed by washing.*

FERRARI TEXTILE CORPORATION Signed: [Signature]  
Name of Applicator of Flame Resistant Finish Manufacturing Department - Mahaffey Fabric Structures

Description: #702 Ferrari Opaque Blockout Vinyl for: (1) 10Mx25Mx5M clearspan fabric structure (top and sides)  
Serial Numbers: E125210C (1)

# DuraWeave<sup>®</sup> FR

## Strength & Durability

DuraWeave<sup>®</sup> FR is a heavyweight fabric with 4 mil coatings, used for applications requiring flame retardancy and ultraviolet stability. The scrim, which is the woven part of the material, is constructed of individual tapes. The unique composition of the tapes and how they are woven together gives DuraWeave<sup>®</sup> FR its tremendous rip, tear and puncture strength. The specialized 4 mil coatings provide a more uniform and thicker protection layer for the scrim, increasing ultraviolet protection. The thicker coatings are more resistant to abrasion damage during both fabrication and installation of the covering, making it less likely to crack and allow water penetration than the standard coating used by competitors. There is also a wider range of acceptable operating conditions for welding and greater adhesion of the coatings to the scrim. DuraWeave<sup>®</sup> FR covers come with a 10-year pro rata warranty.

## Safe & Environmentally Friendly

No toxic chemicals are used in the production of DuraWeave<sup>®</sup> FR. All scraps and used covers are 100 percent recyclable.

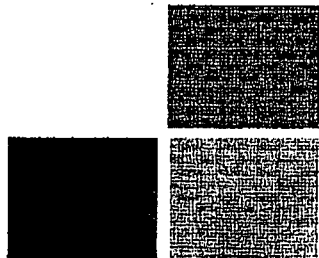
## Bright Atmosphere

DuraWeave<sup>®</sup> FR covers provide an exceptionally bright and pleasant interior atmosphere. Natural light penetrates the fabric while the unique composition of the tapes ensures it remains pliable and resistant to ultraviolet damage. The DuraWeave<sup>®</sup> FR fabric is thermally non-conductive ensuring a building which is warmer in the winter and cooler in the summer. The fabric is available in a variety of attractive colors, all featuring a bright white underside that further enhances the interior brightness. If you need to block the light, DuraWeave<sup>®</sup> Blackout fabric is available. This high quality fabric, with 6 mil coatings (specs available upon request), provides total ultraviolet resistance.

## The Best in the Business

As North America's leading manufacturer of fabric-covered buildings, Cover-All Building Systems has partnered with Intertape Polymer Group, a leader in the fabric industry, to develop the finest heavyweight polyolefin fabrics on the market today. Cover-All's commitment to ongoing product improvement and the desire to provide a strong, durable and cost-effective alternative to existing cover fabrics led to the development of the DuraWeave<sup>®</sup> line of products, manufactured by Intertape exclusively for Cover-All.

## DuraWeave<sup>®</sup> FR Colors



Colors may not be exactly as shown here. Contact your local Cover-All Dealer for actual fabric samples.

## DuraWeave<sup>®</sup> FR Specifications

Waves:	16 x 16 ppi woven flame retardant HDPE scrim	
Coating Thickness:	4.0 mils average each side (94 g/m <sup>2</sup> )	
Coating Composition:	Modified LDPE coating with UV protection	
Weight:	12.5 oz/yd <sup>2</sup> (373 g/m <sup>2</sup> ) +/- 5%	
Thickness:	23 mils (0.635 mm)	ASTM D5199
Hydrostatic Resistance Method:	171 psi (1190 kPa)	ASTM D751A
Grab Tensile:	Warp: 340 lbs. (1511 N)	ASTM D5034
	Weft: 340 lbs. (1511 N)	ASTM D5034
Strip Tensile:	Warp: 250 lbs. (1112 N)	ASTM D5035
	Weft: 250 lbs. (1112 N)	ASTM D5035
Tongue Tear:	Warp: 115 lbs. (511 N)	ASTM D2261
	Weft: 115 lbs. (511 N)	ASTM D2261
Mullen Burst:	675 psi (4652 kPa)	ASTM D2786
Cold Crack:	Minus 60° C	ASTM D2136

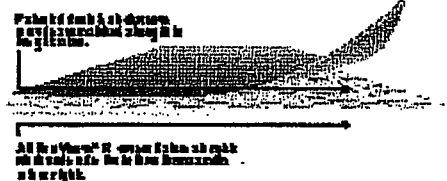
## DuraWeave<sup>®</sup> FR Fire Ratings

Test / Standard	Flame Spread	Smoke Developed	Char Length	Drip
NFPA - Large	---	---	5	No
NFPA - Small	---	---	4.5	No
ASTM E84	FS 10	SD 98	6.5	---
CANULC S109-M87	FS 5	SD170	---	No
CANULC S102-M98	FS 15	SD125	6.5	---
UBC 31-1	---	---	8.7	No

- Meets flame resistance established by California State Fire Marshall.
- The above fire retardant tests and ratings are based on surface spread of flame and smoke production during burning.

Copies of all certificates and test results can be found in the documents "Cover-All Component Testing", available from your local Cover-All Dealer.

## DuraWeave<sup>®</sup> FR Covers



**COVER-ALL**

COVER-ALL BUILDING SYSTEMS, INC. 10000 W. 10TH AVENUE, DENVER, CO 80202



## Duraweave Specifications – 4 mil

**Duraweave™ and Duraweave™ FR are manufactured by Engineered Coated Products™ (a division of Intertape Polymer Group™) as RU88x-6 4 mil and FRU88x-6 4 mil.**

### Common Specifications: Duraweave and Duraweave FR

Coating Thickness	4 mil (94g/m <sup>2</sup> ) average each side	
Total Fabric Weight	12.0 oz/yd <sup>2</sup> (407 g/m <sup>2</sup> ) +/- 5%	
Thickness	ASTM D-5199	23 mils (0.59 mm)
Grab Tensile	ASTM D-5034	Warp and Weft: 350 lb (1555N)
Tongue Tear	ASTM D-2261	Warp and Weft: 110 lb (489N)
Strip Tensile	ASTM D-5035	Warp and Weft: 240 lb/inch (2100 N/5cm)
Mullen Burst	ASTM D-3786	675 psi (4657 kPa)
Low Temp. Bend	ASTM D-2136	Pass: - 60° C (-76° F)
Light Transmission %	ASTM E-903	White/White: RU88x-6: 20.9% FRU88x-6: 11.4%
Water Vapor Transmission	ASTM E-96	0.038 grains/h/ft <sup>2</sup> /inHg (perms) 2.16 ng/Pa/s/m <sup>2</sup>
UV & Weathering	ASTM G-151	>90% strength retention after 2000 hrs @ 0.77 W/m <sup>2</sup> /nm
UV & Weathering	ASTM G-154	>90% strength retention after 1200 hrs @ 1.35 W/m <sup>2</sup> /nm
Biaxial Test	Summary	Test Results

### Fire Tests: FRU 88x-6 4 mil - Duraweave FR Fabric

Base Fabric	HDPE Scrim using FR inhibitors and UV protection		
Surface Type	Modified LDPE coating using FR inhibitors and UV protection		
California Fire Marshal	FA - 51405		
NFPA 701 - 1989 (Large Scale Test)	04-02-725(A)	Char: 1.4 in. Av.	Drip: No
NFPA 701 - 1989 ( Small Scale Test)	04-02-725(A)	Char: 3.5 in. Av.	Drip: No
ASTM E84-08	08-002-695	FSI: 10	SD: 110
NFPA 701 - 2004 Test Method 1	05-02-885(A)	Mass Loss: 4.7% Av.	Drip: No
NFPA 701 - 2004 Test Method 2	05-02-885(B)	Char: 76 mm (3in.) Av.	Drip: No
CAN/ULC S109-03 (Small Flame)	06-02-866	Char: 98 mm Av.	Drip: No
CAN/ULC S109-03 (Large Flame)	06-02-866	Char: 104 mm Av.	Drip: No
CAN/ULC S102-03	05-02-609	FSCI: 5	SD: 95
UBC 31-1	16421-108891	Char: 8.69 in. Av.	Drip: No
UL	Listed - R15076		
ULC	Listed - R20040		
Federal Standard 191 Method 5903	Pass		
BS 7837:1996	Pass		
BS 6341:1983	Pass		
BS 7157:1989	Pass		
BS 5867: Part 2: 1980	Pass		
EN 13501-1	Fire Behavior: B	Smoke: s1	Droplets: d0

### Fire Tests: RU 88x-6 4 mil - Duraweave NON FR Fabric

Base Fabric	HDPE Scrim with UV protection		
Surface Type	Modified LDPE coating with UV protection		
ASTM E84-01	03-02-586(A)	FSI: 10	SD: 65
CAN/ULC-S102-07	08-002-394	FSCI: 15	SD: 100

A characteristic revealed by these tests is the property of the fabric to be "self extinguishing". This means simply that the membrane material, though it will disintegrate in the presence of flame, cannot itself support combustion nor contribute fuel to a fire. If the source of the fire is removed the fabric will self extinguish and combustion will cease.

Other characteristics and properties of the Duraweave fabric are as per the MSDS (Material Safety Data Sheets) and Resistance to Chemicals documents.



5

**CALIFORNIA DEPARTMENT OF FORESTRY and FIRE PROTECTION  
OFFICE OF THE STATE FIRE MARSHAL**

**REGISTERED FLAME RESISTANT PRODUCT**

**Product:**

**FRU88X-6 (4 MIL)**

**Registration No.**

**F-51405**

**Product Marketed By:**

**INTERTAPE POLYMER GROUP**

**50 ABBEY AVENUE**

**TRURO NOVA SCOTIA CANADA B2N 6W4**

This product meets the minimum requirements of flame resistance established by the California State Fire Marshal for products identified in Section 13115, California Health and Safety Code.

The scope of the approved use of this product is provided in the current edition of the **CALIFORNIA APPROVED LIST OF FLAME RETARDANT CHEMICALS AND FABRICS, GENERAL AND LIMITED APPLICATIONS CONCERNS** published by the California State Fire Marshal.

A handwritten signature in black ink, appearing to be 'D. J. ...', is written over a horizontal line.

**Deputy State Fire Marshal**

**Expire: 6/30/2014**

FR-6

CALIFORNIA STATE FIRE MARSHAL  
FLAME RETARDANTS - FABRICS  
LIST OF ACTIVE RECORD(S). (BY ALPHABETICAL ORDER)

ID NO.	COMPANY MAIL ADDRESS CITY/STATE/ZIP	COMPANY LOCATION CITY/STATE/ZIP TELEPHONE	ORG. LIST	APPL. NAME PROD. CHAR LABEL	STATUS	RENEWAL DATE EXPIRES DATE ROC NUMBER
{F-514.02 }	INTERTAPE POLYMER GROUP 50 ABBEY AVE/P O BOX 868	50 ABBEY AVE/P O BOX 868 TRURO NOVA SCOTIA CANADA B2N-5-4 (902) 895-1684	12/09/1996	NOVA THERM FR 7H WOVEN POLYETHYLENE	A	06/26/2007 06/30/2008 027035
SHERYL ISEHOR	TRURO NOVA SCOTIA CANADA B2N-5-6					
{F-514.05 }	INTERTAPE POLYMER GROUP 50 ABBEY AVE/P O BOX 868	50 ABBEY AVE/P O BOX 868 TRURO NOVA SCOTIA CANAD (902) 565-1450	01/14/2002	FRUBOK-6 (4 MIL)	A	06/26/2007 06/30/2008 027035
DAVID MARTIN	TRURO NOVA SCOTIA CANAD					
{F-514.08 }	INTERTAPE POLYMER GROUP 50 ABBEY AVE.	50 ABBEY AVE. TRURO NOVA SCOTIA CANADA B2N-6W4 (902) 895-1684	08/16/2006	FRUBOK-6,6 MIL EXTRUSION COATED POLYETHYLENE	A	06/26/2007 06/30/2008 027035
SHERYL ISEHOR	TRURO NOVA SCOTIA CANADA B2N-6W4					
{F-514.07 }	INTERTAPE POLYMER GROUP 50 ABBEY AVE/P O BOX 868	50 ABBEY AVE/P O BOX 868 TRURO NOVA SCOTIA CANADA B2N-5-6 (902) 895-1684	01/22/2004	FRUB-6 WOVEN HDPE TAPES	A	06/26/2007 06/30/2008 027035
DAVID MARTIN/CHERYL ISEHO	TRURO NOVA SCOTIA CANADA B2N-5-6					
23.01	JOHN BOYLE & COMPANY P.O. BOX 791	P.O. BOX 791 STATESVILLE, NC 28687 (704) 872-8151	08/07/2007	DICRON STRUCTURE FABRIC 20% POLYESTER / 80% PVC	A	08/07/2007 06/30/2008
DAN SINTO	STATESVILLE, NC 28687					
{F-121.02 }	JOHN BOYLE AND COMPANY, INC. PO BOX 791	PO BOX 791 STATESVILLE, NC 28677 (800) 438-1061	07/01/1988	PAT10 LAMINATED POLYESTER PVC	A	05/22/2007 06/30/2008 26869
SANDY BEARD	STATESVILLE, NC 28677					
{F-121.08 }	JOHN BOYLE AND COMPANY, INC. PO BOX 791	PO BOX 791 STATESVILLE, NC 28687 (704) 872-8151	07/02/1985	MAIN STREET DIGITAL INTERIOR/EXTERIOR	A	05/22/2007 06/30/2008 26869
SANDY BEARD	STATESVILLE, NC 28687					
{F-121.10 }	JOHN BOYLE AND COMPANY, INC. PO BOX 791	PO BOX 791 STATESVILLE, NC 28687 (704) 872-8303	02/25/2002	RIG TOP 20% POLYESTER	A	05/22/2007 06/30/2008 26869
WALTER COMINE	STATESVILLE, NC 28687					



**Bodycote Ortech**

NFPA 701 Small Scale Flame Resistance of "FRU88X-6" Fabric  
For: Intertape Polymer Inc.

Page 1 of 2

Report No. 99-J52-92-82-29

**ACCREDITATION** Standards Council of Canada, Registration #1.

**REGISTRATION** ISO 9002-1994, registered by QML, Registration #001109.

**SPECIFICATIONS OF ORDER**

Determine the flame resistance in accordance with the NFPA 701 - 1989 Small Scale Test, as per your P.O. # P008983.

**IDENTIFICATION** (Bodycote Ortech Inc. identification number 99-J52-S0029)  
Woven polyolefin fabric identified as "FRU88X-6", 4 mil

**TEST RESULTS** NFPA 701 -1989 Small Scale Test

Tested as-received and in single sheet configuration

	Char Length (inches)	Afterflame Time (s)	Flaming Drips?
1:	4.5	0.0	No
2:	4.0	0.0	No
3:	3.9	0.0	No
4:	3.8	0.0	No
5:	3.8	0.0	No
6:	4.5	0.0	No
7:	4.2	0.0	No
8:	4.0	0.0	No
9:	4.4	0.0	No
10:	4.5	0.0	No
Average:	4.2		
Maxima Specified by	4.5		(average)
NFPA 701 Small Scale Test:	5.5	2.0	No
(individual)	(above flame tip)		

**CONCLUSIONS**

When tested in the as-received condition, the polyolefin fabric identified in this report meets the flammability requirements of the NFPA 701 - 1989 Small Scale Test.

Richard J. Lederle  
Fire Testing Services

E.W. Simmons  
Fire Testing Services

*This report refers only to the particular samples, units, material, instrument, or subject used and referred to in it, and is limited by the tests and/or analyses performed. Similar articles may not be of like quality, and other testing and/or analysis programs might be desirable and might give different results.*

**Bodycote Ortech**

NFPA 701 Large Scale Flame Resistance of "FRU88X-6" Fabric  
For: Intertape Polymer Inc.

Page 1 of 2

Report No. 00-02-330(A)

**ACCREDITATION** Standards Council of Canada, Registration #1.

**REGISTRATION** ISO 9002-1994, registered by QMI, Registration #001109.

**SPECIFICATIONS OF ORDER**

Determine the flame resistance in accordance with the NFPA 701 - 1989 Large Scale Test, as per your P.O. # P008983.

**IDENTIFICATION** (Bodycote Ortech Inc. identification number 00-02-S0330-1)

Woven polyolefin fabric identified as "FRU88X-6", 4 mil

**TEST RESULTS** **NFPA 701-1989 Large Scale Test**

Tested as-received and in single sheet configuration

	Char Length (inches)	Afterflame Time (s)	Flaming Drips?
1:	3.0	0.0	No
2:	3.0	0.0	No
3:	3.2	0.0	No
4:	2.8	0.0	No
5:	3.5	0.0	No
6:	2.5	0.0	No
7:	3.0	0.0	No
8:	3.0	0.0	No
9:	4.0	0.0	No
10:	4.5	0.0	No
Average: 3.3			

Maxima Specified by NFPA 701 Large Scale Test:	10.0	2.0	No	(individual)
	(above flame tip)			

**CONCLUSIONS**

When tested in the as-received condition, the polyolefin fabric identified in this report meets the flammability requirements of the NFPA 701 - 1989 Large Scale Test.

Richard J. Lederle  
Fire Testing Services

E.W. Simmons  
Fire Testing Services

*This report refers only to the particular samples, units, material, instrument, or subject used and referred to in it, and is limited by the tests and/or analyses performed. Similar articles may not be of like quality, and other testing and/or analysis programs might be desirable and might give different results.*

# SECTION 2

**SACRED TEXT TREASURY 2**

**AKA: TENT 2**

**SUPLYED BY SUMMIT STRUCTURES US A DIVISION OF COVER-ALL**

**INSTALLED AT RATNA LING BUDDHIST RETREAT CENTER 35755  
HAUSER BRIDGE RD CAZADERO CA**

**PROJECT ID SBS 08-1007**

**ORDER NUMBER 85871**

**BUILDING PERMIT 08-1188  
COMMERICAL FIRE SPRINKLER PERMIT 08-1714**

**QUOTE LOI**



## Letter of Intent/Order

This Agreement made this 20th day of March, 2008, by and between Summit Structures US, LLC with a business address of 946 N. Van Buren Street, Allentown, PA 18109 (hereinafter referred to as "Summit") and Raina Ling Dharma Publishing Company with a business address of 35755 Hauser Bridge Road, Cazadero, CA 95421 (hereinafter referred to as "Rainaling"). Summit and Rainaling, or Seller and Buyer, shall be collectively referred to as the "parties".

This agreement is to express Rainaling's intent to purchase and their factory order for the following goods and services for the project described on the Summit Firm Quote of March 20, 2008 and below, and Summit's intent to provide the materials and services as listed below.

### 1. Definitions and Description of Product/s and Services.

#### **Delivery and installation of one structure:**

**50'w x 120'l (6,000sf) Titan Summit Structure with trusses 20'oc and complete with:**

- Galvanized Triple Coated "Galvalume" Steel Trussed Frame
- Duraweave FR fabric - beige (tan) translucent roof membrane
- (2) - Complete Flat Gable Ends - beige (tan) translucent membrane
- (1) - 10'w x 10'h OH Cargo type framed penetration - sidewall mounted location
- (2) - Single personnel framed doorway penetrations - sidewall or gable mounted - T.B.D.
- (4) - Framed 'air handling' penetrations - gable peak mounted (up to 3'x 3' framed opening)
- (10) - Truss line hanging points for lighting - location T.B.D.
- (21) - truss line hanging points for sprinkler system - field locate
- Termination of fabric - to be attached to geo-fabric (attachment materials by others) and buried
- Anchorage system referred to as earth-anchor and ground stakes - engineered by others;
  - additional costs for custom base-plates, ground stakes and/or earth anchors
  - to be supplied by Summit or others - to be determined
- California State Stamped Engineered drawings and calculations for the structure
- Delivery to site - Sonoma County, CA

### 2. Price.

The price of the product and service to be paid by the Buyer per Summit Structures Firm Quote proposal dated March 20, 2007 is: \$ 66,080.00

### 3. Production Deposit.

#### **Engineering and Factory Material Order**

With this agreement, Seller has received a deposit in the amount of \$ 33,040.00 from Buyer. Said deposit is required by Seller to render project shop drawings, CA stamped drawings and calc's. and to purchase materials and manufacture the structure listed in scope above. Final contract purchase price to be firmed prior to release of the order from the factory.

**4. Obligations.**

**Ratnaling**

Upon signing this agreement, buyer agrees that information provided by Summit will be kept in confidence and will not provide said information to competitive building providers.

Signed Letter of Intent w/ Manufacturing Deposit - No Later than March 21st 2008

**Summit**

Summit will immediately start shop and engineering drawings and release the order to manufacturing Targeting delivery by or before April 14, 2008

**5. Limits of Liability.**

This agreement will be considered null and void in the event buyer is unable to execute a material and service contract for reasons of: failure to secure adequate financing, failure to secure permits and force majeure.

**Ratna Ling Dharma Publishing**

By: Doug Numburg  
Title: PROJECT MANAGER  
Signature: Doug Numburg  
Date: 3/20/2008

**Summit Structures US, LLC**

By: Darcy McLean  
Title: Business Director  
Signature: Darcy McLean  
Date: March 21, 2008

# **CONTRACT PAYMENT**



**MATERIAL SALES AGREEMENT**

This Agreement (hereinafter referred to as "Agreement") is made this 10th day of April, 2008, by and between Summit Structures U.S., LLC located at 946 N. Van Buren Street, Allentown, PA 18109 (hereinafter referred to as "Seller") and Ratna Ling Dharma Publishing Company with a business address of 35755 Hauser Bridge Road, Cazadero, CA 95421 (hereinafter referred to as Buyer" ). Seller and Buyer, hereby agree as follows:

**1.0 Scope of Work**

- 1.1 The Seller shall design, engineer, supply and deliver the product(s) (hereinafter "the Product") as specifically set forth in Seller's Scope of Work attached hereto and incorporated herein by reference as Appendix "A".
- 1.2 Buyer has reviewed and approved the drawings, specifications and calculations as provided by Seller.
- 1.3 Seller's Scope of Work is expressly limited to the plans and specifications specifically identified by Seller in 1.1.

**2.0 Delivery**

- 2.1 Seller agrees to deliver the Product F.O.B. Cazadero, CA. The Seller shall only be responsible for transportation charges to the site. Any additional transportation charges are the responsibility of the Buyer. The Buyer shall also be responsible for obtaining all necessary licenses and permits, and paying all applicable taxes and fees on the sale, delivery, installation, and use of the Product sold hereunder.

**3.0 Contract Sum**

- 3.1 Buyer shall pay to Seller as full compensation and consideration of Seller's performance of Seller's Scope of Work hereunder the sum of \$ **66,080.00** (hereinafter, the "Contract Sum"), plus or minus the net amount of all adjustments to such amount on account of Change Orders approved by the parties in accordance with paragraph 6.1, and which are due to a change in the Scope of Work. 66,080  
\* 112
- 3.2 Certain taxes from the sale of the Product, including taxes on transportation may be assessed by the State where delivery is made or where possession is transferred to the Buyer. Where taxes are so assessed, the Buyer agrees to pay any and all such taxes to the Seller for payment over to the State including but not limited to all sales, use, value added, property or other taxes levied upon the price, delivery, installation or sale of Seller's Product hereunder. In the event taxes are not assessed by the State where delivery is made or possession is transferred to the Buyer, the Buyer agrees to pay such taxes directly to the State and provide proof of payment to the Seller, if any. In any event, Buyer agrees to be solely responsible for the payment of any and all taxes as set forth above and agrees to indemnify and hold Seller harmless for any applicable taxes



including penalties and interests which may be assessed and defend Seller from any claims arising from the assessment of such taxes including the reimbursement of reasonable attorney's fees.

#### 4.0 Terms of Payment

The Contract Sum shall be payable to the Seller in accordance with the following terms and conditions:

(a) 50% of the Contract Sum, or \$ 33,040.00, shall be paid upon the placement of Buyer's order to purchase Seller's Product.

(b) 40% of the Contract Sum, or \$ 26,432.00, shall be due paid upon notification that the order is ready to ship to the Buyer's site.

(c) Final 10% balance of the Contract Sum, or \$ 6,608.00, shall be paid upon Substantial Completion of Work by Seller. "Substantial Completion" shall mean: the stage of progress of the Work at which point the Work is substantially complete and Buyer can occupy or utilize the Product in accordance with its intended use as it relates to the completed performance of the Scope of Work by Seller as provided herein, and any remaining items of Work at this point of Substantial Completion generally consists of minor finishing work and/or punch list items. The Work will not be considered Substantially Complete until a representative of Seller and Buyer perform a walk-through of the Work, and both parties sign off on Seller's Certificate of Substantial Completion.

(d) All payments due hereunder will be paid by Buyer upon receipt of Seller's invoice. A 2% late fee on the invoice amount will be charged for any late payments. In addition, past due amounts shall bear interest at an amount of one and one-half (1.5%) percent per month. Any late payment permits Seller to stop delivery or work until payment is received by Seller in accordance with section 9.0. Seller's time for performance under this Agreement shall be extended appropriately and the Contract Sum shall be increased by the amount of Seller's reasonable costs of shutdown, delay and startup. Any such costs, including but not limited to those incurred by Seller for any changes in the time for Seller's performance, will be invoiced at cost plus ten (10%) percent.

#### 5.0 Buyer's Obligations

5.1 Buyer agrees to make all necessary preparations to the site to accommodate access for the delivery and staging of the Product, including but not limited to the provision of an adequate staging area (which shall be no further than one hundred (100) yards from the installation Site) and the clearing of the installation Site and the Site's perimeter, and the provision of unobstructed Site access to allow for the safe delivery of the Product. Buyer shall also provide assured Site clearances as will be needed to accommodate Seller's Scope of Work.

5.2 Buyer shall apply for, procure and pay for all necessary permits, licenses, government approvals, and any other approvals which may be required by Seller's Scope of Work.



- 5.3 Buyer shall be responsible for the supply and integration of any materials, products or systems with the Seller's Product other than those as referenced in Appendix "A".
- 5.4 Buyer agrees to inspect the work of others and to notify the Seller of any deficiencies in or aspects of such work which may affect Seller's Product or Scope of Work.
- 5.5 Buyer shall provide twenty-four (24) hour site security.
- 5.6 Buyer shall be responsible for the design and supply of any foundation necessary for the performance of Seller's Scope of Work. Such foundation shall be in accordance with the engineering drawings, and shall be designed and prepared in collaboration with Seller to ensure suitability for Seller's Scope of Work.
- 5.7 Buyer hereby grants Seller the right and license to take photos and/or digital recordings of the Products, both during and after completion of construction, for use by Seller in its various promotional materials, brochures, websites or web-pages, advertising, communications, publications and sales proposals, and for general marketing and financing purposes, and for profit.
- 5.8 Buyer shall permit Seller to enter the lands and access the Product at mutually agreed upon times and dates to allow Seller to conduct tours of the facility with prospective customers and business associates, and to take photos or digital recordings of the Product. Buyer's permission and provision of access for such arrangements shall not be unreasonably withheld from Seller.

NO

NO

**6.0 Change Orders**

6.1 All changes in the Seller's Scope of Work hereunder and any associated costs shall require a written Summit Change Order form which must be signed by an authorized representative of both the Buyer and Seller, and shall state the parties agreement as to the following: (a) changes in the Scope of Work; (b) the amount of the adjustment, if any, in the Contract Sum; (c) the extent of the adjustment, if any, in the time for performance of this Agreement; and (d) any other relevant matter pertaining to the change in the Work which may affect the terms of this Agreement or the Scope of Work.

**7.0 Buyer's Representations and Warranties**

7.1 Buyer has all the necessary power and authority to enter into and perform its obligations under this Agreement, and in the event that Buyer is a corporation, partnership or limited liability company, the individual executing this Agreement on behalf of Buyer represents and warrants that he is duly authorized to execute and deliver this Agreement on behalf of the Buyer, in accordance with a duly adopted resolution by the Board of Directors of said corporation, partnership or limited liability company, and that this Agreement is binding on the Buyer in accordance with its term. Either party may request of the other written proof of corporate authority.

7.2 Buyer has obtained all necessary permits or licenses and has obtained any governmental approvals or other approvals necessary for the performance of Seller's Scope of Work.

7.3 Buyer has received information from Seller concerning the nature, quality, properties and load capabilities of the Product and materials identified in Seller's Scope of Work, and based upon such



information and in reliance thereon is satisfied with the suitability or structural integrity of the Product or materials to be used in Buyer's project.

7.4 Buyer has, or prior to the Substantial Completion of Seller's Scope of Work hereunder, will have reviewed and approved the engineering drawings, specifications and calculations for the Product.

7.5 Buyer has prepared the Site in a manner necessary for the performance of the Seller's Scope of Work, and Buyer represents that the condition of the Site is such that Seller can perform its Scope of Work under this Agreement without any interference, hindrance, delay or additional costs to Seller.

## 8.0 Termination For Cause

8.1 In the event Buyer fails to make any payment when due under this Agreement for a period of thirty (30) days after notice from Seller and if Seller is not in breach of this Agreement, Seller shall have the right to stop work and give Buyer notice of default. If Buyer fails to make payment of the sums then due or overdue, including amounts that Seller incurs for the cost of shutdown, delay and startup or otherwise cure its material breach, Seller may terminate this Agreement by notice to Buyer and exercise all rights, remedies and privileges afforded under Article 9 of the Uniform Commercial Code, including the repossession and removal of the Product from the delivery site. Buyer specifically grants Seller a security interest in the Product until full and final payment is made in accordance with this Agreement. In addition, Seller may pursue any other available remedy at law or equity to enforce the payment and Buyer's obligations under this Agreement and shall be entitled to reasonable attorney's fees.

8.2 If Buyer files a petition of bankruptcy, makes a general assignment for the benefit of creditors, or if a receiver is appointed on account of Buyer's insolvency, or if Seller reasonably believes Buyer is financially unable to make any payments under this Agreement, or if Buyer otherwise breaches its material obligations under this Agreement, and Buyer does not cure such breach within the time specified in section 8.3 below, Seller may at its option, do one or more of the following:

- (a) Demand Buyer give Seller adequate assurances that it can cure the default or
- (b) Terminate the Agreement by written notice to Buyer and pursue such damage remedies as may be allowed by relevant law.
- (c) Exercise all rights, remedies and privileges afforded under Article 9 of the Uniform Commercial Code, including the repossession and removal of the Product from the delivery site.

8.3 Except as otherwise provided in section 8.1, Buyer shall have five (5) days from its receipt of written notice from Seller that it is in breach of a material obligation under this Agreement to cure said breach. Seller may immediately take one or more of the actions outlined in section 8.2 without allowing five (5) days within which to cure its breach.



9.0 Non-Conforming Tender

9.1 Following the installation of the Product and upon Substantial Completion, Buyer shall have five (5) business days within which to notify Seller of Buyer's rejection of all or a portion of the Product. Such notice must state the basis of the nonconformity and describe those portions of the Product that Buyer is rejecting. Failure of Buyer to comply with this paragraph shall constitute an acceptance by Buyer of Seller's Product. Whereupon Buyer shall waive any consequential or incidental damages arising from such nonconforming tender. Further, should it be determined that Buyer wrongfully rejected Seller's Product, Seller shall be entitled to all damages recoverable at law including reasonable attorney's fees.

9.2 Upon receipt of any written notification of rejection, Seller shall have the option of either (a) replacing the nonconforming Product or a portion thereof; or (b) reducing the contract amount as appropriate and equitable by mutual agreement of Buyer and Seller. Such adjustment shall be effectual whether or not final payment has been made. In the event that Seller decides to replace the Product it shall have ninety (90) days from the date it receives notice of Buyer's rejection unless at the time of Buyer's rejection Buyer notified Seller of Buyer's refusal to accept a replacement Product.

10.0 Warranties

10.1 Except as otherwise addressed in the following sentence, it is understood that Buyer shall have no claim against the Seller regarding any materials supplied unless such claim is made in writing to Seller within twelve (12) months of completion. Buyer retains the ability to file a warranty claim on any defective materials which are covered in Seller's written Warranty. Buyer further agrees that any modifications to Seller's Product by the Buyer, or on Buyer's behalf, including but not limited to any drilling of the frame for mounting, attaching, suspending accessories or penetration of the inner or outer membrane for ventilation, ducting, piping or electrical wiring, will void any Warranties unless such modifications have been pre-approved by Seller in writing. Seller acknowledges and agrees that it has pre-approved all items enumerated and included in Seller's Scope of Work attached hereto as Appendix "A". Further, Buyer agrees to indemnify and hold Seller harmless for any and all claims or damages arising from any unauthorized modifications.

10.2 Any warranties provided for in this Agreement are expressly conditioned upon the installation of the Product by **Summit Structures US, LLC** or the use of at least one of Seller's technical representatives to provide advice on installation. However, should Buyer elect to not comply with this condition then such warranties shall be void and of no effect whatsoever.

10.3 The warranty period for any warranty provided hereunder shall commence on the date of Certificate of Substantial Completion.

11.0 Limitation of Liability

11.1 The warranties set forth in this Agreement are exclusive and in lieu of all other warranties expressed or implied by law or trade usage including any implied warranties of merchantability or fitness for a particular purpose. Except to the extent provided for in this Agreement, Seller shall not be liable for any incidental or consequential damages including but not limited to loss



of use or loss of anticipated profits. Limitations and waivers established in this Agreement shall be effective whether any claim arises in contract, tort, Product liability or otherwise.

## 12.0 Risk of Loss

12.1 Any risk of loss or damages associated with Seller's Product remains with Seller until the time of delivery. Any risk and responsibility shall then be assumed by the Buyer. Further, the risk of loss remains with the Buyer in the event the Product is subsequently returned to Seller and until it has been received by Seller.

## 13.0 Delays

13.1 In the event Seller elects to stop delivery or work pursuant to this Agreement, or in the event performance is delayed through no fault of the Seller, Seller's time for performance under this Agreement shall be extended appropriately and the Contract Sum shall be increased by the amount of Seller's reasonable costs of shut down, delay and startup. Any such costs, including but not limited to labor, material, overhead and other costs incurred by Seller for any changes in the time for Seller's performance, will be invoiced at cost plus ten (10%) percent.

13.2 The time allotted by this Agreement for performance by Seller of its obligations shall be extended for each day of delay caused by reason of fire, flood, earthquake, other act of god, civil disturbance, riot, hurricane, tornado, war, epidemic, labor dispute, act of terrorism, order of any court or administrative body, *force majeure*, or any other cause beyond Seller's control and without fault on the part of Seller or Buyer which could not have been reasonably anticipated or avoided. In such cases, costs for shut down, delay and startup shall be equally apportioned between Buyer and Seller

## 14.0 No Lien Contract

Notwithstanding anything to the contrary contained in this Agreement or any other contract document between or among the Buyer, any owner or general contractor, the Seller specifically reserves and does not waive, release or relinquish any rights it may have under any applicable Mechanics' Lien Law.

## 15.0 Miscellaneous

15.1 This Agreement constitutes the entire Agreement between the parties with respect the subject matter hereof, and merges, and supersedes all prior negotiations, discussions, representations, warranties, offers and agreements between the parties with respect to such subject matter.

15.2 This Agreement shall be governed by the laws of the Commonwealth of Pennsylvania without regard to its choice of law rules.

15.3 This Agreement may be amended only by a written instrument signed by a duly authorized representative of the Seller and Buyer. Failure of either party to insist on one or more occasions to upon the strict performance of obligations owed hereunder by the other party shall not waive or release such party's right to insist on strict performance of such obligation in the future.



15.4 This Agreement shall be binding upon the parties and their successors and assigns, but no party shall make any sale, assignment, mortgage, pledge or other transfer of all or any portion of its right hereunder without prior written consent of the other party.

15.5 If any portion of this Agreement shall be held invalid or unenforceable the balance of this Agreement shall be enforced without regard as such invalid provisions.

15.6 This Agreement may be signed in duplicate, counterparts and upon execution and delivery by each party of at least one such duplicate counterpart, shall be as binding as though both parties had signed a single copy.

15.7 Section headings provided in any of this Agreement are provided solely for the convenience of the reader and shall not be considered or utilized in any fashion in connection with any interpretation or enforcement.

15.8 Should any arbitration or litigation be commenced between the parties to this Agreement concerning the rights and duties of either party in relation to this Agreement, the prevailing party in the arbitration or litigation shall be entitled to (in addition to any other relief that may be granted) a reasonable sum as and for attorneys' fees in the arbitration or litigation, which sum shall be determined by the court or other person presiding in the arbitration or litigation or in a separate action brought for that purpose.

15.9 *Notices:* Any notices required or permitted by the terms of this Agreement shall be in writing and shall be sufficiently given if personally delivered, if transmitted by facsimile or email, or if sent by pre-paid registered mail:

(a) In the case of Seller, to the attention of either:

Darcy McLean (*Director of Summit Structures*)  
Email: [dmclean@summitstructures.com](mailto:dmclean@summitstructures.com); or

Ryan Widger (*Project Manager*)  
Email: [rwidger@summitstructures.com](mailto:rwidger@summitstructures.com)

c/o Summit Structures  
946 N. Van Buren Street  
Allentown, PA 18109  
Toll Free Fax (877) 413-7189

(b) In the case of Buyer, to the attention of:

Email: \_\_\_\_\_ (name) (title)  
\_\_\_\_\_ (company)  
\_\_\_\_\_ (street)  
\_\_\_\_\_ (city, state, country, zip)  
Fax: \_\_\_\_\_

16.0 Indemnification

16.1 To the fullest extent permitted by law, and to the extent not covered by insurance, the Buyer shall indemnify and hold harmless Seller, its agents and employees from any claims, damages, losses and expenses, including but not limited to reasonable attorney's fees arising out of or resulting from Seller's performance under this Agreement,



providing that such claim, damage, loss or expense contribute to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, but only to the extent caused by the negligent acts or omissions of the Buyer, Buyer's subcontractor(s), anyone directly or indirectly employed by them, or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expenses caused in part by a party indemnified hereunder. Such obligations shall not be construed to negate, abridge, or reduce other rights or obligations of indemnity which would otherwise exist as to a party or person described herein.

16.2 In claims against any person or entity indemnified under this paragraph by employee of the Buyer, Buyer's subcontractor(s), anyone directly or indirectly employed by them or anyone for whose acts they may be liable, the indemnification obligation under paragraph 16.1 shall not be limited by a limitation on amount or type of damages, compensation of benefits, payable by or for the Buyer, or Buyer's subcontractor(s) under worker's compensation acts, disability benefit act, or other employee benefit acts.

IN WITNESS WHEREOF, THE PARTIES HAVE CAUSED THIS AGREEMENT TO BE EXECUTED ON THE DATE FIRST SET FORTH ABOVE.

**ATTEST:**

**Ratna Ling Dharma Publishing Co.**

**Summit Structures US, LLC**

By: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_





## Appendix "A"

**Scope of Work – Supply - Seller shall supply the following Products to the Buyer's site:**

**50'w x 120'l (6,000sf) Titan Summit Structure with trusses 20'oc and complete with:**

- Galvanized Triple Coated "Gatorshield" Steel Trussed Frame
- Duraweave FR fabric – beige (tan) translucent roof membrane
- (2) – Complete Flat Gable Ends - beige (tan) translucent membrane
- (1) – 10'w x 10'h OH Cargo type framed penetration – sidewall mounted location
- (2) – Single personnel framed doorway penetrations – sidewall or gable mounted – T.B.D.
- (4) – Framed 'air handling' penetrations – gable peak mounted (up to 3'x 3' framed opening)
- (10) – Truss line hanging points for lighting – location T.B.D.
- (21) – truss line hanging points for sprinkler system – field locate
- Termination of fabric -- to be attached to geo-fabric(attachment materials by others) and buried
- Anchorage system referred to as earth-anchor and ground stakes - engineered and supplied by others;
- California State Stamped Engineered drawings and calculations for the structure
- Delivery to site – Sonoma County, CA

**Seller shall provide the following services related to the Work and Installation of the Product on the Buyer's Site:**

Seller shall supply a technical supervisor(s) to oversee and advise Buyer-provided installation crew on best methods to install the Product on the footers and/or foundations installed by Buyer.

Any drawings, specifications or calculations are submitted for purposes of the installation of the Products or materials only. The Seller is not a licensed architect, structural engineer or design professional, renders no opinion regarding the structural integrity or suitability of the materials or the Product for the project of which the material or Product is being utilized, and specifically disclaims any responsibility thereof.



Temp 2 50x120  
 50# SB 08-1007

3/20/2008

Summit Structures US CK # 4459

\*\*33,040.00

Thirty-Three Thousand Forty and 00/100\*\*\*\*\*

Summit Structures US  
 Attn: Terri Snyder  
 946 N. Van Buren Street  
 Allentown, PA 18109

Summit Structures US LOI + Deposit 7

3/20/2008

33,040.00

RL Donor WFB 6018-

33,040.00

Summit Structures US

3/20/2008

33,040.00

Temp 2  
 Check 4459 33,040  
 4563 26,432  
 4809 6608  
 TOTAL 66080

RL Donor WFB 6018-

33,040.00

+ Tech rep 4807 10145.71

Temp 2

6/17/2008

Summit Structures US CK # 4809

\*\*6,608.00

Six Thousand Six Hundred Eight and 00/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

Invoice INV0000424

Summit Structures US	1070	6/17/2008	
	<u>Tech Rep contract and expenses</u>		6,608.00

RL Donor WFB 6018- Invoice INV0000424 6,608.00

Summit Structures US	1070	6/17/2008	
	<u>Tech Rep contract and expenses</u>		6,608.00

RL Donor WFB 6018- Invoice INV0000424 6,608.00

*Temp 2*

4/21/2008

Summit Structures US

*CK # 4563*

\*\*26,432.00

Twenty-Six Thousand Four Hundred Thirty-Two and 00/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

*Final*

Summit Structures US

4/21/2008

26,432.00

RL Donor WFB 6018-

26,432.00

Summit Structures US

4/21/2008

26,432.00

RL Donor WFB 6018-

26,432.00

Terri

6/17/2008

Summit Structures US

CK # 4807

\*\*10,145.76

Ten Thousand One Hundred Forty-Five and 76/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

Invoice INV0000423

Summit Structures US

Tech Rep contract and expenses

6/17/2008

10,145.76

RL Donor WFB 6018- Invoice INV0000423

10,145.76

Summit Structures US

Tech Rep contract and expenses

6/17/2008

10,145.76

RL Donor WFB 6018- Invoice INV0000423

10,145.76

**ENG  
SUMMARY  
QA  
RECORDS**

# TBS2 - Titan Building - 50' Span

## Site Specific American Structural Evaluation

### 20 Foot Frame Spacing

#### Site Specific Evaluation Summary

This evaluation covers a TBS2 - Titan Building 50' in span with frames spaced at 20' on center. The structure is intended to be used as permanent, stand alone, and fully enclosed. The structure is designed for the loads listed below in accordance with the American Society of Civil Engineers: Minimum Design Loads for Buildings and Other Structures (ASCE 7-02). Any deviation outside the criteria listed below is subject to review by the Professional Engineer for that specific project.

#### Site Wind Criteria

Wind Speed (3 Second Gust): 90 mph  
 Exposure Category: C  
 Building Category: Low Hazard  
 Basic pressure: 14.4 psf @ 25' elevation  
 Enclosure: Fully Enclosed

#### Site Snow Criteria

Ground Snow Load: 5.0 psf  
 Flat Roof Snow Load: 2.4 psf  
 Building Category: Low Hazard  
 Wind Exposure: Fully Exposed

#### Live Load Criteria

Minimum Roof Live Load: 12.0 psf

#### Allowable Hanging Loads on Frames

Hung loads have been assumed to be less than 3.25 psf (approximately 3,250 pounds distributed along the frame). Additional load will reduce the snow load capacity accordingly.

#### Base Reactions for Site Specific Loads

The maximum forces at the foundations/supports due to the rated load and exposure class are as follows: The following reactions are unfactored and include dead load.

At Anchor Pin -	Shear (k)	Down (k)	Up (k)
Live:	2.8	6.2	---
Snow:	0.3	0.7	---
Wind: Perpendicular	3.7	---	0.5
Wind: Parallel	0.5	---	3.4*

\* add 1.12 (k) at tension anchor (Grid Line 2 & 6)

At Wind Post Base -	Shear (k)
Wind: Parallel	1.1

Sales Order	Line Number	Line Type	Work Order	QA Name	QA Value
S085871	200	Cover	WO47909	Correct Crown	3in
S085871	200	Cover	WO47909	Tension Pocket Notches (North)	n/a
S085871	200	Cover	WO47909	Main Block Color	FRSS D80107012
S085871	200	Cover	WO47909	Additional Tension Pocket (South)	n/a
S085871	200	Cover	WO47909	Panels Shingled from Center (South)	y
S085871	200	Cover	WO47909	Product Label	Bay #1
S085871	200	Cover	WO47909	Pull Pocket Notches (South)	n/a
S085871	200	Cover	WO47909	Raw Panel Width (North)	20ft 2 3/8in
S085871	200	Cover	WO47909	Tension Pocket Placement (North)	40ft 10 1/4in
S085871	200	Cover	WO47909	Tension Pocket Placement (South)	40ft 10 1/4in
S085871	200	Cover	WO47909	Panels Shingled from Center (North)	y
S085871	200	Cover	WO47909	Pull Pocket Notches (North)	n/a
S085871	200	Cover	WO47909	Tension Pocket Notches (South)	n/a
S085871	200	Cover	WO47909	Centre marking	2423
S085871	200	Cover	WO47909	X Marked on Pull Pocket	2423
S085871	200	Cover	WO47909	Truss cover placement	male/male
S085871	200	Cover	WO47909	Additional Tension Pocket (North)	n/a
S085871	200	Cover	WO47909	Raw Panel Width (South)	20ft 2 3/8in
S085871	200	Cover	WO47909	Main Panel Block Length (South)	39ft 11in
S085871	200	Cover	WO47909	Main Panel Block Length (North)	39ft 11in
S085871	200	Cover	WO47909	Visual inspection completed by foreman	1393
S085871	200	Cover	WO47909	Keder Weld	y
S085871	200	Cover	WO47909	Product Label	y
S085871	200	Cover	WO47909	Machine Temperature	850
S085871	200	Cover	WO47909	Machine Speed	31
S085871	200	Cover	WO47909	Finished Panel Width	19'-9 7/8"
S085871	201	Cover	WO47910	Correct Crown	3in
S085871	201	Cover	WO47910	Panels Shingled from Center (South)	y
S085871	201	Cover	WO47910	Main Panel Block Length (North)	39ft 11in
S085871	201	Cover	WO47910	Centre marking	2423
S085871	201	Cover	WO47910	Main Panel Block Length (South)	39ft 11in
S085871	201	Cover	WO47910	Pull Pocket Notches (North)	n./a
S085871	201	Cover	WO47910	Tension Pocket Notches (South)	n/a
S085871	201	Cover	WO47910	Tension Pocket Notches (North)	n/a
S085871	201	Cover	WO47910	X Marked on Pull Pocket	1393
S085871	201	Cover	WO47910	Panels Shingled from Center (North)	y
S085871	201	Cover	WO47910	Visual inspection completed by foreman	1393
S085871	201	Cover	WO47910	Raw Panel Width (North)	20ft 23 /8in
S085871	201	Cover	WO47910	Additional Tension Pocket (South)	n/a
S085871	201	Cover	WO47910	Product Label	Bay #3
S085871	201	Cover	WO47910	Raw Panel Width (South)	20ft 2 3/8 In
S085871	201	Cover	WO47910	Tension Pocket Placement (North)	40ft 10 1/4in
S085871	201	Cover	WO47910	Main Block Color	FRSS D80107012
S085871	201	Cover	WO47910	Tension Pocket Placement (South)	40ft 10 1/4in
S085871	201	Cover	WO47910	Additional Tension Pocket (North)	n/a
S085871	201	Cover	WO47910	Truss cover placement	female/male
S085871	201	Cover	WO47910	Pull Pocket Notches (South)	n/a
S085871	201	Cover	WO47910	Machine Temperature	850
S085871	201	Cover	WO47910	Finished Panel Width	19'-9 7/8"
S085871	201	Cover	WO47910	Product Label	y
S085871	201	Cover	WO47910	Machine Speed	31
S085871	201	Cover	WO47910	Keder Weld	y
S085871	202	Cover	WO47911	Correct Crown	3in
S085871	202	Cover	WO47911	Additional Tension Pocket (North)	n/a
S085871	202	Cover	WO47911	Tension Pocket Placement (South)	40ft 10 1/4in
S085871	202	Cover	WO47911	Main Panel Block Length (North)	39ft 11in
S085871	202	Cover	WO47911	Raw Panel Width (North)	20ft 2 3/8in
S085871	202	Cover	WO47911	Main Block Color	FRSSD80107012
S085871	202	Cover	WO47911	Tension Pocket Notches (South)	n/a
S085871	202	Cover	WO47911	Tension Pocket Placement (North)	40ft 10 1/2in
S085871	202	Cover	WO47911	Visual inspection completed by foreman	1393
S085871	202	Cover	WO47911	Tension Pocket Notches (North)	n/a
S085871	202	Cover	WO47911	Product Label	Bay #6
S085871	202	Cover	WO47911	Additional Tension Pocket (South)	n/a
S085871	202	Cover	WO47911	Main Panel Block Length (South)	39ft 11in
S085871	202	Cover	WO47911	Centre marking	2423
S085871	202	Cover	WO47911	Raw Panel Width (South)	20ft 2 3/8in
S085871	202	Cover	WO47911	Pull Pocket Notches (North)	n/a
S085871	202	Cover	WO47911	Panels Shingled from Center (North)	y
S085871	202	Cover	WO47911	Pull Pocket Notches (South)	n/a
S085871	202	Cover	WO47911	Panels Shingled from Center (South)	y



SO85871	202 Cover	WO47911	Truss cover placement	female/male
SO85871	202 Cover	WO47911	X Marked on Pull Pocket	2423
SO85871	202 Cover	WO47911	Keder Weld	y
SO85871	202 Cover	WO47911	Product Label	y
SO85871	202 Cover	WO47911	Finished Panel Width	19'-9 7/8"
SO85871	202 Cover	WO47911	Machine Speed	31
SO85871	202 Cover	WO47911	Machine Temperature	850
SO85871	202 Cover	WO47912	Correct Crown	3In
SO85871	202 Cover	WO47912	Product Label	Bay #5
SO85871	202 Cover	WO47912	Tension Pocket Notches (South)	n/a
SO85871	202 Cover	WO47912	Main Panel Block Length (North)	39ft 11In
SO85871	202 Cover	WO47912	Main Block Color	FRSS D80107012
SO85871	202 Cover	WO47912	Tension Pocket Placement (North)	40ft 10 1/4In
SO85871	202 Cover	WO47912	Tension Pocket Placement (South)	40ft 10 1/4In
SO85871	202 Cover	WO47912	Additional Tension Pocket (South)	n/a
SO85871	202 Cover	WO47912	Panels Shingled from Center (South)	y
SO85871	202 Cover	WO47912	Pull Pocket Notches (North)	n/a
SO85871	202 Cover	WO47912	Visual inspection completed by foreman	1393
SO85871	202 Cover	WO47912	Raw Panel Width (South)	20ft 2 3/8In
SO85871	202 Cover	WO47912	Panels Shingled from Center (North)	y
SO85871	202 Cover	WO47912	Additional Tension Pocket (North)	n/a
SO85871	202 Cover	WO47912	Raw Panel Width (North)	20ft 2 3/8In
SO85871	202 Cover	WO47912	Pull Pocket Notches (South)	n/a
SO85871	202 Cover	WO47912	Centre marking	2423
SO85871	202 Cover	WO47912	Truss cover placement	female/male
SO85871	202 Cover	WO47912	Main Panel Block Length (South)	39ft 11In
SO85871	202 Cover	WO47912	Tension Pocket Notches (North)	n/a
SO85871	202 Cover	WO47912	X Marked on Pull Pocket	2423
SO85871	202 Cover	WO47912	Machine Temperature	850
SO85871	202 Cover	WO47912	Keder Weld	y
SO85871	202 Cover	WO47912	Product Label	y
SO85871	202 Cover	WO47912	Machine Speed	31
SO85871	202 Cover	WO47912	Finished Panel Width	19'-9 7/8"
SO85871	202 Cover	WO47913	Correct Crown	3In
SO85871	202 Cover	WO47913	Tension Pocket Placement (North)	40ft 10 1/4In
SO85871	202 Cover	WO47913	Pull Pocket Notches (South)	n/a
SO85871	202 Cover	WO47913	Main Panel Block Length (North)	39ft 11In
SO85871	202 Cover	WO47913	Visual inspection completed by foreman	1393
SO85871	202 Cover	WO47913	Raw Panel Width (North)	20ft 2 3/8In
SO85871	202 Cover	WO47913	Additional Tension Pocket (South)	n/a
SO85871	202 Cover	WO47913	Raw Panel Width (South)	20ft 2 3/8In
SO85871	202 Cover	WO47913	Main Block Color	FRSS D80107012
SO85871	202 Cover	WO47913	Pull Pocket Notches (North)	n/a
SO85871	202 Cover	WO47913	Panels Shingled from Center (North)	y
SO85871	202 Cover	WO47913	Tension Pocket Notches (South)	n/a
SO85871	202 Cover	WO47913	Centre marking	2423
SO85871	202 Cover	WO47913	Main Panel Block Length (South)	39ft 11In
SO85871	202 Cover	WO47913	Tension Pocket Notches (North)	n/a
SO85871	202 Cover	WO47913	Additional Tension Pocket (North)	n/a
SO85871	202 Cover	WO47913	X Marked on Pull Pocket	2423
SO85871	202 Cover	WO47913	Product Label	Bay #4
SO85871	202 Cover	WO47913	Truss cover placement	female/male
SO85871	202 Cover	WO47913	Tension Pocket Placement (South)	40ft 10 1/2In
SO85871	202 Cover	WO47913	Panels Shingled from Center (South)	y
SO85871	202 Cover	WO47913	Finished Panel Width	19'-9 7/8"
SO85871	202 Cover	WO47913	Machine Speed	31
SO85871	202 Cover	WO47913	Product Label	y
SO85871	202 Cover	WO47913	Keder Weld	y
SO85871	202 Cover	WO47913	Machine Temperature	850
SO85871	202 Cover	WO47914	Correct Crown	3In
SO85871	202 Cover	WO47914	Panels Shingled from Center (North)	y
SO85871	202 Cover	WO47914	Raw Panel Width (South)	20ft 2 3/8In
SO85871	202 Cover	WO47914	Main Panel Block Length (South)	39ft 11In
SO85871	202 Cover	WO47914	Main Panel Block Length (North)	30ft 11In
SO85871	202 Cover	WO47914	Tension Pocket Placement (South)	40ft 10 1/4In
SO85871	202 Cover	WO47914	Panels Shingled from Center (South)	y
SO85871	202 Cover	WO47914	Tension Pocket Notches (North)	n/a
SO85871	202 Cover	WO47914	Additional Tension Pocket (South)	n/a
SO85871	202 Cover	WO47914	X Marked on Pull Pocket	1393
SO85871	202 Cover	WO47914	Product Label	Bay #2
SO85871	202 Cover	WO47914	Additional Tension Pocket (North)	n/a
SO85871	202 Cover	WO47914	Tension Pocket Notches (South)	n/a

S085871	202 Cover	WO47914	Visual inspection completed by foreman	1393
S085871	202 Cover	WO47914	Centre marking	2423
S085871	202 Cover	WO47914	Truss cover placement	female/male
S085871	202 Cover	WO47914	Main Block Color	FRSS D80107012
S085871	202 Cover	WO47914	Tension Pocket Placement (North)	40ft 10 1/4in
S085871	202 Cover	WO47914	Raw Panel Width (North)	20ft 2 3/8in
S085871	202 Cover	WO47914	Pull Pocket Notches (North)	n/a
S085871	202 Cover	WO47914	Pull Pocket Notches (South)	n/a
S085871	202 Cover	WO47914	Keder Weld	y
S085871	202 Cover	WO47914	Machine Speed	31
S085871	202 Cover	WO47914	Product Label	y
S085871	202 Cover	WO47914	Machine Temperature	850
S085871	202 Cover	WO47914	Finished Panel Width	19'-9 7/8"
S085871	400 Fabric End	WO47412	COLOR VARIFICATION	4mil fr sandstoneD71109023/rodene
S085871	400 Fabric End	WO47412	COLOR VARIFICATION	FR Sand stone D71109023
S085871	400 Fabric End	WO47412	Subcomponent Dimensions	2484,2542,jessy
S085871	400 Fabric End	WO47412	Material Free from Defects	y
S085871	400 Fabric End	WO47412	Velcro Placement	y 2183
S085871	400 Fabric End	WO47412	Pocket height measurement	4'1" 4'11"
S085871	400 Fabric End	WO47412	Drawing Sign Off	rodene
S085871	400 Fabric End	WO47412	Product Label	good
S085871	400 Fabric End	WO47412	Subcomponent Dimensions	good
S085871	400 Fabric End	WO47413	COLOR VARIFICATION	4mil sandstone D71109023/rodene
S085871	400 Fabric End	WO47413	COLOR VARIFICATION	FR Sand stone D71109023
S085871	400 Fabric End	WO47413	Material Free from Defects	y
S085871	400 Fabric End	WO47413	Subcomponent Dimensions	2484,2542,jessy
S085871	400 Fabric End	WO47413	Velcro Placement	y 2183
S085871	400 Fabric End	WO47413	Subcomponent Dimensions	good
S085871	400 Fabric End	WO47413	Pocket height measurement	4'1" 4'11"
S085871	400 Fabric End	WO47413	Drawing Sign Off	rodene
S085871	400 Fabric End	WO47413	Product Label	good
S085871	401 Fabric End	WO47414	COLOR VARIFICATION	4mil sandstone D71109023/rodene
S085871	401 Fabric End	WO47414	COLOR VARIFICATION	FR Sand stone D71109023
S085871	401 Fabric End	WO47414	Material Free from Defects	y
S085871	401 Fabric End	WO47414	Subcomponent Dimensions	2484,2542,jessy
S085871	401 Fabric End	WO47414	Velcro Placement	y 2183
S085871	401 Fabric End	WO47414	Pocket height measurement	4'1" 4'11"
S085871	401 Fabric End	WO47414	Drawing Sign Off	rodene
S085871	401 Fabric End	WO47414	Product Label	good
S085871	401 Fabric End	WO47414	Subcomponent Dimensions	good
S085871	401 Fabric End	WO47415	COLOR VARIFICATION	4mil fr sandstoneD71109023/rodene
S085871	401 Fabric End	WO47415	Subcomponent Dimensions	2484,2542,jessy
S085871	401 Fabric End	WO47415	COLOR VARIFICATION	FR Sand stone D71109023
S085871	401 Fabric End	WO47415	Material Free from Defects	y
S085871	401 Fabric End	WO47415	Velcro Placement	y 2183
S085871	401 Fabric End	WO47415	Subcomponent Dimensions	good
S085871	401 Fabric End	WO47415	Pocket height measurement	4'1" 4'11"
S085871	401 Fabric End	WO47415	Drawing Sign Off	rodene
S085871	401 Fabric End	WO47415	Product Label	good
S085871	607 Misc Item	WO47915	Inspect sewing	y 2031
S085871	607 Misc Item	WO47915	Product Label	y 2183

# DRAWINGS

All components of the steel and fabric building system described below have been or will be designed and fabricated in accordance with the standards and loads listed below

1. DESCRIPTION

AP / Ref Number: SO/ 85871 / SBS 08-1007  
 Building Type and Size: 50' x 120' @ 20' O.C. - TRSZ - TITAN BUILDING  
 Use and Occupancy: S-2 (STORAGE LOW HAZARD)  
 Site Location (Civic Address): 33755 HAUSER BRIDGE ROAD CAZADERO, CA  
 Applicable Building Code: 2007 CALIFORNIA BUILDING CODE  
 Fabric Type: FR  
 Construction Type: Type II N

Builder's Name and Address: SUMMIT STRUCTURES - USA ALLENTOWN, PA  
 Owner's Name and Address: RATNA LING DHARMA PUBLISHING - WHOLESALE CAZADERO, CA

Building Legal Address: 33755 HAUSER BRIDGE ROAD CAZADERO, CA

2. DESIGN CRITERIA

Design Standard: ASCE 7-05  
 Occupancy Category: STANDARD

Exposure Category: C  
 Importance Factor Wind (W): 1.0  
 Importance Factor Snow (S): 1.0  
 Building Dead Load (Psf): 1.50

DESIGN IS IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE 1989 AISC (360-05) AND 1989 AISI SPECIFICATION

THE BUILDING DESCRIBED IN THE SALES ORDER AND SHALL NOT BE REPRODUCED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF COVER-ALL BUILDING SYSTEMS INC.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN CONFORMANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION INCLUDING THE PROPER USE OF TEMPORARY BRACING.

THIS BUILDING IS NOT DESIGNED TO BE LIFTED AS AN ASSEMBLED UNIT. COVER-ALL BUILDING SYSTEMS INC. IS NOT RESPONSIBLE FOR LOSSES AND/OR DAMAGE AS A RESULT OF LIFTING THIS BUILDING. IF, HOWEVER, IT HAS BEEN DETERMINED TO LIFT THIS BUILDING IT IS THE RESPONSIBILITY OF THE PERSON, FIRM OR COMPANY CONTRACTED TO LIFT THE BUILDING TO SECURE THE SERVICES OF A QUALIFIED ENGINEER TO ENSURE THE LIFT DOES NOT DAMAGE THE BUILDING AND TO DETERMINE AND FINALIZE ALL ASPECTS OF THE LIFT INCLUDING ALL PARTS/CONNECTORS TO BE ADDED TO THE BUILDING TO FACILITATE THE LIFT.

COVER-ALL BUILDING SYSTEMS INC. IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR DAMAGES INCURRED IN THE ERECTION OF THE COMPONENTS SHOWN ON THIS DRAWING, NOR FOR THE INSPECTION OF ERECTED COMPONENTS TO DETERMINE SAME.

THIS CERTIFICATION AND ENGINEERING SEAL APPLIES ONLY TO PRODUCTS DESIGNED AND FABRICATED BY COVER-ALL BUILDING SYSTEMS INC. FOR THE LOADING CONDITIONS DESIGNATED ON THESE DRAWINGS. CONCRETE FOUNDATIONS, STEEL COMPONENTS BY OTHERS AND ERECTION SUPERVISION ARE NOT THE RESPONSIBILITIES OF COVER-ALL BUILDING SYSTEMS INC. OR THE CERTIFYING ENGINEER. ALL DOORS, WINDOWS AND ROLL-UP CURTAINS MUST BE DESIGNED TO SUPPORT THE SITE WIND LOADING AND ARE RELEASING TO BE CLOSED IN THE EVENT OF HIGH WINDS.

ANCHOR BOLTS.

ANCHOR BOLT DIAMETERS ARE DETERMINED IN ACCORDANCE WITH CSA STANDARD CAN-510.1 USING  $F_y = 34 \text{ KSI (248 MPa)}$ . ANCHOR BOLT LENGTHS AND LOAD TRANSFER TO THE FOUNDATION ARE TO BE DETERMINED BY OTHERS.

ANCHOR BOLT PROJECTIONS BASED ON NO GROUT ARE AS FOLLOWS:  
 MIN 1 3/4" (44mm) MAX 2 1/2" (64mm).

FOUNDATION MUST BE LEVEL, SQUARE AND SMOOTH. ANCHOR BOLTS MUST BE ACCURATELY PLACED AS SHOWN ON THE DRAWINGS.

FINISHED FLOOR ELEVATIONS AND LONGSIDE OF BASE PLATE IS 100'-0" (10000mm) UNLESS NOTED.

ERECTION.

THE ERECTOR MUST PROVIDE SAFE WORKING CONDITIONS AND PRACTICES CONFORMING TO ALL SAFETY REGULATIONS. ALL LIFTING DEVICES ARE TO BE SPECIFICALLY DESIGNED TO LIFT THE VARIOUS BUILDING COMPONENTS. SLINGS AND SPREADER BARS ARE TO BE USED TO PREVENT PERMANENT DEFORMATION OF ALL STRUCTURAL COMPONENTS.

ERECTION SHOULD START AT A BRACED BAY. ERECT AND TEMPORARILY SUPPORT UNLESS. USE TEMPORARY BRACING AS REQUIRED TO ENSURE STABILITY OF THE FRAMES. INSTALL PURLINS AND CROSS BRACING. PLUMB AND SQUARE UNLESS IN ACCORDANCE WITH CAN-510.1 AND OSHA 29 CFR PART 1926 - SAFETY STANDARD FOR STEEL ERECTION.

ENSURE ALL PURLINS REMAIN PARALLEL.

STRUCTURAL FRAMING MEMBERS ARE CONSIDERED PLUMB, LEVEL, AND LINED WHEN THE VARIANCE DOES NOT EXCEED 1/300.

STRUCTURAL BOLTS.

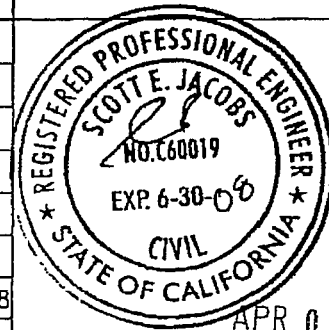
BOLTS IN CONNECTIONS NOT SUBJECT TO TENSION LOADS, OR WHERE LOOSENING DUE TO VIBRATION OR LOAD FLUCTUATIONS ARE NOT DESIGN CONSIDERATIONS, NEED ONLY BE SNUG TIGHTENED, WHICH IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PILES IN A JOINT ARE IN FIRM CONTACT.

ALL BOLTS LARGER THAN 1" (25mm) DIA CONFORM TO ASTM A325. ALL OTHER DIA HEX BOLTS CONFORM TO SAE GRADE OR EQUIVALENT. ALL BOLTS SHALL BE PLATED / GALVANIZED OR GUNBLAST COATED. ALL BOLT REFERENCES REQUIRE BOTH BOLT AND NUT.

BOLTS IN CONNECTIONS SUBJECT TO TENSION LOADS REQUIRE PRE-TENSIONING TO MINIMUM TENSION.

-VALUES AS SHOWN IN THE TABLE BELOW-

TABLE A - BOLT TENSION			
SIZE		Grade 5	
in	mm	kN	lbf
5/8	16	18	80
3/4	19	28	125
7/8	22	39	174
1.0	25	51	227
SIZE		A325	
1 1/8	29	58	249
1 1/4	32	71	318



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1	RELEASED	RS	24 MAR 08
REV.	DESCRIPTION	BY	DATE

TABLE B - IMPERIAL

SIZE		Grade 5					
Dia. (inch)	Threads Per Inch	Turns to Tighten	Proof Load (lb)	Close Load (lb)	Torque (ft-lb)	Torque (ft-lb)	
3/8	16	120	6800	4950	30	23	
7/16	14	120	9050	6700	50	35	
1/2	13	120	12100	9050	75	55	
5/8	11	120	18200	14400	150	110	
3/4	10	120	26400	21300	250	200	
SIZE		A325					
1/4	7	105	71700	53000	1120	840	

**MATERIAL SPECIFICATIONS.**

ROLLED STRUCTURAL SECTIONS CONFORM TO CSA C40.21-4W (300W).

STRUCTURAL PLATE CONFORMS TO THE FOLLOWING SPECIFICATIONS:

PLATES C40.21 4W C40.21/ASTM A572 GR 44 (300W).  
 U.S.S. C40.21 50W C40.21/ASTM A572 GR 50 (350W).

COORINGS OF STRUCTURAL PLATES ARE DONE HOT-DIPPED GALVANIZED TO A NOMINAL COATING ZINC WEIGHT OF 2.0oz/sq ft (60g/sq m) (3.4mil).

COORINGS OF TUBES ARE DONE IN-LINE GALVANIZED TO A NOMINAL COATING ZINC WEIGHT OF 0.5 oz/sq ft (15g/sq m) (1.0mil).

CHROMIUM CONVERSION COATING APPLIED OVER THE GALVANIZED SURFACE TO PROVIDE ADDITIONAL CORROSION PROTECTION.

CLEAR ORGANIC POLYMER APPLIED AS THE TOP SURFACE COAT TO REDUCE OXIDATION, ENHANCE SURFACE APPEARANCE AND PROVIDE A PRIMER BASE FOR SUBSEQUENT MOULEN ZINC APPLIED TO ALL WELDS.

ALL WIPERSTEEL WITH GATORSHIELD WILL DEMONSTRATE THE ABILITY TO WITHSTAND A MINIMUM OF 2000 HOURS OF ACCELERATED SALT FOG TESTING TO THE CONDITION OF 5% SURFACE RED RUST, WHEN TESTED IN ACCORDANCE WITH ASTM B117 STANDARDS.

DIGITAL BRACE STEEL CABLE EXTRA HIGH STRENGTH PER ASTM A775.  
 CROSS CABLES - 1/2" (13mm) TYP U/W.

STRUCTURAL COMPONENTS ARE AS FOLLOWS:  
 3" (76mm) sq TUBES - 3/4" (213mm) C-C USING #1.0X" (42mm) WEB.  
 #1.0X" sq. & #5/8" sq. (127mm) - MIN YIELD STRENGTH = 50ksi (344MPa).  
 ALL SQUARE TUBE - MIN YIELD STRENGTH = 50ksi (344MPa).  
 ALL OTHER SIZE/GAUGES - MIN YIELD STRENGTH = 50ksi (370MPa).

**FABRIC / LINER NOTES.**

EXTERIOR FABRIC IS AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED. ALL TEARS MUST BE PATCHED IMMEDIATELY TO AVOID WARRANTY PROBLEMS.

EXTERIOR FABRIC WILL DEFLECT UNDER LOAD. THEREFORE ALL BUILDING ACCESSORIES (LIGHTING, FAN, SPRINKLERS, ETC) MUST BE LOCATED BENEATH THE INNER CHORD OF THE TRUSS. ANYTHING ABOVE THIS MUST BE REVIEWED AND APPROVED IN WRITING BY COVER-ALL BUILDING SYSTEMS INC. SEVERE DAMAGE TO THE BUILDING AND ACCESSORIES MAY RESULT FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

**FABRIC SPECIFICATIONS.**

EXTERIOR MEMBRANES WILL POSSESS THE FOLLOWING MINIMUM PROPERTIES:

PHYSICAL PROPERTIES	PROPERTIES	DESCRIPTION
Base scrim	HOPE 1800 denier yarn	High Density Polyethylene.
Coating thickness	4 mil (95 gsm) ext. side	Minimum 4 to 6 mil exterior coating on each side of base scrim.
Surface type	Modified LDPE w/UV	Modified low Density Polyethylene coating with UV inhibitors.
Weight	12.5 oz. / sq yd. (410 gsm)	Minimum 12.5 oz. / sq yd.
<b>STRENGTH</b>		<b>TEST STANDARD</b>
Grab tensile strength		ASTM D-2834
Torque tear strength		ASTM D-2261
Strip tensile strength		ASTM D-5035
Median burst		ASTM D-3768
Thickness		ASTM D-5199
Hydrostatic resistance		ASTM D-7514
Cold crack		ASTM D-2154
% Light transmission		ASTM E-903
UV & Weathering		ASTM D-4369
Permeability		ASTM D-4401
<b>IBC</b>		<b>TEST STANDARD</b>
Scale Flame Spread		ASTM E-84
Drip Flame Spread		CAN/ULC S-102

FB02	PROJECT LAYOUT	1	24 MAR 08
FB03	BASE PLATE LAYOUT	1	24 MAR 08
FB04	DESIGN CRITERIA	1	24 MAR 08
FB05	BUILDING PROFILE	1	24 MAR 08
FB06	BRACING LAYOUT	1	24 MAR 08
FB07	FABRIC DETAILS	1	24 MAR 08
FB08	ENDWALL - BRIDGE 1	1	24 MAR 08
FB09	ENDWALL - BRIDGE 7	1	24 MAR 08
FB10	STANDARD DETAILS 1	1	24 MAR 08
FB11	STANDARD DETAILS 2	1	24 MAR 08
FB12	END DETAILS 1	1	24 MAR 08
FB13	END DETAILS 2	1	24 MAR 08
FB14	SIDE OPENING DETAILS	1	24 MAR 08
FB15	FABRIC TERMINATION DETAILS	1	24 MAR 08
FB16	HANGING POINT DETAIL	1	24 MAR 08

**ROOF PLAN NOTES.**

UNLESS NOTED, USE #5/8" (16mm) BOLTS FOR PURLIN TO TRUSS, CABLE OR ROD BRACING TO TRUSS AND ANGLES TO TRUSS FOR ALL CONNECTIONS.

CABLE / ROD AND PURLIN BRACING ARE AN INTEGRAL PART OF THE TRUSSES STRUCTURAL SYSTEMS AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF FABRIC ROOF AND ENDWALL PANELS. REMOVAL OR ALTERATION OF ANY BRACING WITHOUT PRIOR AUTHORIZATION FROM COVER-ALL BUILDING SYSTEMS INC. IS PROHIBITED.

**ELEVATION NOTES.**

HOLES REQUIRED IN IBS COLUMNS, HEADERS OR PURLINS FOR FRAMED OPENINGS, DOOR OR WINDOW POST CONNECTION TO BE BY ERECTOR.

WALK DOOR, WINDOW AND FRAMED OPENING POSTS TO BE FIELD ANCHORED TO CONCRETE WITH #1/2" (13mm) "FIELD TONG-BOLTS" OR SHALAK.

**PARTITION WALL NOTE.**

FIELD INSTALLATION OF PARTITION WALL TO UNDERSIDE OF ANY ARCH FRAMING MEMBERS MUST ALLOW FOR VERTICAL BUILDING DEFLECTION. CONTACT COVER-ALL BUILDING SYSTEMS INC. FOR REDUCED CLEARANCES.

**MATERIAL STORAGE.**

GALVANIZED, ALUMINIZED, AND COLORED MATERIALS ARE SUBJECT TO CORROSION AND DISCOLORATION IF THEY ARE IMPROPERLY STORED. SHORT TERM JOB SITE STORAGE OF STEEL COMPONENTS MAY BE TOLERATED PROVIDED CARE IS TAKEN TO KEEP THE MATERIALS DRY AT ALL TIMES. WHEN TRUSSES ARE TO BE STORED OUTDOORS, THEY SHOULD BE PLACED AT AN ANGLE SUFFICIENT TO PROMOTE GOOD DRAINAGE. IN ADDITION, SEVERAL INCHES OF CLEARANCE MUST BE PROVIDED BETWEEN THE LOWER END AND THE GROUND TO ALLOW VENTILATION.

NOTE: COVER-ALL BUILDING SYSTEMS INC. WILL NOT BE HELD RESPONSIBLE FOR MATERIALS WHICH ARE IMPROPERLY PROTECTED AFTER DELIVERY.

**MANUFACTURING STANDARDS.**

FABRICATION IS IN ACCORDANCE WITH CAN/CSA-51.11 AND CAN/CSA-51.26, AS APPLICABLE.

COVER-ALL BUILDING SYSTEMS INC. IS A CNB CERTIFIED DIVISION 2.1 MANUFACTURER OF TRUSSES. ALL WELDS ARE COMPLETED IN SHOP AS PER CNB STANDARD CSA W47.1 AND W58. AS PART OF OUR CNB CERTIFICATION AN INDEPENDENT THIRD PARTY TESTS OUR WELDERS AND PROCEDURES AND AUDITS OUR FACILITIES. THIS CERTIFICATION MEETS WITH AWS D1.1 AND D1.3 CRITERIA.

SUMMIT STRUCTURES US LLC

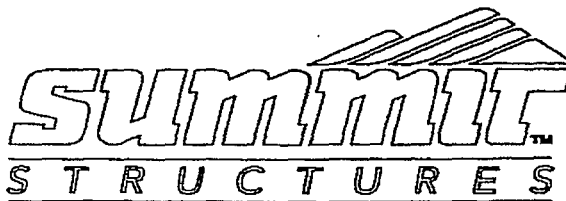
RATNA LING DHARMA  
 PUBLISHING - WHOLESALE  
 CAZADERO, CA  
 WAREHOUSE

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DRAWN BY: R SCHMID  
 DATE: 24 MAR 08

CHECKED BY: [Signature]  
 DATE: 31 MAR 08

SCALE: N.T.S.



PH: 1-877-413-7197 FAX: 1-877-413-7189  
 WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com

DRAWING TITLE: COVERPAGE  
 DWG #: WS01  
 REVISION: 1

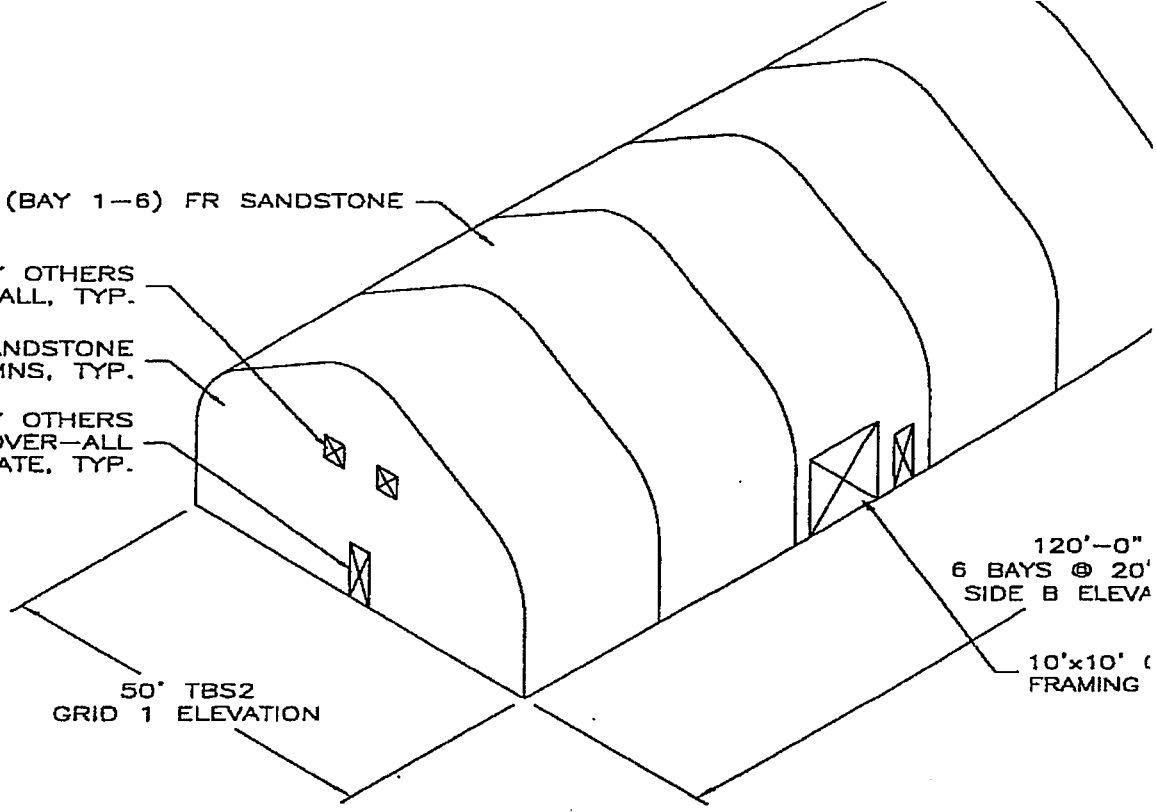
ORDER ID: 85871

COVER (BAY 1-6) FR SANDSTONE

VENTS BY OTHERS  
FRAMING BY COVER-ALL, TYP.

ENDWALL FR SANDSTONE  
WITH HSS COLUMNS, TYP.

PERSONNEL DOOR BY OTHERS  
FRAMING BY COVER-ALL  
FIELD LOCATE, TYP.



120'-0"  
6 BAYS @ 20'  
SIDE B ELEV

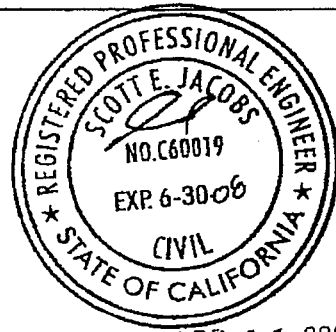
10'x10'  
FRAMING

50' TBS2  
GRID 1 ELEVATION

50'  
GRID 7 E

LEASE REFER TO FOLLOWING DRAWINGS  
OR EXACT BUILDING DIMENSIONS

RELEASED	RS	24 MAR 08	
DESCRIPTION	BY	DATE	

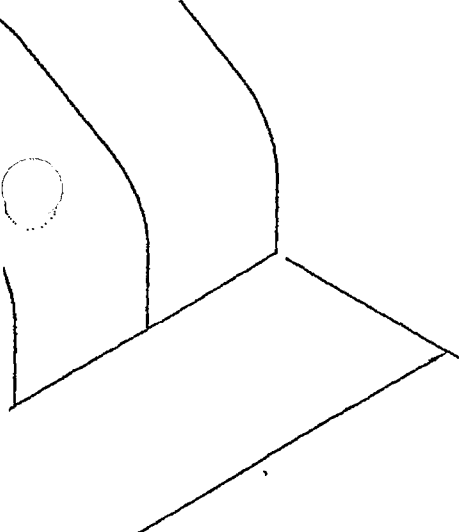


OFFICE: SUM

CUSTOMER: RATI  
PUE  
CAZ  
PROJECT: WAR

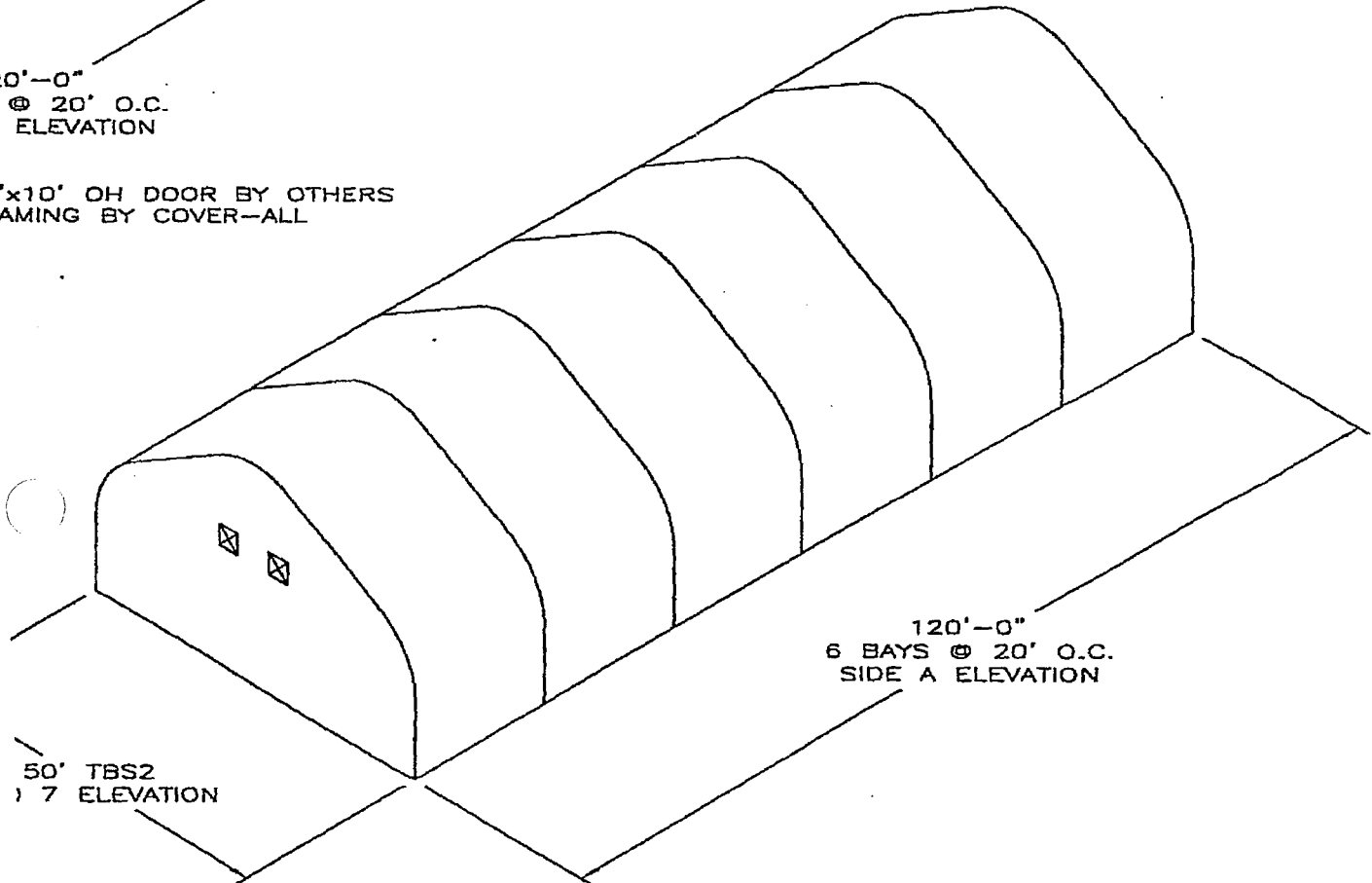
PROJECT ID:  
SBS 08-1007

APR 01 2008




20'-0"  
 @ 20' O.C.  
 ELEVATION

10'x10' OH DOOR BY OTHERS  
 DAMAGING BY COVER-ALL



120'-0"  
 6 BAYS @ 20' O.C.  
 SIDE A ELEVATION

50' TBS2  
 7 ELEVATION

SUMMIT STRUCTURES US LLC  : RATNA LING DHARMA PUBLISHING - WHOLESALE CAZADERO, CA WAREHOUSE		THIS DRAWING IS PROPERTY OF SUMMIT STRUCTURES LLC. ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF SUMMIT STRUCTURES LLC OR ANY OF ITS AFFILIATES IS PROHIBITED.			
DRAWN BY: R SCHMID		DATE: 24 MAR 08			
CHECKED BY: <i>MD</i>		DATE: <i>31 Mar 08</i>		PH: 1-877-413-7197 WEBSITE: <a href="http://www.summitstructures.com">www.summitstructures.com</a>	
ORDER ID: B5871		SCALE: N.T.S.		FAX: 1-877-413-7189 E-MAIL: <a href="mailto:info@summitstructures.com">info@summitstructures.com</a>	
		DRAWING TITLE: PROJECT LAYOUT		DWG #: FB02	REVISION: 1

**LABEL**



09-415

Order 5085871

DESCRIPTION 52-50-BND GRID 1

RVP

TR SS

COLON #

100

DEPARTMENT NAME

STATION 1

...

# SECTION 3

**SACRED TEXT TREASURY 3**

**AKA: TENT 3**

**SUPLYED BY SUMMIT STRUCTURES US A DIVISION OF COVER-ALL**

**INSTALLED AT RATNA LING BUDDHIST RETREAT CENTER 35755  
HAUSER BRIDGE RD CAZADERO CA**

**PROJECT ID SBS 08-1010**

**ORDER NUMBER 87114**

**BUILDING PERMIT 08-2124**

**COMMERICAL FIRE SPRINKLER PERMIT 08-2910**

**QUOTE LOI**



By e-mail: [dougn@ratnaling.org](mailto:dougn@ratnaling.org)

**Final Quote for:**

**Prepared For:**

**Doug Nurnberg  
Ratna Ling Dharma Publishing  
35755 Hauser Bridge Road  
Cazadero, CA 95421  
510-809-1007**

**Summit Titan – 90'w x 160'l with Liner**

*Thursday, May 08, 2008*

**\*Rough order of magnitude pricing is designed to give you an idea of the cost range you are likely to find for a project of this nature. It is not a quote or a proposal and should only be treated as a preliminary evaluation tool. All pricing in this document is subject to change as project parameters are more clearly delineated.**



Thursday, May 08, 2008

Doug Nurnberg  
Ratna Ling Darhma Publishing

Reference: Temporary Warehouse

Per our discussion today, Summit Structures is pleased to present this new 'rough order of magnitude' proposal for you. Summit Structures is committed to providing the highest-quality, most cost-effective structure solutions.

**STRUCTURE SYSTEM:**

90'w x 160'l (14,400sf) Titan Summit Structures with trusses 20'oc and complete with:

- Galvanized Triple Coated "Gatorshield" Steel Trussed Frame
- Duraweave FR fabric – special color format – starting on left side from OH doorway: beige to 5' above grade, then green to 1' past peak, then white to grade – all DWFR 'translucent'
- (2) – Complete Flat Gable Ends – Duraweave FR beige translucent fabric
- Complete Fabric Liner System – white DWFR fabric - roof and end-wall panels
- Liner cavity ventilation system
- (1) – 10'w x 12'h OH Cargo type framed penetration – gable mounted
- (2) – Single personnel framed doorway penetrations – gable mounted
- (4) – 4' x 4' Framed 'air handling' penetrations – location T.B.D.
- (14) – Truss line hanging points for lighting
- (36) – truss line hanging points for sprinkler system
- Termination of Exterior and interior fabric with flat bar to angle steel or concrete
- Anchorage - T.B.D. (designed and approved by others, supplied by Summit\*)
- California State Stamped Engineered drawings and calculations for the structure
- Complete Installation Services Available\*
- Delivery to site – Sonoma County, CA.

**Total Purchase Price:**

**\$ 175,360.00**  
(Sales tax extra)

**Terms:** \$ 10,000.00 engineering deposit due with letter of intent. Payment terms TBD

**Delivery:** Delivery of Summit product to your site will vary subject to product availability and client's needs.

**\* Foundations/Anchorage:** Summit Structures will provide all reaction data necessary for connection of the Summit base-plate to the footing/foundation design. The footing/foundation design and type of anchorage of the base-plate is the responsibility of the client. **\*Please Note:** we are recommending and have included - engineered, epoxy, drill in place anchors in our 'supply pricing' above

**INSTALLATION SERVICES:**

Summit Structures Project Management can provide an installation supervisor. A per-diem rate of \$ 750.00/day will be charged for supervisor while on site. Air Fares, meals, accommodations, and ground transportation for supervisor is the responsibility of the client for the duration of the installation. It will be the client's responsibility to provide all manpower and equipment necessary to install the structure. (An equipment and manpower requirement list is available from Summit.

All budget prices shown are in US dollars.

**Summit has not included in their pricing the following items:**

- Any costs of federal, state or local taxes and any costs for permits, energy analysis and local engineering stamps, electrical or mechanical drawings that may be required by local officials.
- Union interaction including but not limited to negotiations, contracting, and employment or dispute resolution
- Bonding
- Any site preparation, site access, fencing, restoration of grounds, site services, utilities (to be brought on site by others and clearly marked).
- Any foundation or footings.
- Any demobilization and remobilization costs relating to other sub-trades and/or delays to site access.
- Any additional costs related by personnel and/or traffic to access site/security clearance.
- A watertight perimeter, when installing buildings, on an existing asphalt or concrete surface that was not designed and engineered specifically for the Summit Structure in regards to grading.
- Where existing surfaces cannot support construction equipment – materials, labor and equipment to prepare site for protection have not been allowed for.
- Any construction of items not listed in scope above including but not limited to: electrical, mechanical, lighting, exterior lighting, plumbing, general contracting services.
- Any penetrations by other sub-trades.
- Any site security or site fire protection
- Site survey.
- Electrical connections for accessories.
- Any safety items not specifically related to OSHA manpower protection issues': including but not limited to safety netting and the like.
- Engineering inspections & "As Built" drawings
- Any other items or issues not specifically listed in this scope of work

Best Regards,

**SUMMIT STRUCTURES US, LLC**

*Sterling Mumaw*

Sterling Mumaw – Senior Consultant  
Commercial and Industrial Projects





## Letter of Intent/Order

This Agreement made this 9th day of May, 2008, by and between Summit Structures US, LLC with a business address of 946 N. Van Buren Street, Allentown, PA 18109 (hereinafter referred to as "Summit") and Ratna Ling Dharma Publishing Company with a business address of 35755 Hauser Bridge Road, Cazadero, CA 95421 (hereinafter referred to as "Ratnaling"). Summit and Ratnaling, or Seller and Buyer, shall be collectively referred to as the "parties".

This agreement is to express Ratnaling's intent to purchase and their factory order for the following goods and services for the project described on the Summit Firm Quote of May 8, 2008 and below, and Summit's intent to provide the materials and services as listed below.

### 1. Definitions and Description of Product/s and Services.

#### Delivery and installation of one structure:

~~90'w x 160'1~~ (14,400sf) Titan Summit Structures with trusses ~~20'oc~~ and complete with:

- Galvanized Triple Coated "Gatorshield" Steel Trussed Frame
- Duraweave FR fabric – special color format – starting on left side from OH doorway: beige to 5' above grade, then green to 1' past peak, then white to grade – all DWFR 'translucent'
- (2) – Complete Flat Gable Ends – Duraweave FR beige translucent fabric
- Complete Fabric Liner System – white DWFR fabric - roof and end-wall panels
- Liner cavity ventilation system
- (1) – 10'w x 12'h OH Cargo type framed penetration – gable mounted
- (2) – Single personnel framed doorway penetrations – gable mounted
- (4) – 4' x 4' Framed 'air handling' penetrations – location T.B.D.
- (14) – Truss line hanging points for lighting
- (36) – truss line hanging points for sprinkler system
- Termination of Exterior and interior fabric with flat bar to angle steel or concrete
- Anchorage - T.B.D. (designed and approved by others, supplied by Summit\*)
- California State Stamped Engineered drawings and calculations for the structure
- Delivery to site – Cazadero, Sonoma County, CA

### 2. Price.

The price of the product and service to be paid by the Buyer per Summit Structures Firm Quote proposal dated March 20, 2007 is: \$ 175,360.00

### 3. Production Deposit.

\$ (2,000)

#### Engineering and Factory Material Order

With this agreement, Seller has received a deposit in the amount of \$ 10,000.00 from Buyer. Said deposit is required by Seller to: render project shop drawings and produce CA stamped drawings and calc's. for the structure listed in scope above.

*Handwritten initials/signature*



4. Obligations.

Ratnaling

Upon signing this agreement, buyer agrees that information provided by Summit will be kept in confidence and will not provide said information to competitive building providers.

Signed Letter of Intent w/ Engineering deposit - No Later than May 9, 2008

Signed contract with manufacturing deposit of \$ 78,180.00 - No later than May 16, 2008

Summit

Summit will immediately start shop and engineering drawings and release the order to manufacturing by or before Monday May 19, 2008, targeting delivery by week of June 9-13, 2008

5. Limits of Liability.

This agreement will be considered null and void in the event buyer is unable to execute a material and service contract for reasons of: failure to secure adequate financing, failure to secure permits and force majeure.

**Ratna Ling Dharma Publishing**

By: Douglas A. Deery

Title: Project MGR

Signature: [Handwritten Signature]

Date: 6/16/08

**Summit Structures US, LLC**

By: Darcy McLean

Title: Business Director

Signature: [Handwritten Signature]

Date: June 19/08

*DM*

# **CONTRACT PAYMENT**

**MATERIAL SALES AGREEMENT**

This Agreement (hereinafter referred to as "Agreement") is made this 16th day of May, 2008, by and between **Summit Structures U.S., LLC** located at 946 N. Van Buren Street, Allentown, PA 18109 (hereinafter referred to as "Seller") and **Ratna Ling Dharma Publishing Company** with a business address of 35755 Hauser Bridge Road, Cazadero, CA 95421 (hereinafter referred to as Buyer" ). Seller and Buyer, hereby agree as follows:

**1.0 Scope of Work**

- 1.1 The Seller shall design, engineer, supply and deliver the product(s) (hereinafter "the Product") as specifically set forth in Seller's Scope of Work attached hereto and incorporated herein by reference as Appendix "A".
- 1.2 Buyer has reviewed and approved the drawings, specifications and calculations as provided by Seller.
- 1.3 Seller's Scope of Work is expressly limited to the plans and specifications specifically identified by Seller in 1.1.

**2.0 Delivery**

- 2.1 Seller agrees to deliver the Product F.O.B. Cazadero, CA. The Seller shall only be responsible for transportation charges to the site. Any additional transportation charges are the responsibility of the Buyer. The Buyer shall also be responsible for obtaining all necessary licenses and permits, and paying all applicable taxes and fees on the sale, delivery, installation, and use of the Product sold hereunder.

**3.0 Contract Sum**

- 3.1 Buyer shall pay to Seller as full compensation and consideration of Seller's performance of Seller's Scope of Work hereunder the sum of \$ **175,360.00** (hereinafter, the "Contract Sum"), plus or minus the net amount of all adjustments to such amount on account of Change Orders approved by the parties in accordance with paragraph 6.1, and which are due to a change in the Scope of Work.
- 3.2 Certain taxes from the sale of the Product, including taxes on transportation may be assessed by the State where delivery is made or where possession is transferred to the Buyer. Where taxes are so assessed, the Buyer agrees to pay any and all such taxes to the Seller for payment over to the State including but not limited to all sales, use, value added, property or other taxes levied upon the price, delivery, installation or sale of Seller's Product hereunder. In the event taxes are not assessed by the State where delivery is made or possession is transferred to the Buyer, the Buyer agrees to pay such taxes directly to the State and provide proof of payment to the Seller, if any. In any event, Buyer agrees to be solely responsible for the payment of any and all taxes as set

forth above and agrees to indemnify and hold Seller harmless for any applicable taxes including penalties and interests which may be assessed and defend Seller from any claims arising from the assessment of such taxes including the reimbursement of reasonable attorney's fees.

#### 4.0 Terms of Payment

The Contract Sum shall be payable to the Seller in accordance with the following terms and conditions:

- (a) \$ 10,000.00 Engineering deposit with signed Letter of Intent – May 9<sup>th</sup>, 2008
- (b) 50% of the Contract Sum minus the Engineering deposit (\$10,000.00), or \$ 87,680.00, shall be paid upon the placement of Buyer's order to purchase Seller's Product.
- (c) 40% of the Contract Sum, or \$ 70,144.00, shall be due paid upon notification that the order is ready to ship to the Buyer's site.
- (d) Final 10% balance of the Contract Sum, or \$ 17,536.00, shall be paid upon Substantial Completion of Work by Seller. "Substantial Completion" shall mean: the stage of progress of the Work at which point the Work is substantially complete and Buyer can occupy or utilize the Product in accordance with its intended use as it relates to the completed performance of the Scope of Work by Seller as provided herein, and any remaining items of Work at this point of Substantial Completion generally consists of minor finishing work and/or punch list items. The Work will not be considered Substantially Complete until a representative of Seller and Buyer perform a walk-through of the Work, and both parties sign off on Seller's Certificate of Substantial Completion.
- (e) All payments due hereunder will be paid by Buyer upon receipt of Seller's invoice. A 2% late fee on the invoice amount will be charged for any late payments. In addition, past due amounts shall bear interest at an amount of one and one-half (1.5%) percent per month. Any late payment permits Seller to stop delivery or work until payment is received by Seller in accordance with section 8.0. Seller's time for performance under this Agreement shall be extended appropriately and the Contract Sum shall be increased by the amount of Seller's reasonable costs of shutdown, delay and startup. Any such costs, including but not limited to those incurred by Seller for any changes in the time for Seller's performance, will be invoiced at cost plus ten (10%) percent.

#### 5.0 Buyer's Obligations

- 5.1 Buyer agrees to make all necessary preparations to the site to accommodate access for the delivery and staging of the Product, including but not limited to the provision of an adequate staging area (which shall be no further than one hundred (100) yards from the installation Site) and the clearing of the installation Site and the Site's perimeter, and the provision of unobstructed Site access to allow for the safe delivery of the Product. Buyer shall also provide assured Site clearances as will be needed to accommodate Seller's Scope of Work.

  
DM


- 5.2 Buyer shall apply for, procure and pay for all necessary permits, licenses, government approvals, and any other approvals which may be required by Seller's Scope of Work.
- 5.3 Buyer shall be responsible for the supply and integration of any materials, products or systems with the Seller's Product other than those as referenced in Appendix "A".
- 5.4 Buyer agrees to inspect the work of others and to notify the Seller of any deficiencies in or aspects of such work which may affect Seller's Product or Scope of Work.
- 5.5 Buyer shall provide twenty-four (24) hour site security.
- 5.6 Buyer shall be responsible for the design and supply of any foundation necessary for the performance of Seller's Scope of Work. Such foundation shall be in accordance with the engineering drawings, and shall be designed and prepared in collaboration with Seller to ensure suitability for Seller's Scope of Work.
- 5.7 Subject to Buyer's approval of Seller's written proposal, Buyer may grant Seller the right and license to take photos and/or digital recordings of the Products, both during and after completion of construction, for use by Seller in its various promotional materials, brochures, websites or web-pages, advertising, communications, publications and sales proposals, and for general marketing and financing purposes, and for profit.
- 5.8 Subject to Buyer's approval of Seller's written proposal, Buyer may permit Seller to enter the lands and access the Product at mutually agreed upon times and dates to allow Seller to conduct tours of the facility with prospective customers and business associates, and to take photos or digital recordings of the Product. Buyer's permission and provision of access for such arrangements shall not be unreasonably withheld from Seller.

## 6.0 Change Orders

- 6.1 All changes in the Seller's Scope of Work hereunder and any associated costs shall require a written Summit Change Order form which must be signed by an authorized representative of both the Buyer and Seller, and shall state the parties agreement as to the following: (a) changes in the Scope of Work; (b) the amount of the adjustment, if any, in the Contract Sum; (c) the extent of the adjustment, if any, in the time for performance of this Agreement; and (d) any other relevant matter pertaining to the change in the Work which may affect the terms of this Agreement or the Scope of Work.

## 7.0 Buyer's Representations and Warranties

7.1 Buyer has all the necessary power and authority to enter into and perform its obligations under this Agreement, and in the event that Buyer is a corporation, partnership or limited liability company, the individual executing this Agreement on behalf of Buyer represents and warrants that he is duly authorized to execute and deliver this Agreement on behalf of the Buyer, in accordance with a duly adopted resolution by the Board of Directors of said corporation, partnership or limited liability company, and that this Agreement is binding on the Buyer in accordance with its term. Either party may request of the other written proof of corporate authority.



7.2 Buyer has obtained all necessary permits or licenses and has obtained any governmental approvals or other approvals necessary for the performance of Seller's Scope of Work.

7.3 Buyer has received information from Seller concerning the nature, quality, properties and load capabilities of the Product and materials identified in Seller's Scope of Work, and based upon such information and in reliance thereon is satisfied with the suitability or structural integrity of the Product or materials to be used in Buyer's project.

7.4 Buyer has, or prior to the Substantial Completion of Seller's Scope of Work hereunder, will have reviewed and approved the engineering drawings, specifications and calculations for the Product.

7.5 Buyer has prepared the Site in a manner necessary for the performance of the Seller's Scope of Work, and Buyer represents that the condition of the Site is such that Seller can perform its Scope of Work under this Agreement without any interference, hindrance, delay or additional costs to Seller.

#### 8.0 Termination For Cause

8.1 In the event Buyer fails to make any payment when due under this Agreement for a period of thirty (30) days after notice from Seller and if Seller is not in breach of this Agreement, Seller shall have the right to stop work and give Buyer notice of default. If Buyer fails to make payment of the sums then due or overdue, including amounts that Seller incurs for the cost of shutdown, delay and startup or otherwise cure its material breach, Seller may terminate this Agreement by notice to Buyer and exercise all rights, remedies and privileges afforded under Article 9 of the Uniform Commercial Code, including the repossession and removal of the Product from the delivery site. Buyer specifically grants Seller a security interest in the Product until full and final payment is made in accordance with this Agreement. In addition, Seller may pursue any other available remedy at law or equity to enforce the payment and Buyer's obligations under this Agreement and shall be entitled to reasonable attorney's fees.

8.2 If Buyer files a petition of bankruptcy, makes a general assignment for the benefit of creditors, or if a receiver is appointed on account of Buyer's insolvency, or if Seller reasonably believes Buyer is financially unable to make any payments under this Agreement, or if Buyer otherwise breaches its material obligations under this Agreement, and Buyer does not cure such breach within the time specified in section 8.3 below, Seller may at its option, do one or more of the following:

- (a) Demand Buyer give Seller adequate assurances that it can cure the default or
- (b) Terminate the Agreement by written notice to Buyer and pursue such damage remedies as may be allowed by relevant law.
- (c) Exercise all rights, remedies and privileges afforded under Article 9 of the Uniform Commercial Code, including the repossession and removal of the Product from the delivery site.

8.3 Except as otherwise provided in section 8.1, Buyer shall have five (5) days from its receipt of written notice from Seller that it is in breach of a material obligation under this Agreement to cure said breach. Seller may immediately take one or more of the actions outlined in section 8.2 without allowing five (5) days within which to cure its breach.

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## 9.0 Non-Conforming Tender

9.1 Following the installation of the Product and upon Substantial Completion, Buyer shall have five (5) business days within which to notify Seller of Buyer's rejection of all or a portion of the Product. Such notice must state the basis of the nonconformity and describe those portions of the Product that Buyer is rejecting. Failure of Buyer to comply with this paragraph shall constitute an acceptance by Buyer of Seller's Product. Whereupon Buyer shall waive any consequential or incidental damages arising from such nonconforming tender. Further, should it be determined that Buyer wrongfully rejected Seller's Product, Seller shall be entitled to all damages recoverable at law including reasonable attorney's fees.

9.2 Upon receipt of any written notification of rejection, Seller shall have the option of either (a) replacing the nonconforming Product or a portion thereof; or (b) reducing the contract amount as appropriate and equitable by mutual agreement of Buyer and Seller. Such adjustment shall be effectual whether or not final payment has been made. In the event that Seller decides to replace the Product it shall have ninety (90) days from the date it receives notice of Buyer's rejection unless at the time of Buyer's rejection Buyer notified Seller of Buyer's refusal to accept a replacement Product.

## 10.0 Warranties

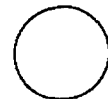
10.1 Except as otherwise addressed in the following sentence, it is understood that Buyer shall have no claim against the Seller regarding any materials supplied unless such claim is made in writing to Seller within twelve (12) months of completion. Buyer retains the ability to file a warranty claim on any defective materials which are covered in Seller's written Warranty. Buyer further agrees that any modifications to Seller's Product by the Buyer, or on Buyer's behalf, including but not limited to any drilling of the frame for mounting, attaching, suspending accessories or penetration of the inner or outer membrane for ventilation, ducting, piping or electrical wiring, will void any Warranties unless such modifications have been pre-approved by Seller in writing. Seller acknowledges and agrees that it has pre-approved all items enumerated and included in Seller's Scope of Work attached hereto as Appendix "A". Further, Buyer agrees to indemnify and hold Seller harmless for any and all claims or damages arising from any unauthorized modifications.

10.2 Any warranties provided for in this Agreement are expressly conditioned upon the installation of the Product by **Summit Structures US, LLC** or the use of at least one of Seller's technical representatives to provide advice on installation. However, should Buyer elect to not comply with this condition then such warranties shall be void and of no effect whatsoever.

10.3 The warranty period for any warranty provided hereunder shall commence on the date of Certificate of Substantial Completion.

## 11.0 Limitation of Liability

11.1 The warranties set forth in this Agreement are exclusive and in lieu of all other warranties expressed or implied by law or trade usage including any implied warranties of merchantability or fitness for a particular purpose. Except to the extent provided for in this Agreement, Seller shall not be liable for any incidental or consequential damages including but not limited to loss



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of use or loss of anticipated profits. Limitations and waivers established in this Agreement shall be effective whether any claim arises in contract, tort, Product liability or otherwise.

## 12.0 Risk of Loss

12.1 Any risk of loss or damages associated with Seller's Product remains with Seller until the time of delivery. Any risk and responsibility shall then be assumed by the Buyer. Further, the risk of loss remains with the Buyer in the event the Product is subsequently returned to Seller and until it has been received by Seller.

## 13.0 Delays

13.1 In the event Seller elects to stop delivery or work pursuant to this Agreement, or in the event performance is delayed through no fault of the Seller, Seller's time for performance under this Agreement shall be extended appropriately and the Contract Sum shall be increased by the amount of Seller's reasonable costs of shut down, delay and startup. Any such costs, including but not limited to labor, material, overhead and other costs incurred by Seller for any changes in the time for Seller's performance, will be invoiced at cost plus ten (10%) percent.

13.2 The time allotted by this Agreement for performance by Seller of its obligations shall be extended for each day of delay caused by reason of fire, flood, earthquake, other act of god, civil disturbance, riot, hurricane, tornado, war, epidemic, labor dispute, act of terrorism, order of any court or administrative body, *force majeure*, or any other cause beyond Seller's control and without fault on the part of Seller or Buyer which could not have been reasonably anticipated or avoided. In such cases, costs for shut down, delay and startup shall be equally apportioned between Buyer and Seller

## 14.0 No Lien Contract

Notwithstanding anything to the contrary contained in this Agreement or any other contract document between or among the Buyer, any owner or general contractor, the Seller specifically reserves and does not waive, release or relinquish any rights it may have under any applicable Mechanics' Lien Law.

## 15.0 Miscellaneous

15.1 This Agreement constitutes the entire Agreement between the parties with respect the subject matter hereof, and merges, and supersedes all prior negotiations, discussions, representations, warranties, offers and agreements between the parties with respect to such subject matter.

15.2 This Agreement shall be governed by the laws of the Commonwealth of Pennsylvania without regard to its choice of law rules.

15.3 This Agreement may be amended only by a written instrument signed by a duly authorized representative of the Seller and Buyer. Failure of either party to insist on one or more occasions to upon the strict performance of obligations owed hereunder by the other party shall not waive or release such party's right to insist on strict performance of such obligation in the future.

○ *DM*



15.4 This Agreement shall be binding upon the parties and their successors and assigns, but no party shall make any sale, assignment, mortgage, pledge or other transfer of all or any portion of its right hereunder without prior written consent of the other party.

15.5 If any portion of this Agreement shall be held invalid or unenforceable the balance of this Agreement shall be enforced without regard as such invalid provisions.

15.6 This Agreement may be signed in duplicate, counterparts and upon execution and delivery by each party of at least one such duplicate counterpart, shall be as binding as though both parties had signed a single copy.

15.7 Section headings provided in any of this Agreement are provided solely for the convenience of the reader and shall not be considered or utilized in any fashion in connection with any interpretation or enforcement.

15.8 Should any arbitration or litigation be commenced between the parties to this Agreement concerning the rights and duties of either party in relation to this Agreement, the prevailing party in the arbitration or litigation shall be entitled to (in addition to any other relief that may be granted) a reasonable sum as and for attorneys' fees in the arbitration or litigation, which sum shall be determined by the court or other person presiding in the arbitration or litigation or in a separate action brought for that purpose.

15.9 *Notices:* Any notices required or permitted by the terms of this Agreement shall be in writing and shall be sufficiently given if personally delivered, if transmitted by facsimile or email, or if sent by pre-paid registered mail:

(a) In the case of Seller, to the attention of either:

Darcy McLean (*Director of Summit Structures*)  
Email: [dmclean@summitstructures.com](mailto:dmclean@summitstructures.com); or

Ryan Widger (*Project Manager*)  
Email: [rwidger@summitstructures.com](mailto:rwidger@summitstructures.com)

c/o Summit Structures  
946 N. Van Buren Street  
Allentown, PA 18109  
Toll Free Fax (877) 413-7189

(b) In the case of Buyer, to the attention of:

Doug Nurnberg (*Project Manager*)  
Email: [dougn@ratnaling.org](mailto:dougn@ratnaling.org)

RATNA LING DHARMA PUBLISHING COMPANY  
35755 Hauser Bridge Rd.  
Cazadero, CA 95421

## 16.0 Indemnification

16.1 To the fullest extent permitted by law, and to the extent not covered by insurance, the Buyer shall indemnify and hold harmless Seller, its agents and employees from any claims, damages, losses and expenses, including but not limited to reasonable attorney's fees arising out of or resulting from Seller's performance under this Agreement,

○ DM

providing that such claim, damage, loss or expense contribute to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, but only to the extent caused by the negligent acts or omissions of the Buyer, Buyer's subcontractor(s), anyone directly or indirectly employed by them, or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expenses caused in part by a party indemnified hereunder. Such obligations shall not be construed to negate, abridge, or reduce other rights or obligations of indemnity which would otherwise exist as to a party or person described herein.

16.2 In claims against any person or entity indemnified under this paragraph by employee of the Buyer, Buyer's subcontractor(s), anyone directly or indirectly employed by them or anyone for whose acts they may be liable, the indemnification obligation under paragraph 16.1 shall not be limited by a limitation on amount or type of damages, compensation of benefits, payable by or for the Buyer, or Buyer's subcontractor(s) under worker's compensation acts, disability benefit act, or other employee benefit acts.

IN WITNESS WHEREOF, THE PARTIES HAVE CAUSED THIS AGREEMENT TO BE EXECUTED ON THE DATE FIRST SET FORTH ABOVE.

ATTEST:

Ratna Ling Dharma Publishing Co.

By: Dora Nuñez

Title: Project Mgr

Signature: [Signature]

Date: 6/16/09

Summit Structures US, LLC

By: Darlyn McLean

Title: Business Director

Signature: [Signature]

Date: June 19/09

(DN)

## Appendix "A"

**Scope of Work – Supply - Seller shall supply the following Products to the Buyer's site:**

**90'w x 160'l (14,400sf) Titan Summit Structures with trusses 20'oc and complete with:**

- Galvanized Triple Coated "Gatorshield" Steel Trussed Frame
- Duraweave FR fabric – special color format – starting on left side from OH doorway: beige to 5' above grade, then green to 1' past peak, then white to grade – all DWFR 'translucent'
- (2) – Complete Flat Gable Ends – Duraweave FR beige translucent fabric
- Complete Fabric Liner System – white DWFR fabric - roof and end-wall panels
- Liner cavity ventilation system
- (1) – 10'w x 12'h OH Cargo type framed penetration – gable mounted
- (2) – Single personnel framed doorway penetrations – gable mounted
- (4) – 4' x 4' Framed 'air handling' penetrations – location T.B.D.
- (14) – Truss line hanging points for lighting
- (36) – truss line hanging points for sprinkler system
- Termination of Exterior and interior fabric with flat bar to angle steel or concrete
- Anchorage - T.B.D. (designed and approved by others, supplied by Summit\*)
- California State Stamped Engineered drawings and calculations for the structure
- Delivery to site – Sonoma County, CA

\* **Foundations/Anchorage:** Summit Structures will provide all reaction data necessary for connection of the Summit base-plate to the footing/foundation design. The footing/foundation design and type of anchorage of the base-plate is the responsibility of the client. \*Please Note: we are recommending and have included - engineered, epoxy, drill in place anchors in our 'supply pricing' above

**Summit has not included in its Scope of Work or pricing the following items:**

- Any costs of federal, state or local taxes and any costs for permits, energy analysis and local engineering stamps, electrical or mechanical drawings that may be required by local officials.
- Union interaction including but not limited to negotiations, contracting, and employment or dispute resolution
- Bonding
- Any site preparation, site access, fencing, restoration of grounds, site services, utilities (to be brought on site by others and clearly marked).
- Any foundation or footings.
- Any demobilization and remobilization costs relating to other sub-trades and/or delays to site access.
- Any additional costs related by personnel and/or traffic to access site/security clearance.
- A watertight perimeter, when installing buildings, on an existing asphalt or concrete surface that was not designed and engineered specifically for the Summit Structure in regards to grading.
- Where existing surfaces cannot support construction equipment – materials, labor and equipment to prepare site for protection have not been allowed for.
- Any construction of items not listed in scope above including but not limited to: electrical, mechanical, lighting, exterior lighting, plumbing, general contracting services.
- Any penetrations by other sub-trades.
- Any site security or site fire protection
- Site survey.
- Electrical connections for accessories.
- Any safety items not specifically related to OSHA manpower protection issues': including but not limited to safety netting and the like.




**Engineering inspections & "As Built" drawings**

Any other items or issues not specifically listed in this scope of work

**Seller shall provide the following services related to the Work and Installation of the Product on the Buyer's Site:**

Pursuant to a separate contract, Seller shall supply a technical supervisor at a rate of \$750.00 per day to oversee and advise Buyer-provided installation crew on best methods to install the Product on the footers and/or foundations installed by Buyer.

Any drawings, specifications or calculations are submitted for purposes of the installation of the Products or materials only. The Seller is not a licensed architect, structural engineer or design professional, renders no opinion regarding the structural integrity or suitability of the materials or the Product for the project of which the material or Product is being utilized, and specifically disclaims any responsibility thereof.

(DN) JPM

Temp 3 90x180

SO# 53504-1010

5/12/2008

Summit Structures US

ck # 4680

\*\*87,680.00

Eighty-Seven Thousand Six Hundred Eighty and 00/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

Invoice # 415

Summit Structures US

5/12/2008

87,680.00

RL Donor WFB 6018-

# 7

87,680.00

Summit Structures US

5/12/2008

87,680.00

Temp 3

ck 4680

87,680

5002

70,144

5103\*

17536

175360

RL Donor WFB 6018-

include

Tech top charges of 433193

87,680.00

8/11/2008

Summit Structures US

*ck # 5002*

\*\*70,144.00

Seventy Thousand One Hundred Forty-Four and 00/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

Temp Building #3

*invoice 443*

Summit Structures US

Temp Building #3

8/11/2008

70,144.00

RL Donor WFB 6018- Temp Building #3

70,144.00

Summit Structures US

Temp Building #3

8/11/2008

70,144.00

RL Donor WFB 6018- Temp Building #3

70,144.00

8/28/2008

Summit Structures US

*check # 5103*

\*\*21,867.93

Twenty-One Thousand Eight Hundred Sixty-Seven and 93/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

Temp Building #3

*INVOICE 480*

Summit Structures US

Temp Building #3

8/28/2008

21,867.93

RL Donor WFB 6018- Temp Building #3

21,867.93

Summit Structures US

Temp Building #3

8/28/2008

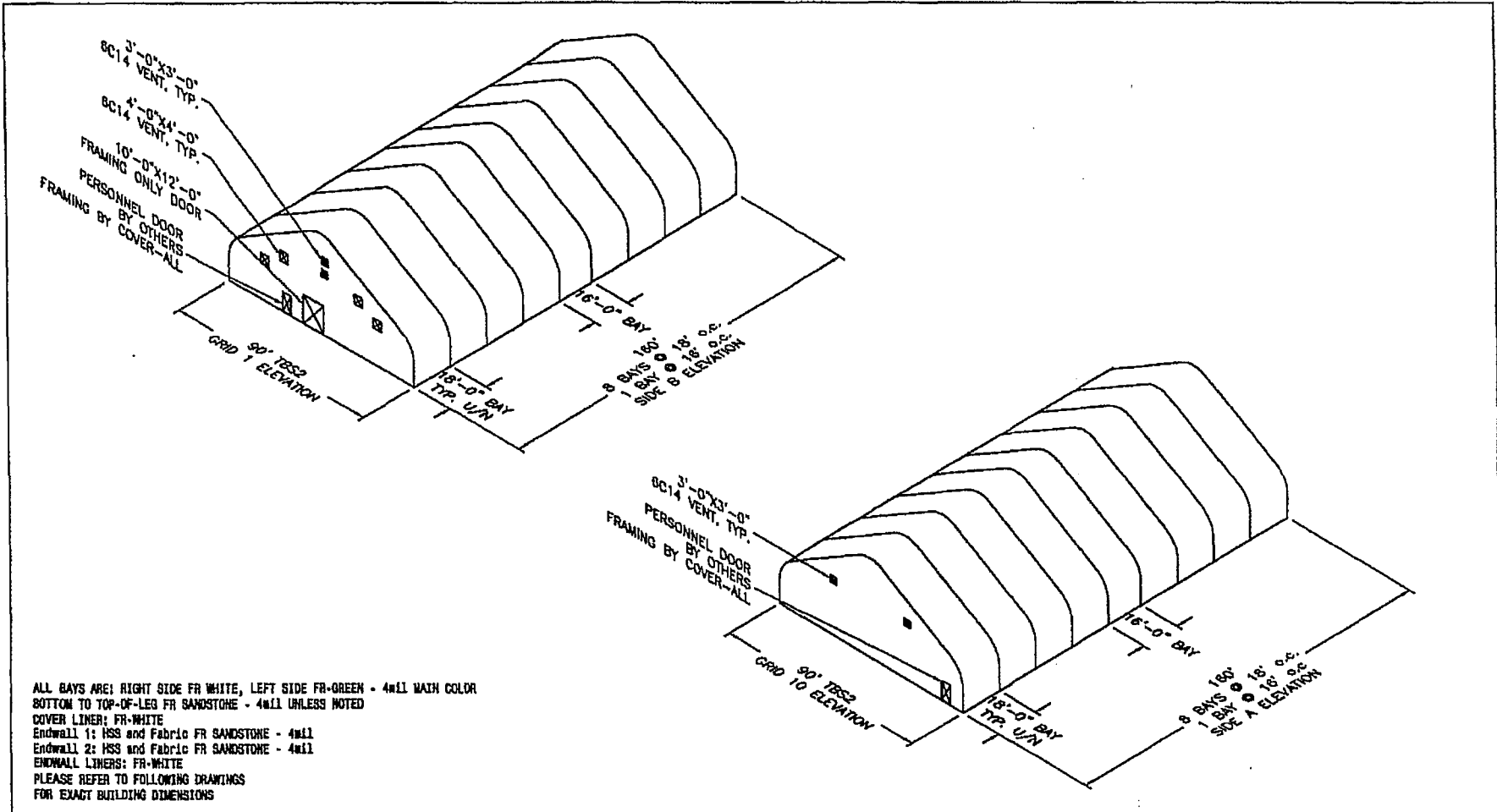
21,867.93

RL Donor WFB 6018- Temp Building #3

21,867.93

**ENG  
SUMMARY  
QA  
RECORDS**





ALL BAYS ARE: RIGHT SIDE FR WHITE, LEFT SIDE FR-GREEN - 4mil MATH COLOR  
 BOTTOM TO TOP-OF-LEG FR SANDSTONE - 4mil UNLESS NOTED  
 COVER LINER: FR-WHITE  
 Endwall 1: HSS and Fabric FR SANDSTONE - 4mil  
 Endwall 2: HSS and Fabric FR SANDSTONE - 4mil  
 ENDWALL LINERS: FR-WHITE  
 PLEASE REFER TO FOLLOWING DRAWINGS  
 FOR EXACT BUILDING DIMENSIONS

1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08
REV.	DESCRIPTION	BY	DATE


OFFICE: SUMMIT STRUCTURES US LLC  
 CUSTOMER: RATNA LING DHARMA PUBLISHING - WHOLESALE CAZADERO, CA  
 PROJECT: WAREHOUSE

PROJECT ID: SBS 08-1010      ORDER ID: 87114

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DRAWN BY: S SOBOTKA      DATE: 29 MAY 08  
 CHECKED BY:      DATE:     

SCALE: N.T.S.

**SUMMIT STRUCTURES**

PH: 1-877-413-7107      FAX: 1-877-413-7100  
 WEBSITE: [www.summitstructures.com](http://www.summitstructures.com)      E-MAIL: [info@summitstructures.com](mailto:info@summitstructures.com)

DRAWING TITLE: PROJECT LAYOUT      SHEET: FB-3      REVISION: 1

Sales Order	Line Number	Line Type	Work Order	QA Name	QA Value
SO87114	200	Cover	WO59946	Correct Crown	3"
SO87114	200	Cover	WO59946	Pull Pocket Notches (North)	na
SO87114	200	Cover	WO59946	Tension Pocket Placement (South)	63' 11"
SO87114	200	Cover	WO59946	Additional Tension Pocket (North)	na
SO87114	200	Cover	WO59946	Centre marking	yes
SO87114	200	Cover	WO59946	Tension Pocket Placement (North)	63' 9 3/4"
SO87114	200	Cover	WO59946	Pull Pocket Notches (South)	na
SO87114	200	Cover	WO59946	Panels Shingled from Center (North)	yes
SO87114	200	Cover	WO59946	Main Panel Block Length (South)	63' 7 1/4"
SO87114	200	Cover	WO59946	Product Label	bay#1
SO87114	200	Cover	WO59946	Main Block Color	frgr/D80528043/frwh/D805300146/frss/D80522024
SO87114	200	Cover	WO59946	Truss cover placement	m/m
SO87114	200	Cover	WO59946	Main Panel Block Length (North)	63' 6 1/2"
SO87114	200	Cover	WO59946	Visual inspection completed by foreman	2095
SO87114	200	Cover	WO59946	Panels Shingled from Center (South)	yes
SO87114	200	Cover	WO59946	X Marked on Pull Pocket	yes
SO87114	200	Cover	WO59946	Tension Pocket Notches (North)	na
SO87114	200	Cover	WO59946	Raw Panel Width (South)	18' 2 3/8"
SO87114	200	Cover	WO59946	Additional Tension Pocket (South)	na
SO87114	200	Cover	WO59946	Raw Panel Width (North)	18' 2 3/8"
SO87114	200	Cover	WO59946	Tension Pocket Notches (South)	na
SO87114	200	Cover	WO59946	Machine Speed	31
SO87114	200	Cover	WO59946	Keder Weld	g
SO87114	200	Cover	WO59946	Product Label	g
SO87114	200	Cover	WO59946	Finished Panel Width	17' 9 7/8"
SO87114	200	Cover	WO59946	Machine Temperature	914
SO87114	201	Cover	WO59965	Correct Crown	3"
SO87114	201	Cover	WO59965	Product Label	bay#3
SO87114	201	Cover	WO59965	Raw Panel Width (North)	18' 2 3/8"
SO87114	201	Cover	WO59965	Additional Tension Pocket (South)	na
SO87114	201	Cover	WO59965	Tension Pocket Notches (South)	na
SO87114	201	Cover	WO59965	Main Panel Block Length (South)	63' 7 1/4"
SO87114	201	Cover	WO59965	Additional Tension Pocket (North)	na
SO87114	201	Cover	WO59965	Panels Shingled from Center (North)	yes
SO87114	201	Cover	WO59965	Pull Pocket Notches (South)	na
SO87114	201	Cover	WO59965	Tension Pocket Placement (North)	63' 11"
SO87114	201	Cover	WO59965	Pull Pocket Notches (North)	na
SO87114	201	Cover	WO59965	Raw Panel Width (South)	18' 2 3/8"
SO87114	201	Cover	WO59965	Visual inspection completed by foreman	2095
SO87114	201	Cover	WO59965	Centre marking	yes
SO87114	201	Cover	WO59965	X Marked on Pull Pocket	yes
SO87114	201	Cover	WO59965	Truss cover placement	m/f
SO87114	201	Cover	WO59965	Main Block Color	frgr/D80528043/frwh/D80530014/frss/D80522024
SO87114	201	Cover	WO59965	Main Panel Block Length (North)	63' 6 1/2"
SO87114	201	Cover	WO59965	Tension Pocket Placement (South)	63' 11"
SO87114	201	Cover	WO59965	Tension Pocket Notches (North)	na
SO87114	201	Cover	WO59965	Panels Shingled from Center (South)	yes
SO87114	201	Cover	WO59965	Keder Weld	g
SO87114	201	Cover	WO59965	Machine Temperature	9
SO87114	201	Cover	WO59965	Product Label	g
SO87114	201	Cover	WO59965	Finished Panel Width	17' 9 7/8"
SO87114	201	Cover	WO59965	Machine Speed	g
SO87114	201	Cover	WO59965	Correct Crown	3"
SO87114	201	Cover	WO59965	Tension Pocket Notches (South)	na
SO87114	201	Cover	WO59965	Tension Pocket Placement (North)	63' 9 3/4"
SO87114	201	Cover	WO59965	Main Panel Block Length (South)	63' 7 1/4"
SO87114	201	Cover	WO59965	Panels Shingled from Center (South)	yes
SO87114	201	Cover	WO59965	Additional Tension Pocket (North)	na
SO87114	201	Cover	WO59965	Additional Tension Pocket (South)	na
SO87114	201	Cover	WO59965	Centre marking	yes
SO87114	201	Cover	WO59965	Tension Pocket Notches (North)	na
SO87114	201	Cover	WO59965	Pull Pocket Notches (South)	na
SO87114	201	Cover	WO59965	Main Block Color	frgr/D80528043/frwh/D80530014/D80522024
SO87114	201	Cover	WO59965	Product Label	bay#7
SO87114	201	Cover	WO59965	Tension Pocket Placement (South)	63' 11"
SO87114	201	Cover	WO59965	Main Panel Block Length (North)	63' 7 1/4"
SO87114	201	Cover	WO59965	Raw Panel Width (South)	18' 2 3/8"
SO87114	201	Cover	WO59965	Truss cover placement	m/f
SO87114	201	Cover	WO59965	Visual inspection completed by foreman	2095
SO87114	201	Cover	WO59965	Panels Shingled from Center (North)	yes
SO87114	201	Cover	WO59965	Raw Panel Width (North)	18' 2 3/8"
SO87114	201	Cover	WO59965	Pull Pocket Notches (North)	na
SO87114	201	Cover	WO59965	X Marked on Pull Pocket	yes
SO87114	201	Cover	WO59965	Finished Panel Width	17' 9 7/8"
SO87114	201	Cover	WO59965	Machine Temperature	g
SO87114	201	Cover	WO59965	Machine Speed	g
SO87114	201	Cover	WO59965	Product Label	g
SO87114	201	Cover	WO59965	Keder Weld	g
SO87114	201	Cover	WO59967	Correct Crown	3"
SO87114	201	Cover	WO59967	Panels Shingled from Center (North)	yes

SO87114	201 Cover	WO59967	Centre marking	yes
SO87114	201 Cover	WO59967	Raw Panel Width (South)	18' 2 3/8"
SO87114	201 Cover	WO59967	Additional Tension Pocket (South)	na
SO87114	201 Cover	WO59967	Product Label	bay#9
SO87114	201 Cover	WO59967	Main Panel Block Length (South)	63' 7 1/4"
SO87114	201 Cover	WO59967	Main Panel Block Length (North)	63' 6 1/2"
SO87114	201 Cover	WO59967	Tension Pocket Notches (South)	na
SO87114	201 Cover	WO59967	Visual inspection completed by foreman	2095
SO87114	201 Cover	WO59967	Pull Pocket Notches (North)	na
SO87114	201 Cover	WO59967	X Marked on Pull Pocket	yes
SO87114	201 Cover	WO59967	Additional Tension Pocket (North)	na
SO87114	201 Cover	WO59967	Tension Pocket Notches (North)	na
SO87114	201 Cover	WO59967	Truss cover placement	m/f
SO87114	201 Cover	WO59967	Tension Pocket Placement (South)	63' 11"
SO87114	201 Cover	WO59967	Tension Pocket Placement (North)	63' 9 3/4"
SO87114	201 Cover	WO59967	Pull Pocket Notches (South)	na
SO87114	201 Cover	WO59967	Main Block Color	frgr/D80528043/frwh/D80530014/frss/D8022024
SO87114	201 Cover	WO59967	Raw Panel Width (North)	18' 2 3/8"
SO87114	201 Cover	WO59967	Panels Shingled from Center (South)	yes
SO87114	201 Cover	WO59967	Keder Weld	g
SO87114	201 Cover	WO59967	Machine Temperature	g
SO87114	201 Cover	WO59967	Machine Speed	g
SO87114	201 Cover	WO59967	Product Label	g
SO87114	201 Cover	WO59967	Finished Panel Width	17' 9 7/8"
SO87114	201 Cover	WO59968	Correct Crown	3"
SO87114	201 Cover	WO59968	Tension Pocket Placement (South)	63' 11"
SO87114	201 Cover	WO59968	Main Block Color	frgr/D80528043/frwh/D80530014/frss/D80522024
SO87114	201 Cover	WO59968	Raw Panel Width (South)	18' 2 3/8"
SO87114	201 Cover	WO59968	Additional Tension Pocket (North)	na
SO87114	201 Cover	WO59968	Truss cover placement	m/f
SO87114	201 Cover	WO59968	Panels Shingled from Center (South)	yes
SO87114	201 Cover	WO59968	Tension Pocket Notches (South)	na
SO87114	201 Cover	WO59968	Main Panel Block Length (South)	63' 7 1/4"
SO87114	201 Cover	WO59968	Product Label	bay#6
SO87114	201 Cover	WO59968	X Marked on Pull Pocket	yes
SO87114	201 Cover	WO59968	Additional Tension Pocket (South)	na
SO87114	201 Cover	WO59968	Pull Pocket Notches (North)	na
SO87114	201 Cover	WO59968	Tension Pocket Notches (North)	na
SO87114	201 Cover	WO59968	Tension Pocket Placement (North)	63' 9 3/4"
SO87114	201 Cover	WO59968	Centre marking	yes
SO87114	201 Cover	WO59968	Raw Panel Width (North)	18' 2 3/8"
SO87114	201 Cover	WO59968	Main Panel Block Length (North)	63' 6 1/2"
SO87114	201 Cover	WO59968	Visual inspection completed by foreman	2095
SO87114	201 Cover	WO59968	Panels Shingled from Center (North)	yes
SO87114	201 Cover	WO59968	Pull Pocket Notches (South)	na
SO87114	201 Cover	WO59968	Product Label	g
SO87114	201 Cover	WO59968	Machine Speed	g
SO87114	201 Cover	WO59968	Keder Weld	g
SO87114	201 Cover	WO59968	Machine Temperature	g
SO87114	201 Cover	WO59968	Finished Panel Width	17' 9 7/8"
SO87114	201 Cover	WO59969	Correct Crown	3"
SO87114	201 Cover	WO59969	Main Panel Block Length (South)	63' 6 1/2"
SO87114	201 Cover	WO59969	Additional Tension Pocket (North)	na
SO87114	201 Cover	WO59969	Tension Pocket Placement (South)	63' 11"
SO87114	201 Cover	WO59969	Centre marking	yes
SO87114	201 Cover	WO59969	Panels Shingled from Center (North)	yes
SO87114	201 Cover	WO59969	Truss cover placement	m/f
SO87114	201 Cover	WO59969	Product Label	bay#8
SO87114	201 Cover	WO59969	Tension Pocket Placement (North)	63' 9 3/4"
SO87114	201 Cover	WO59969	Pull Pocket Notches (North)	na
SO87114	201 Cover	WO59969	Visual inspection completed by foreman	2095
SO87114	201 Cover	WO59969	Main Panel Block Length (North)	63' 6 1/2"
SO87114	201 Cover	WO59969	Raw Panel Width (North)	18' 2 3/8"
SO87114	201 Cover	WO59969	Panels Shingled from Center (South)	yes
SO87114	201 Cover	WO59969	Tension Pocket Notches (South)	na
SO87114	201 Cover	WO59969	X Marked on Pull Pocket	yes
SO87114	201 Cover	WO59969	Additional Tension Pocket (South)	na
SO87114	201 Cover	WO59969	Main Block Color	frgr/D80528043/frwh/D80530014/frss/D80522024
SO87114	201 Cover	WO59969	Tension Pocket Notches (North)	na
SO87114	201 Cover	WO59969	Pull Pocket Notches (South)	na
SO87114	201 Cover	WO59969	Raw Panel Width (South)	18' 2 3/8"
SO87114	201 Cover	WO59969	Keder Weld	g
SO87114	201 Cover	WO59969	Product Label	g
SO87114	201 Cover	WO59969	Machine Speed	g
SO87114	201 Cover	WO59969	Finished Panel Width	17' 9 7/8"
SO87114	201 Cover	WO59969	Machine Temperature	g
SO87114	201 Cover	WO59970	Correct Crown	3"
SO87114	201 Cover	WO59970	Tension Pocket Placement (North)	63' 9 3/4"
SO87114	201 Cover	WO59970	Panels Shingled from Center (South)	yes
SO87114	201 Cover	WO59970	Truss cover placement	m/f
SO87114	201 Cover	WO59970	X Marked on Pull Pocket	yes

# DRAWINGS

Retina Ling Dharma Publishing  
 35755 Hauser Bridge Road Cazadero, CA  
 SUMMIT STRUCTURES - USA  
 ALLESTOWN, PA  
 Cover-All Building Systems Inc.  
 3815 Runshawlin Rd. Saksatoon, IN  
 35755 Hauser Bridge Road Cazadero, CA  
 1832 - Titan Building  
 90' x 180' @ 16'7 1/8" o.c. (177.432m x 48.378m @ 4.878m/5.432m o.c.)  
 2007 California Building Code  
 Industrial Moderate hazard  
 Type II B  
 Fabric Type: FR

2. DESIGN STANDARDS  
 International Building Code 2003 (IBC 2003), Chapter 16: Structural Design  
 ANSI/AISC 360-05, Specifications for Structural Steel Buildings  
 AISI-Truss, North American Specification for the Design of Cold-Formed Steel Structural Members  
 NFPA 701, Standard Methods of Fire Tests for Flame Propagation of Textiles and Films, 2004 Edition

3. MANUFACTURING STANDARDS  
 Fabrication in accordance with ANSI/AISC 360-05 and AISI-Truss, as applicable.  
 Welding in accordance with AWS D1.3 Structural Welding Code and AISI-Truss, as applicable  
 Cover-All Building Systems is a AWS Approved Fabricator as per BS-17 and QC17 standards  
 Welders have been qualified in accordance with QC7-93

4. DESIGN CRITERIA  
 Occupancy Category: II - Standard  
 Exposure Category: Exposure C - Fully Exposed  
 Enclosure Category: Enclosed

A) DEAD LOADS  
 I) Self-weight of building components  
 II) Collateral (hanging) load, not to exceed 3.25 psf as an allowance for mechanical, electrical calling, sprinklers, etc, or any combination thereof

B) LIVE LOADS  
 Live loads determined in accordance with section 1607 of IBC 2006  
 Minimum roof live load 17.0 psf

C) SNOW LOADS  
 Snow loads determined in accordance with section 1608 of IBC 2006  
 Ground Snow Load, Pg (1/30) 5.0 psf  
 Roof Snow Load, P<sub>r</sub> 3.2 psf  
 Exposure Factor, Ce 0.9  
 Thermal Factor, Ct 1.0  
 Importance Factor, Is 1.0

D) WIND LOADS  
 Wind loads determined in accordance with section 1609 of IBC 2006  
 Wind Speed (3-sec gust) 110 mph  
 Basic Wind Pressure, q 17.14 psf  
 Exposure Coefficient, Kz 0.87  
 Topographic Factor, Kzt 1.00  
 Directionality Factor, Kd 0.85  
 Importance Factor, Is 1.00

E) LOAD COMBINATIONS  
 Load combinations determined in accordance with section 1605 of IBC 2006

5. BASE REACTIONS  
 The maximum forces at the foundation/supports due to the site loads listed above are as follows:

At Anchor Pin	Side A		Side B	
	Horizontal (kips)	Vertical (kips)	Horizontal (kips)	Vertical (kips)
Load Case				
Dead Load (Self Weight)	0.4	1	-0.4	1
Dead Load (Collateral)	1.4	2.5	-1.4	2.5
Roof Live Load	5.2	9.7	-5.2	9.7
Snow Load (Balanced)	0.9	1.5	-0.9	1.5
Snow Load (Unbalanced)	1.3	2.1	-1.3	1.8
Wind Load (Perpendicular)	5.7	-2.5	8.8	-1.8
Wind Load (Parallel)	-7.8	-9.8	1.5	-10.0
Wind Load (Internal)	0.7	3.7	0.7	3.7

\* add 0.2 kips at tension anchor (gridlines 1, 3, 8 and 10)

At endwall column base  
 Horizontal kips  
 Wind: Parallel 4.4



THIS DRAWING INCLUDING INFORMATION HEREON, REMAINS THE PROPERTY OF COVER-ALL BUILDING SYSTEMS INC. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE SALES ORDER AND SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF COVER-ALL BUILDING SYSTEMS INC.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN CONFORMANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION INCLUDING THE PROPER USE OF TEMPORARY BRACING.

THIS BUILDING IS NOT DESIGNED TO BE LIFTED AS AN ASSEMBLED UNIT. A COVER-ALL BUILDING SYSTEMS INC. IS NOT RESPONSIBLE FOR LOSSES AND/OR DAMAGE AS A RESULT OF LIFTING THIS BUILDING. IF, HOWEVER, IT HAS BEEN DETERMINED TO LIFT THIS BUILDING IT IS THE RESPONSIBILITY OF THE PERSON, FIRM OR COMPANY CONTRACTED TO LIFT THE BUILDING TO SECURE THE SERVICES OF A QUALIFIED ENGINEER TO ENSURE THE LIFT DOES NOT DAMAGE THE BUILDING AND TO DETERMINE AND FINALIZE ALL ASPECTS OF THE LIFT INCLUDING ALL PARTS/CONNECTORS TO BE ADDED TO THE BUILDING TO FACILITATE THE LIFT.

COVER-ALL BUILDING SYSTEMS INC. IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR DAMAGES INCURRED IN THE ERECTION OF THE COMPONENTS SHOWN ON THIS DRAWING, NOR FOR THE INSPECTION OF ERECTED COMPONENTS TO DETERMINE SAME.

THIS CERTIFICATION AND ENGINEERING SEAL APPLIES ONLY TO PRODUCTS DESIGNED AND FABRICATED BY COVER-ALL BUILDING SYSTEMS INC. FOR THE LOADING CONDITIONS DESIGNATED ON THESE DRAWINGS. CONCRETE FOUNDATIONS, STEEL COMPONENTS BY OTHERS AND ERECTION SUPERVISION ARE NOT THE RESPONSIBILITIES OF COVER-ALL BUILDING SYSTEMS INC. OR THE CERTIFYING ENGINEER. ALL DOORS, WINDOWS AND ROLL-UP CURTAINS MUST BE DESIGNED TO SUPPORT THE SITE WIND LOADING AND ARE RELIED ON TO BE CLOSED IN THE EVENT OF HIGH WINDS.

ANCHOR BOLTS  
 ANCHOR BOLT DIMENSIONS ARE DETERMINED IN ACCORDANCE WITH CSA STANDARD C400-S16.1 USING Fy = 36 KSI (248 MPa). ANCHOR BOLT LENGTHS AND LOAD TRANSFER TO THE FOUNDATION ARE TO BE DETERMINED BY OTHERS.

ANCHOR BOLT PROJECTIONS BASED ON NO BROUT ARE AS FOLLOWS:

FOUNDATION MUST BE LEVEL, SQUARE AND SMOOTH. ANCHOR BOLTS MUST BE ACCURATELY PLACED AS SHOWN ON THE DRAWINGS.

FINISHED FLOOR ELEVATIONS AND UNDERSIDE OF BASE PLATE IS 100'-0" (1000.000mm) UNLESS NOTED.

ERECTION  
 THE ERECTOR MUST PROVIDE SAFE WORKING CONDITIONS AND PRACTICES CONFORMING TO ALL SAFETY REGULATIONS. ALL LIFTING DEVICES ARE TO BE SPECIFICALLY DESIGNED TO LIFT THE VARIOUS BUILDING COMPONENTS. SLINGS AND SPREADER BARS ARE TO BE USED TO PREVENT PERMANENT DEFORMATION OF ALL STRUCTURAL COMPONENTS.

ERECTION SHOULD START AT A BRACED BAY. ERECT AND TEMPORARILY SUPPORT TRUSSES. USE TEMPORARY BRACING AS REQUIRED TO ENSURE STABILITY OF THE FRAMES. INSTALL PURTINS AND CROSS BRACING, PLUMB AND SQUARE TRUSSES IN ACCORDANCE WITH C400-S16.1 AND OSHA 29 CFR PART 1926 SAFETY STANDARD FOR STEEL ERECTION.

ENSURE ALL PLUMBING REMAIN PARALLEL.

STRUCTURAL FRAMING MEMBERS ARE CONSIDERED PLUMB, LEVEL, AND ALIGNED WHEN THE VARIANCE DOES NOT EXCEED 1/300.

STRUCTURAL BOLTS  
 BOLTS IN CONNECTIONS NOT SUBJECT TO TENSION LOADS, OR WHERE LOSINGENING DUE TO VIBRATION OR LOAD FLUCTUATIONS ARE NOT DESIGN CONSIDERATIONS NEED ONLY BE SNUG TIGHTENED, WHICH IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT.

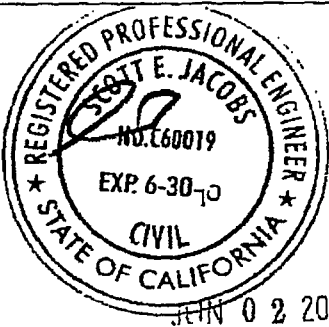
ALL BOLTS LONGER THAN 1" (25mm) DIA. CONFORM TO ASTM A325.  
 ALL OTHER DIA HEX BOLTS CONFORM TO SAE GR.5 OR EQUIVALENT.  
 ALL BOLTS SHALL BE PLATED 3 GALVANIZED OR SURFACIAL COATED.  
 ALL BOLT REFERENCES REQUIRE BOTH BOLT AND NUT.

BOLTS IN CONNECTIONS SUBJECT TO TENSION LOADS REQUIRE PRE-TENSIONING TO MINIMUM TENSION. -VALUES AS SHOWN IN THE TABLE BELOW-

SIZE	Grade 5	
	Min	Max
5/8	18	80
3/4	18	125
7/8	22	174
1-0	25	227
SIZE	A325	
	Min	Max
1 1/8	29	240
1 1/4	32	318

STRUCTURAL STEEL  
 TABLE B LISTS  
 TABLE A - TYPE  
 SIZE  
 DIA. THIN  
 Inch PWT  
 THIN  
 3/16 18  
 7/16 16  
 1/2 15  
 5/8 14  
 3/4 10  
 SIZE  
 1 1/4 7  
 MATERIAL SPECIFIC  
 BOLTED BRACKET  
 STRUCTURAL PLATE  
 PLATE 64L2  
 H.S.S. 64L2  
 COATING OF STEEL  
 OF 2.001/101  
 COATING OF TUBE  
 (100 g/m<sup>2</sup>)  
 CHROMIUM COATING  
 PROTECTION  
 WELD DRIP AND PA  
 APPEARANCE AND PA  
 ALL WELDS SHALL BE  
 WELDED TO ACCESS  
 ACCORDANCE WITH A  
 PERFORM WELD JOI  
 CROSS CHECKS - 36  
 STRUCTURAL COMPO  
 3" (76mm) W/ TUBES  
 2" (51mm) W/ TUBES  
 ALL SQUARE TUBES  
 ALL OTHER SIZE/SHA  
 FABRIC / LINES NOT  
 EXTERIOR FABRIC IN  
 FROM UNAUTHORIZED  
 PROBLEMS  
 EXTERIOR FABRIC W/1  
 SHIMMERS, ETC) IS  
 MUST BE PROVIDED AT  
 THE BUILDING AND I  
 FABRIC SPECIFIC  
 ALL WELDS SHALL BE  
 PHYSICAL  
 Base Metal  
 Coating thickness  
 Surface type  
 No lint  
 STRENGTH  
 Grad tensile strength  
 Tensile tear strength  
 Strip tensile strength  
 Mullen burst  
 Thickness  
 Hydrostatic resistance  
 Cold crack  
 Light transmission  
 UV resistance  
 Permeability  
 FIRE  
 Scale flame spread  
 Drop flame spread

DESCRIPTION	BY	DATE
REVISED BASE REACTIONS	OB	30 MAY 08
RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08



OFFICE: SUMMIT LLC  
 CUSTOMER: RATNA LING DHARMA PUBLISHING  
 PROJECT: CAZADER WAREHOUSE  
 PROJECT ID: SBS 08-1010

VALUES  
CLAMP LOADS WITH A SUGGESTED ASSEMBLY TORQUE VALUES.

Size	Proof Load	Clamp Load	Torque	
			Dry	Lube
lbs	lbs	ft.-lbs	ft.-lbs	
8000	4050	15	23	
9000	8780	50	35	
12100	9050	75	55	
17000	14400	150	110	
21300	21300	280	200	
30000	53800	1120	840	

SHS CONFORM TO CSA 040.21-4.4W (300MP).

AS TO THE FOLLOWING SPECIFICATIONS:  
S40.21/ASTM A572 GR 44 (300MP)  
S40.21/ASTM A572 GR 50 (350MP)

PLATES ARE DONE, HOT-DIPPED GALVANIZED TO A NOMINAL COATING ZINC WEIGHT OF 1.5 (3.4oz/ft<sup>2</sup>).

2MG 18-LINE, GALVANIZED TO A NOMINAL COATING ZINC WEIGHT OF 0.8 OZ/FT<sup>2</sup>

THIN FILM APPLIED OVER THE GALVANIZED SURFACE TO PROVIDE ADDITIONAL CORROSION

PROTECTION AS THE TOP SURFACE COAT TO RETARD OXIDATION, ENHANCE SURFACE A PRIMER BASE FOR SUBSEQUENT HOT-DIP ZINC APPLIED TO ALL WELDS.

DRYFILM WILL DEMONSTRATE THE ABILITY TO WITHSTAND A MINIMUM OF 2000 LT FOG TESTING TO THE CONDITION OF 5% SURFACE RED RUST, WHEN TESTED IN 17 STANDARDS.

WELDS EXTRA HIGH STRENGTH PER ASTM A475.  
WELDS TYP U/M.

PER AS FOLLOWS:

\* (813mm) C-C USING #1.06" (42mm) MEL.  
- MIN YIELD STRENGTH = 50ksi (344MPa).  
TENSILE STRENGTH = 50ksi (344MPa).  
MIN YIELD STRENGTH = 55ksi (379MPa).

MEMBER PART OF THE STRUCTURAL SYSTEM, REMOVAL OR ALTERATION WITHOUT PROHIBITED. ALL TEARS MUST BE PATCHED IMMEDIATELY TO AVOID WARRANTY

DEFLECT UNDER LOAD, THEREFORE ALL BUILDING ACCESSORIES (LIGHTING, HVAC, ETC) LOCATED BENEATH THE LOWER CHORD OF THE TRUSS. ANYTHING ABOVE THIS POINT MUST BE WRITTEN BY COVER-ALL BUILDING SYSTEMS INC. SEVERE DAMAGE TO TRUSS MAY RESULT FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

WE WILL POSSESS THE FOLLOWING MINIMUM SPECIFICATIONS:

PROPERTIES	DESCRIPTION
HDPE 1800 denier yarn	High Density Polyethylene.
180 gsm ea. side	Minimum 4 to 8 mil exterior coating on each side of base screen.
UV HDPE c/w UV	Modified Low Density Polyethylene coating with UV inhibitors.
12.5 oz. / sq yd. (410 gsm)	Minimum 12.5 oz. / sq yd.

**TEST STANDARD**

ASTM D-5034  
ASTM D-2281  
ASTM D-5005  
ASTM D-5786  
ASTM D-5198  
ASTM D-751A  
ASTM D-2138  
ASTM E-903  
ASTM D-4399  
ASTM D-4491

**TEST STANDARD**

ASTM E-84  
CANULC 6-102

DWG #	DRAWINGS TITLE	REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE
FB-1	COVER PAGE	1	28 MAY 08	2	30 MAY 08				
FB-2	BASE PLATE LAYOUT	1	28 MAY 08	2	30 MAY 08				
FB-3	PROJECT LAYOUT	1	28 MAY 08						
FB-4	BUILDING PROFILE	1	28 MAY 08						
FB-5	BIRACING LAYOUT	1	28 MAY 08	2	30 MAY 08				
FB-6	FABRIC DETAILS	1	28 MAY 08						
EW-1	ENDWALL 1	1	28 MAY 08	2	30 MAY 08				
EW-2	ENDWALL 2	1	28 MAY 08	2	30 MAY 08				
BD-1	BASE PLATE DETAILS	1	28 MAY 08						
SD-1	STANDARD DETAILS 1	1	28 MAY 08						
SD-2	STANDARD DETAILS 2	1	28 MAY 08						
ED-1	ENDWALL DETAILS 1	1	28 MAY 08						
ED-2	ENDWALL DETAILS 2	1	28 MAY 08						
LD-1	LINER DETAILS	1	28 MAY 08						
FT-1	FABRIC TERMINATION DETAILS	1	28 MAY 08						
HP-1	HANGING POINT DETAIL	1	28 MAY 08						

**ROOF PLAN NOTES**

UNLESS NOTED, USE 1/2" (13mm) BOLTS FOR PURLIN TO TRUSS, CABLE OR ROD BRACING TO TRUSS AND ANGLES TO TRUSS FOR ALL CONNECTIONS.

CABLE / ROD AND PURLIN BRACING ARE AN INTEGRAL PART OF THE TRUSSES STRUCTURAL SYSTEMS AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF FABRIC ROOF AND ENDWALL PANELS. REMOVAL OR ALTERATION OF ANY BRACING WITHOUT PRIOR AUTHORIZATION FROM COVER-ALL BUILDING SYSTEMS INC. IS PROHIBITED.

**ELEVATION NOTES**

HOLES REQUIRED IN WSS COLLARS, HEADERS OR PURLINS FOR FRAMED OPENINGS, DOOR OR WINDOW POST CONNECTION TO BE BY ERECTOR.

WALK DOOR, WINDOW AND FRAMED OPENING POSTS TO BE FIELD ANCHORED TO CONCRETE WITH #1/2" (13mm) "HEAVY RIVET-BOLTS" OR SIMILAR.

**PARTITION WALL NOTE**

FIELD INSTALLATION OF PARTITION WALL TO UNDERSIDE OF ANY ARCH FRAMING MEMBERS MUST ALLOW FOR VERTICAL BUILDING DEFLECTION. CONTACT COVER ALL BUILDING SYSTEMS INC. FOR REQUIRED CLEARANCES.

**MATERIAL STORAGE**

GALVANIZED, ALUMINIZED, AND COLORED MATERIALS ARE SUBJECT TO CORROSION AND DISCOLORATION IF THEY ARE IMPROPERLY STORED. SHORT TERM JOB SITE STORAGE OF STEEL COMPONENTS MAY BE TOLERATED, PROVIDED CARE IS TAKEN TO KEEP THE MATERIALS DRY AT ALL TIMES. WHEN TRUSSES ARE TO BE STORED OUTDOORS, THEY SHOULD BE PLACED AT AN ANGLE SUFFICIENT TO PROMOTE GOOD DRAINAGE. IN ADDITION, SEVERAL INCHES OF CLEARANCE MUST BE PROVIDED BETWEEN THE LOWER END AND THE GROUND TO ALLOW VENTILATION.

NOTE: COVER-ALL BUILDING SYSTEMS INC. WILL NOT BE HELD RESPONSIBLE FOR MATERIALS WHICH ARE IMPROPERLY PROTECTED AFTER DELIVERY.

**MANUFACTURING STANDARDS**

FABRICATION IS IN ACCORDANCE WITH CAN/CSA-S16.1 AND CAN/CSA-S136, AS APPLICABLE.

COVER-ALL BUILDING SYSTEMS INC. IS A CWB CERTIFIED DIVISION 2.1 MANUFACTURER OF TRUSSES. ALL WELDS ARE COMPLETED IN SHOP AS PER CWB STANDARD CSA W47.1 AND W58. AS PART OF OUR CWB CERTIFICATION AN INDEPENDENT THIRD PARTY TESTS OUR WELDERS AND PROCEDURES AND AUDITS OUR FACILITIES. THIS CERTIFICATION MEETS WITH ARE DT.1 AND DT.3 CRITERIA.

STRUCTURES US

NG DHARMA  
NG - WHOLESALE  
J, CA  
ISE

ORDER ID:

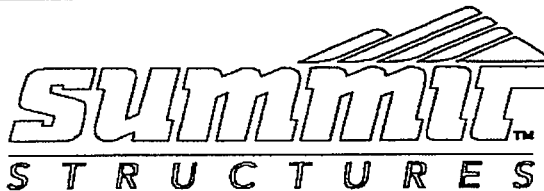
87114

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DRAWN BY: S SOBOTKA  
DATE: 29 MAY 08

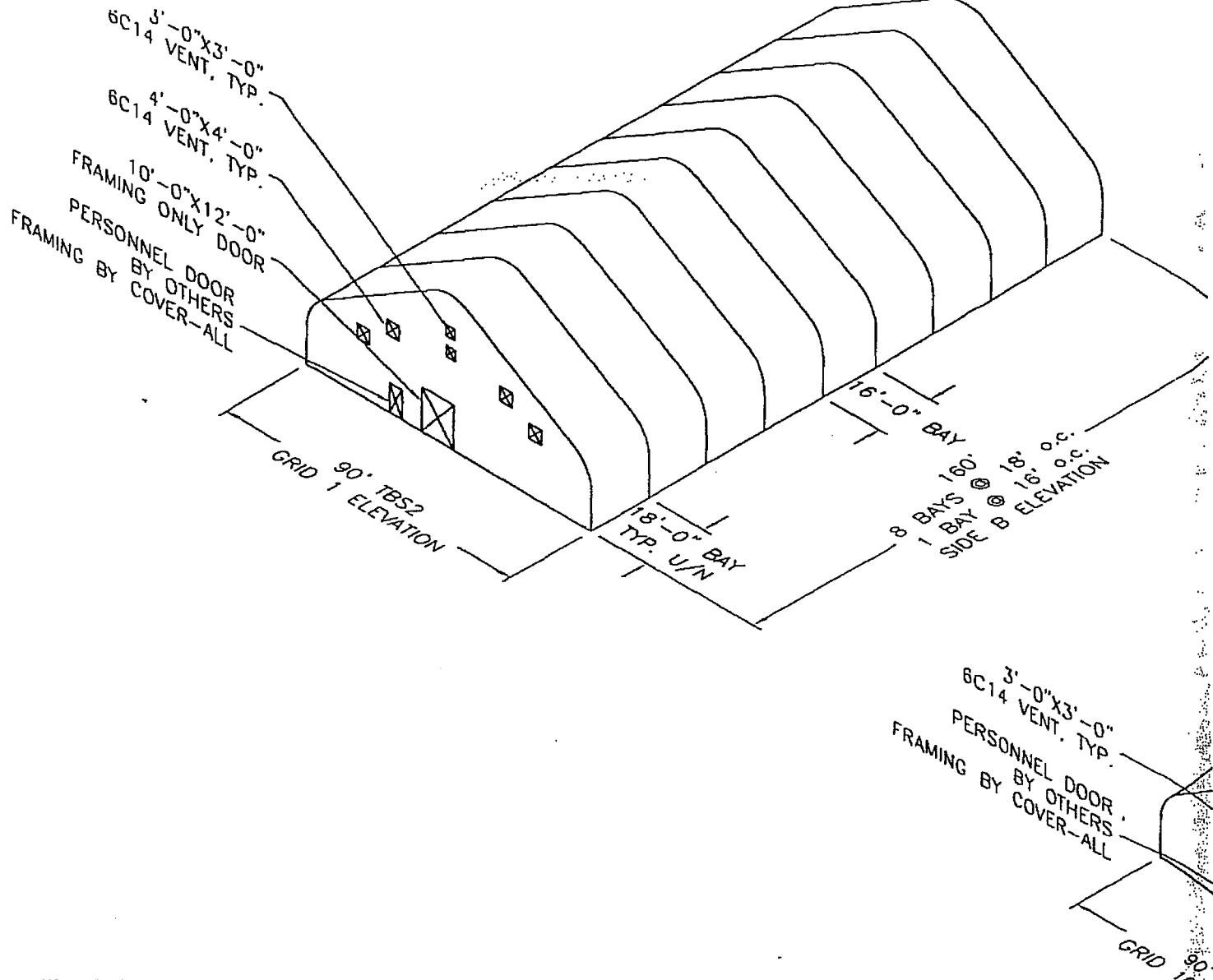
CHECKED BY: DATE:

SCALE: N.T.S.



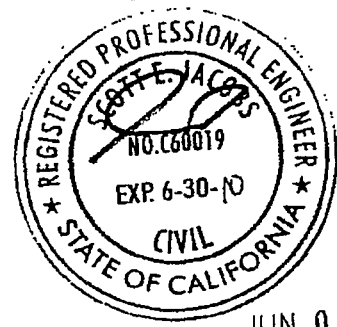
PH: 1-877-413-7197 FAX: 1-877-413-7189  
WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com

DRAWING TITLE: COVERPAGE  
DWG #: FB-1  
REVISION: 2



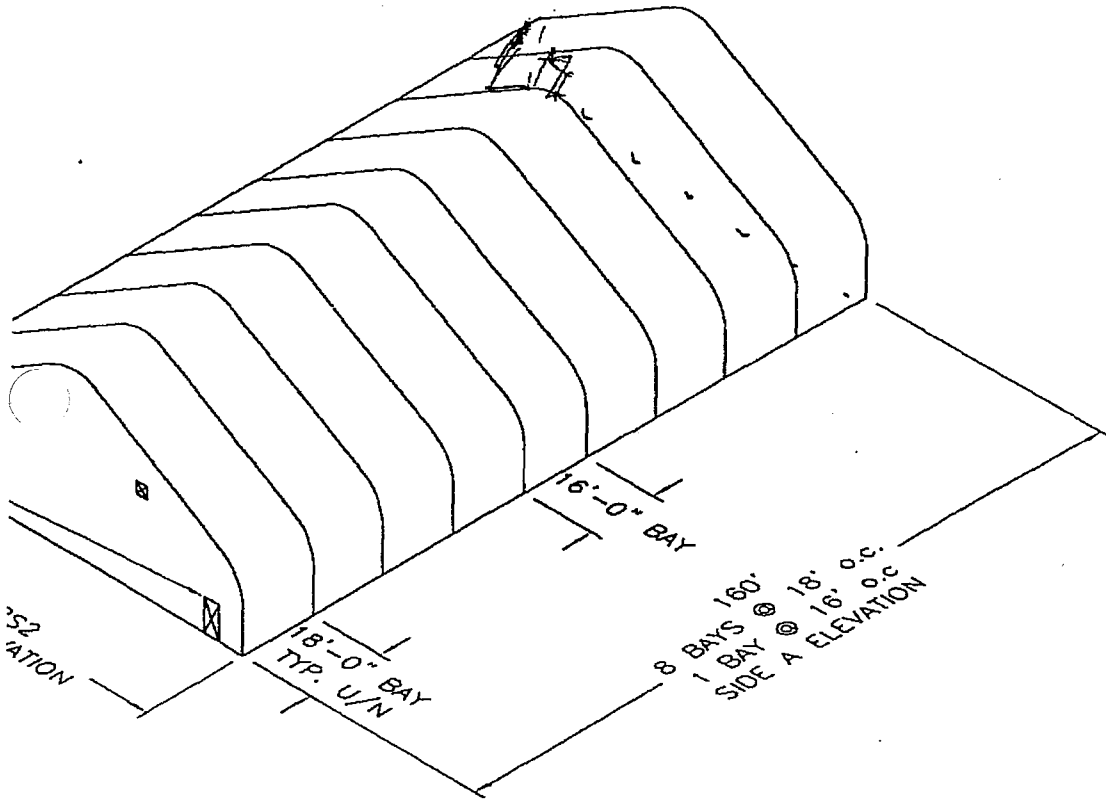
ALL BAYS ARE: RIGHT SIDE FR WHITE, LEFT SIDE FR-GREEN - 4mil MAIN COLOR  
 BOTTOM TO TOP-OF-LEG FR SANDSTONE - 4mil UNLESS NOTED  
 COVER LINER: FR-WHITE  
 Endwall 1: HSS and Fabric FR SANDSTONE - 4mil  
 Endwall 2: HSS and Fabric FR SANDSTONE - 4mil  
 ENDWALL LINERS: FR-WHITE  
 PLEASE REFER TO FOLLOWING DRAWINGS  
 FOR EXACT BUILDING DIMENSIONS

REV.	DESCRIPTION	BY	DATE
1	RELEASED FOR PRE-LIM - NOT FOR CONSTRUCTION	SS	29 MAY 08



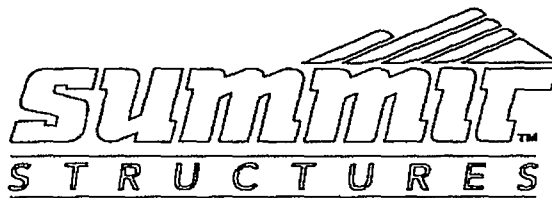
OFFICE: SUN LLC  
 CUSTOMER: RADI PUBLI CAZ/ WARI  
 PROJECT: WARI  
 PROJECT ID: SBS 08-1010

JUN 02 2008



IT STRUCTURES US

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LING DHARMA  
SHING - WHOLESALE  
ERO, CA  
IOUSE

DRAWN BY: S SOBOTKA  
DATE: 29 MAY 08

CHECKED BY: DATE:

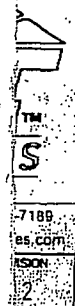
PH: 1-877-413-7197 FAX: 1-877-413-7189  
WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com

ORDER ID:  
87114

SCALE:  
N.T.S.

DRAWING TITLE:  
PROJECT LAYOUT

DWG #: FB-3  
REVISION: 1



7189  
ES.COM  
LSON  
2



**LABEL**

Lead # 03-91

Sales Order S087111

Description GRID 10MM-1

Color # 4 MIL ER WHITE

Item # 403

Date

Dealer Name:

Structures US I

# SECTION 4

**SACRED TEXT TREASURY 4**

**AKA: TENT 4**

**SUPLYED BY SUMMIT STRUCTURES US A DIVISION OF COVER-ALL**

**INSTALLED AT RATNA LING BUDDHIST RETREAT CENTER 35755  
HAUSER BRIDGE RD CAZADERO CA**

**PROJECT ID SBS 08-1015**

**ORDER NUMBER 88640**

**BUILDING PERMIT 08-3658**

**COMMERICAL FIRE SPRINKLER PERMIT 08-4334**

**QUOTE LOI**



Saturday, July 26, 2008

Doug Nurnberg  
Ratna Ling Darhma Publishing

Reference: Temporary Warehouse # 4

Below please find the firm proposal price for the 90' wide x 198' long structure to be known as 'temporary tent structure # 4' with special fabric colors. This also includes the details you faxed to us this past week. Summit Structures is committed to providing the highest-quality, most cost-effective structure solutions.

**STRUCTURE SYSTEM:**

90'w x 198'l (17,820sf) Titan Summit Structures with trusses 18'oc and complete with:

- Galvanized Triple Coated "Gatorshield" Steel Trussed Frame
- Duraweave FR fabric – special color format – starting on East side (opposite OH doorway): beige to 8'- 6" above -0- (grade), then green to 1' past peak, then white to 8'6" above -0- (grade) – then beige to -0- (grade) – all DWFR 'translucent'
- (2) – Complete Flat Gable Ends – Duraweave FR beige translucent fabric
- Complete Fabric Liner System – white DWFR fabric - roof and end-wall panels
- Liner cavity ventilation system
- (1) – 10'w x 12'h OH Cargo type framed penetration – West side-wall mounted
- (1) - Single personnel framed doorway penetrations – West side-wall mounted
- (1) – Single personnel framed doorway penetrations – South gable end-wall mounted
- (4) – 4' x 4' Framed 'air handling' penetrations – location T.B.D.
- (20) – Truss line hanging points for lighting
- (48) – truss line hanging points for sprinkler system
- Termination of exterior and interior fabric with flat bar to angle steel or concrete
- Anchorage - T.B.D. (designed and approved by others, supplied by Summit\*)
- California State Stamped Engineered drawings and calculations for the structure
- Complete Installation Services Available\*
- Delivery to site – Sonoma County, CA

**Total Purchase Price: \$ 218,420.00**  
(Tax exempt)

**Terms: \$ 10,000.00** engineering deposit due with letter of intent. Payment terms TBD

**Delivery:** Delivery of Summit product to your site will vary subject to product availability and client's needs.

\* **Foundations/Anchorage:** Summit Structures will provide all reaction data necessary for connection of the Summit base-plate to the footing/foundation design. The footing/foundation design and type of anchorage of the base-plate is the responsibility of the client. \*Please Note: we are recommending and have included - engineered, epoxy, drill in place anchors in our 'supply pricing' above



## Letter of Intent/Order

This Agreement made this 28th day of July, 2008, by and between **Summit Structures US, LLC** with a business address of 946 N. Van Buren Street, Allentown, PA 18109 (hereinafter referred to as "Summit") and **Ratna Ling Dharma Publishing Company** with a business address of 35755 Hauser Bridge Road, Cazadero, CA 95421 (hereinafter referred to as "Ratnaling" ). Summit and Ratnaling, or Seller and Buyer, shall be collectively referred to as the "parties".

This agreement is to express Ratnaling's intent to purchase and their factory order for the following goods and services for the project described on the **Summit Firm Pricing Proposal** of July 24, 2008 and below, and Summit's intent to provide the materials and services as listed below.

### 1. Definitions and Description of Product/s and Services.

#### **Delivery and installation of one structure:**

**90'w x 198'l (17,820sf) Titan Summit Structures with trusses 18'oc and complete with:**

- Galvanized Triple Coated "Gatorshield" Steel Trussed Frame
- Duraweave FR fabric – special color format – starting on East side (opposite OH doorway): **beige** to 8'-6" above -0- (grade), then **green** to 1' past peak, then **white** to 8'-6" above -0- (grade) – then **beige** to -0- (grade) – all DWFR 'translucent'
- (2) – Complete Flat Gable Ends – Duraweave FR **beige** translucent fabric
- Complete Fabric Liner System – white DWFR fabric - roof and end-wall panels
- Liner cavity ventilation system
- (1) – 10'w x 12'h OH Cargo type framed penetration – West side-wall mounted
- (1) - Single personnel framed doorway penetrations – West side-wall mounted
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- (4) – 4' x 4' Framed 'air handling' penetrations – location T.B.D.
- (20) – Truss line hanging points for lighting
- (48) – truss line hanging points for sprinkler system
- Termination of exterior and interior fabric with flat bar to angle steel or concrete
- Anchorage - T.B.D. (designed and approved by others, supplied by Summit\*)
- California State Stamped Engineered drawings and calculations for the structure
- Delivery to site – Sonoma County, CA

### 2. Price.

The price of the product and service to be paid by the Buyer per Summit Structures Firm Pricing proposal dated July 24, 2008 is: **\$ 218,420.00**

### 3. Production Deposit.

#### **Engineering and Factory Material Order**

With this agreement, Seller has received a deposit in the amount of **\$ 10,000.00** from Buyer. Said deposit is required by Seller to: render project shop drawings and produce CA stamped drawings and calc's. for the structure listed in scope above.

**4. Obligations.**

**Ratnaling**

Upon signing this agreement, buyer agrees that information provided by Summit will be kept in confidence and will not provide said information to competitive building providers.

Signed Letter of Intent w/ Engineering deposit - No Later than July 28, 2008

Signed contract with manufacturing deposit of \$ 104,210.00 - No later than August 8, 2008

**Summit**

Summit will immediately start shop and engineering drawings and release the order to manufacturing.

Release from factory for shipment by or before September 15, 2008 with trucks to arrive Sonoma County, CA

By or before September 16, 2008

**5. Limits of Liability.**

This agreement will be considered null and void in the event buyer is unable to execute a material and service contract for reasons of: failure to secure adequate financing, failure to secure permits and force majeure.

**Ratna Ling Dharma Publishing**

By: Doug Newberry

Title: Project Manager

Signature: [Signature]

Date: 7/28/2008

**Summit Structures US, LLC**

By: \_\_\_\_\_

Title: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_



# **CONTRACT PAYMENT**

CONTRACT FOR SACRED TEXT TREASURY 4  
MISSING PAGE 1

forth above and agrees to indemnify and hold Seller harmless for any applicable taxes including penalties and interests which may be assessed and defend Seller from any claims arising from the assessment of such taxes including the reimbursement of reasonable attorney's fees.

#### 4.0 Terms of Payment

The Contract Sum of \$ 218,420.00 shall be payable to the Seller in accordance with the following terms and conditions:

(a) 4.58%, being the \$10,000.00 Engineering deposit with signed Letter of Intent – *received Aug. 5, 2008*

(b) 47.71% of the Contract Sum, or \$ 104,210.00, shall be paid upon the placement of Buyer's order to purchase Seller's Product – *received Aug. 13, 2008.*

(c) 37.71% of the Contract Sum, or \$ 82,368.00, shall be due paid upon shipment of Product to the Buyer's site.

(d) Final 10% balance of the Contract Sum, or \$ 21,842.00 shall be paid upon Substantial Completion of Work by Seller. "Substantial Completion" shall mean: the stage of progress of the Work at which point the Work is substantially complete and Buyer can occupy or utilize the Product in accordance with its intended use as it relates to the completed performance of the Scope of Work by Seller as provided herein, and any remaining items of Work at this point of Substantial Completion generally consists of minor finishing work and/or punch list items. The Work will not be considered Substantially Complete until a representative of Seller and Buyer perform a walk-through of the Work, and both parties sign off on Seller's Certificate of Substantial Completion.

(e) All payments due hereunder will be paid by Buyer upon receipt of Seller's invoice. A 2% late fee on the invoice amount will be charged for any late payments. In addition, past due amounts shall bear interest at an amount of one and one-half (1.5%) percent per month. Any late payment permits Seller to stop delivery or work until payment is received by Seller in accordance with section 8.0. Seller's time for performance under this Agreement shall be extended appropriately and the Contract Sum shall be increased by the amount of Seller's reasonable costs of shutdown, delay and startup. Any such costs, including but not limited to those incurred by Seller for any changes in the time for Seller's performance, will be invoiced at cost plus ten (10%) percent.

#### 5.0 Buyer's Obligations

5.1 Buyer agrees to make all necessary preparations to the site to accommodate access for the delivery and staging of the Product, including but not limited to the provision of an adequate staging area (which shall be no further than one hundred (100) yards from the installation Site) and the clearing of the installation Site and the Site's perimeter, and the provision of unobstructed Site access to allow for the safe delivery of the Product. Buyer shall also provide assured Site clearances as will be needed to accommodate Seller's Scope of Work.

*AW*  
*9/17/08*

- 5.2 Buyer shall apply for, procure and pay for all necessary permits, licenses, government approvals, and any other approvals which may be required by Seller's Scope of Work.
- 5.3 Buyer shall be responsible for the supply and integration of any materials, products or systems with the Seller's Product other than those as referenced in Appendix "A".
- 5.4 Buyer agrees to inspect the work of others and to notify the Seller of any deficiencies in or aspects of such work which may affect Seller's Product or Scope of Work.
- 5.5 Buyer shall provide twenty-four (24) hour site security.
- 5.6 Buyer shall be responsible for the design and supply of any foundation necessary for the performance of Seller's Scope of Work. Such foundation shall be in accordance with the engineering drawings, and shall be designed and prepared in collaboration with Seller to ensure suitability for Seller's Scope of Work.
- 5.7 Subject to Buyer's approval of Seller's written proposal, Buyer may grant Seller the right and license to take photos and/or digital recordings of the Products, both during and after completion of construction, for use by Seller in its various promotional materials, brochures, websites or web-pages, advertising, communications, publications and sales proposals, and for general marketing and financing purposes, and for profit.
- 5.8 Subject to Buyer's approval of Seller's written proposal, Buyer may permit Seller to enter the lands and access the Product at mutually agreed upon times and dates to allow Seller to conduct tours of the facility with prospective customers and business associates, and to take photos or digital recordings of the Product. Buyer's permission and provision of access for such arrangements shall not be unreasonably withheld from Seller.

#### 6.0 Change Orders

- 6.1 All changes in the Seller's Scope of Work hereunder and any associated costs shall require a written Summit Change Order form which must be signed by an authorized representative of both the Buyer and Seller, and shall state the parties agreement as to the following: (a) changes in the Scope of Work; (b) the amount of the adjustment, if any, in the Contract Sum; (c) the extent of the adjustment, if any, in the time for performance of this Agreement; and (d) any other relevant matter pertaining to the change in the Work which may affect the terms of this Agreement or the Scope of Work.

#### 7.0 Buyer's Representations and Warranties

7.1 Buyer has all the necessary power and authority to enter into and perform its obligations under this Agreement, and in the event that Buyer is a corporation, partnership or limited liability company, the individual executing this Agreement on behalf of Buyer represents and warrants that he is duly authorized to execute and deliver this Agreement on behalf of the Buyer, in accordance with a duly adopted resolution by the Board of Directors of said corporation, partnership or limited liability company, and that this Agreement is binding on the Buyer in accordance with its term. Either party may request of the other written proof of corporate authority.



7.2 Buyer has obtained all necessary permits or licenses and has obtained any governmental approvals or other approvals necessary for the performance of Seller's Scope of Work.

7.3 Buyer has received information from Seller concerning the nature, quality, properties and load capabilities of the Product and materials identified in Seller's Scope of Work, and based upon such information and in reliance thereon is satisfied with the suitability or structural integrity of the Product or materials to be used in Buyer's project.

7.4 Buyer has, or prior to the Substantial Completion of Seller's Scope of Work hereunder, will have reviewed and approved the engineering drawings, specifications and calculations for the Product.

7.5 Buyer has prepared the Site in a manner necessary for the performance of the Seller's Scope of Work, and Buyer represents that the condition of the Site is such that Seller can perform its Scope of Work under this Agreement without any interference, hindrance, delay or additional costs to Seller.

## 8.0 Termination For Cause

8.1 In the event Buyer fails to make any payment when due under this Agreement for a period of thirty (30) days after notice from Seller and if Seller is not in breach of this Agreement, Seller shall have the right to stop work and give Buyer notice of default. If Buyer fails to make payment of the sums then due or overdue, including amounts that Seller incurs for the cost of shutdown, delay and startup or otherwise cure its material breach, Seller may terminate this Agreement by notice to Buyer and exercise all rights, remedies and privileges afforded under Article 9 of the Uniform Commercial Code, including the repossession and removal of the Product from the delivery site. Buyer specifically grants Seller a security interest in the Product until full and final payment is made in accordance with this Agreement. In addition, Seller may pursue any other available remedy at law or equity to enforce the payment and Buyer's obligations under this Agreement and shall be entitled to reasonable attorney's fees.

8.2 If Buyer files a petition of bankruptcy, makes a general assignment for the benefit of creditors, or if a receiver is appointed on account of Buyer's insolvency, or if Seller reasonably believes Buyer is financially unable to make any payments under this Agreement, or if Buyer otherwise breaches its material obligations under this Agreement, and Buyer does not cure such breach within the time specified in section 8.3 below, Seller may at its option, do one or more of the following:

- (a) Demand Buyer give Seller adequate assurances that it can cure the default or
- (b) Terminate the Agreement by written notice to Buyer and pursue such damage remedies as may be allowed by relevant law.
- (c) Exercise all rights, remedies and privileges afforded under Article 9 of the Uniform Commercial Code, including the repossession and removal of the Product from the delivery site.

8.3 Except as otherwise provided in section 8.1, Buyer shall have five (5) days from its receipt of written notice from Seller that it is in breach of a material obligation under this Agreement to cure said breach. Seller may immediately take one or more of the actions outlined in section 8.2 without allowing five (5) days within which to cure its breach.

## 9.0 Non-Conforming Tender

9.1 Following the installation of the Product and upon Substantial Completion, Buyer shall have five (5) business days within which to notify Seller of Buyer's rejection of all or a portion of the Product. Such notice must state the basis of the nonconformity and describe those portions of the Product that Buyer is rejecting. Failure of Buyer to comply with this paragraph shall constitute an acceptance by Buyer of Seller's Product. Whereupon Buyer shall waive any consequential or incidental damages arising from such nonconforming tender. Further, should it be determined that Buyer wrongfully rejected Seller's Product, Seller shall be entitled to all damages recoverable at law including reasonable attorney's fees.

9.2 Upon receipt of any written notification of rejection, Seller shall have the option of either (a) replacing the nonconforming Product or a portion thereof; or (b) reducing the contract amount as appropriate and equitable by mutual agreement of Buyer and Seller. Such adjustment shall be effectual whether or not final payment has been made. In the event that Seller decides to replace the Product it shall have ninety (90) days from the date it receives notice of Buyer's rejection unless at the time of Buyer's rejection Buyer notified Seller of Buyer's refusal to accept a replacement Product.

## 10.0 Warranties

10.1 Except as otherwise addressed in the following sentence, it is understood that Buyer shall have no claim against the Seller regarding any materials supplied unless such claim is made in writing to Seller within twelve (12) months of completion. Buyer retains the ability to file a warranty claim on any defective materials which are covered in Seller's written Warranty. Buyer further agrees that any modifications to Seller's Product by the Buyer, or on Buyer's behalf, including but not limited to any drilling of the frame for mounting, attaching, suspending accessories or penetration of the inner or outer membrane for ventilation, ducting, piping or electrical wiring, will void any Warranties unless such modifications have been pre-approved by Seller in writing. Seller acknowledges and agrees that it has pre-approved all items enumerated and included in Seller's Scope of Work attached hereto as Appendix "A". Further, Buyer agrees to indemnify and hold Seller harmless for any and all claims or damages arising from any unauthorized modifications.

10.2 Any warranties provided for in this Agreement are expressly conditioned upon the installation of the Product by Summit Structures US, LLC or the use of at least one of Seller's technical representatives to provide advice on installation. However, should Buyer elect to not comply with this condition then such warranties shall be void and of no effect whatsoever.

10.3 The warranty period for any warranty provided hereunder shall commence on the date of Certificate of Substantial Completion.

## 11.0 Limitation of Liability

11.1 The warranties set forth in this Agreement are exclusive and in lieu of all other warranties expressed or implied by law or trade usage including any implied warranties of merchantability or fitness for a particular purpose. Except to the extent provided for in this Agreement, Seller shall not be liable for any incidental or consequential damages including but not limited to loss



of use or loss of anticipated profits. Limitations and waivers established in this Agreement shall be effective whether any claim arises in contract, tort, Product liability or otherwise.

#### 12.0 Risk of Loss

12.1 Any risk of loss or damages associated with Seller's Product remains with Seller until the time of delivery. Any risk and responsibility shall then be assumed by the Buyer. Further, the risk of loss remains with the Buyer in the event the Product is subsequently returned to Seller and until it has been received by Seller.

#### 13.0 Delays

13.1 In the event Seller elects to stop delivery or work pursuant to this Agreement, or in the event performance is delayed through no fault of the Seller, Seller's time for performance under this Agreement shall be extended appropriately and the Contract Sum shall be increased by the amount of Seller's reasonable costs of shut down, delay and startup. Any such costs, including but not limited to labor, material, overhead and other costs incurred by Seller for any changes in the time for Seller's performance, will be invoiced at cost plus ten (10%) percent.

13.2 The time allotted by this Agreement for performance by Seller of its obligations shall be extended for each day of delay caused by reason of fire, flood, earthquake, other act of god, civil disturbance, riot, hurricane, tornado, war, epidemic, labor dispute, act of terrorism, order of any court or administrative body, *force majeure*, or any other cause beyond Seller's control and without fault on the part of Seller or Buyer which could not have been reasonably anticipated or avoided. In such cases, costs for shut down, delay and startup shall be equally apportioned between Buyer and Seller

#### 14.0 No Lien Contract

Notwithstanding anything to the contrary contained in this Agreement or any other contract document between or among the Buyer, any owner or general contractor, the Seller specifically reserves and does not waive, release or relinquish any rights it may have under any applicable Mechanics' Lien Law.

#### 15.0 Miscellaneous

15.1 This Agreement constitutes the entire Agreement between the parties with respect the subject matter hereof, and merges, and supersedes all prior negotiations, discussions, representations, warranties, offers and agreements between the parties with respect to such subject matter.

15.2 This Agreement shall be governed by the laws of the Commonwealth of Pennsylvania without regard to its choice of law rules.

15.3 This Agreement may be amended only by a written instrument signed by a duly authorized representative of the Seller and Buyer. Failure of either party to insist on one or more occasions to upon the strict performance of obligations owed hereunder by the other party shall not waive or release such party's right to insist on strict performance of such obligation in the future.



15.4 This Agreement shall be binding upon the parties and their successors and assigns, but no party shall make any sale, assignment, mortgage, pledge or other transfer of all or any portion of its right hereunder without prior written consent of the other party.

15.5 If any portion of this Agreement shall be held invalid or unenforceable the balance of this Agreement shall be enforced without regard as such invalid provisions.

15.6 This Agreement may be signed in duplicate, counterparts and upon execution and delivery by each party of at least one such duplicate counterpart, shall be as binding as though both parties had signed a single copy.

15.7 Section headings provided in any of this Agreement are provided solely for the convenience of the reader and shall not be considered or utilized in any fashion in connection with any interpretation or enforcement.

15.8 Should any arbitration or litigation be commenced between the parties to this Agreement concerning the rights and duties of either party in relation to this Agreement, the prevailing party in the arbitration or litigation shall be entitled to (in addition to any other relief that may be granted) a reasonable sum as and for attorneys' fees in the arbitration or litigation, which sum shall be determined by the court or other person presiding in the arbitration or litigation or in a separate action brought for that purpose.

15.9 *Notices:* Any notices required or permitted by the terms of this Agreement shall be in writing and shall be sufficiently given if personally delivered, if transmitted by facsimile or email, or if sent by pre-paid registered mail:

(a) In the case of Seller, to the attention of either:

Terry Dahlem (*Contract Manager*)  
Email: [tdahlem@summitstructures.com](mailto:tdahlem@summitstructures.com); or

Ryan Widger (*Project Manager*)  
Email: [rwidger@summitstructures.com](mailto:rwidger@summitstructures.com)

c/o Summit Structures  
946 N. Van Buren Street  
Allentown, PA 18109  
Toll Free Fax (877) 413-7189

(b) In the case of Buyer, to the attention of:

Doug Nurnberg (*Project Manager*)  
Email: [dougn@ratnaling.org](mailto:dougn@ratnaling.org)

RATNA LING DHARMA PUBLISHING COMPANY  
35755 Hauser Bridge Rd.  
Cazadero, CA 95421

## 16.0 Indemnification

16.1 To the fullest extent permitted by law, and to the extent not covered by insurance, the Buyer shall indemnify and hold harmless Seller, its agents and employees from any claims, damages, losses and expenses, including but not limited to reasonable attorney's fees arising out of or resulting from Seller's performance under this Agreement,





providing that such claim, damage, loss or expense contribute to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, but only to the extent caused by the negligent acts or omissions of the Buyer, Buyer's subcontractor(s), anyone directly or indirectly employed by them, or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expenses caused in part by a party indemnified hereunder. Such obligations shall not be construed to negate, abridge, or reduce other rights or obligations of indemnity which would otherwise exist as to a party or person described herein.

16.2 In claims against any person or entity indemnified under this paragraph by employee of the Buyer, Buyer's subcontractor(s), anyone directly or indirectly employed by them or anyone for whose acts they may be liable, the indemnification obligation under paragraph 16.1 shall not be limited by a limitation on amount or type of damages, compensation of benefits, payable by or for the Buyer, or Buyer's subcontractor(s) under worker's compensation acts, disability benefit act, or other employee benefit acts.

IN WITNESS WHEREOF, THE PARTIES HAVE CAUSED THIS AGREEMENT TO BE EXECUTED ON THE DATE FIRST SET FORTH ABOVE.

ATTEST:

Ratna Ling Dharma Publishing Co.

By: Dee Dee Neuberg

Title: Project Mgr

Signature: DOUG NIERNBERG

Date: 9/21/2009

Summit Structures US, LLC

By: \_\_\_\_\_

Title: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

## Appendix "A"

**Scope of Work – Supply - Seller shall supply the following Products to the Buyer's site:**

**STRUCTURE SYSTEM: Reference: Temporary Warehouse # 4**

**90'w x 198'l (17,820sf) Titan Summit Structures with trusses 18'oc and complete with:**

- Galvanized Triple Coated "Gatorshield" Steel Trussed Frame
- Duraweave FR fabric – special color format – starting on East side (opposite OH doorway): beige to 8' - 6" above -0- (grade), then green to 1' past peak, then white to 8' 6" above -0- (grade) – then beige to -0- (grade) – all DWFR 'translucent'
- (2) – Complete Flat Gable Ends – Duraweave FR beige translucent fabric
- Complete Fabric Liner System – white DWFR fabric - roof and end-wall panels
- Liner cavity ventilation system
- (1) – 10'w x 12'h OH Cargo type framed penetration – West side-wall mounted
- (1) - Single personnel framed doorway penetrations – West side-wall mounted
- (1) – Single personnel framed doorway penetrations – South gable end-wall mounted
- (4) – 4' x 4' Framed 'air handling' penetrations – location T.B.D.
- (20) – Truss line hanging points for lighting
- (48) – truss line hanging points for sprinkler system
- Termination of exterior and interior fabric with flat bar to angle steel or concrete
- Anchorage - T.B.D. (designed and approved by others, supplied by Summit\*)
- California State Stamped Engineered drawings and calculations for the structure
- Complete Installation Services Available\*
- Delivery to site – Sonoma County, CA

\* **Foundations/Anchorage:** Summit Structures will provide all reaction data necessary for connection of the Summit base-plate to the footing/foundation design. The footing/foundation design and type of anchorage of the base-plate is the responsibility of the client. \*Please Note: we are recommending and have included - engineered, epoxy, drill in place anchors in our 'supply pricing' above

**Summit has not included in its Scope of Work or pricing the following items:**

- Any costs of federal, state or local taxes and any costs for permits, energy analysis and local engineering stamps, electrical or mechanical drawings that may be required by local officials.
- Union interaction including but not limited to negotiations, contracting, and employment or dispute resolution
- Bonding
- Any site preparation, site access, fencing, restoration of grounds, site services, utilities (to be brought on site by others and clearly marked).
- Any foundation or footings.
- Any demobilization and remobilization costs relating to other sub-trades and/or delays to site access.
- Any additional costs related by personnel and/or traffic to access site/security clearance.
- A watertight perimeter, when installing buildings, on an existing asphalt or concrete surface that was not designed and engineered specifically for the Summit Structure in regards to grading.
- Where existing surfaces cannot support construction equipment – materials, labor and equipment to prepare site for protection have not been allowed for.
- Any construction of items not listed in scope above including but not limited to: electrical, mechanical, lighting, exterior lighting, plumbing, general contracting services.
- Any penetrations by other sub-trades.
- Any site security or site fire protection

  
9/27/08

- Site survey.
- Electrical connections for accessories.
- Any safety items not specifically related to OSHA manpower protection issues': including but not limited to safety netting and the like.
- Engineering inspections & "As Built" drawings
- Any other items or issues not specifically listed in this scope of work

Seller shall provide the following services related to the Work and Installation of the Product on the Buyer's Site:

Pursuant to a separate contract, Seller shall supply a technical supervisor at a rate of \$750.00 per day to oversee and advise Buyer-provided installation crew on best methods to install the Product on the footers and/or foundations installed by Buyer.

Any drawings, specifications or calculations are submitted for purposes of the installation of the Products or materials only. The Seller is not a licensed architect, structural engineer or design professional, renders no opinion regarding the structural integrity or suitability of the materials or the Product for the project of which the material or Product is being utilized, and specifically disclaims any responsibility thereof.



Temp 4

11/4/2008

Summit Structures US

Ch 5341

\*\*23,669.15

Twenty-Three Thousand Six Hundred Sixty-Nine and 15/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

Inv 484

Temp Building #4

Summit Structures US

Temp Building #4

11/4/2008

23,669.15

RL Donor WFB 6018- Temp Building #4

23,669.15

Summit Structures US

Temp Building #4

11/4/2008

23,669.15

Sub Comp 21,642  
Tech Rep 6427  
- 4600 shipping charge Ded

RL Donor WFB 6018- Temp Building #4

23,669.15

Toy 7 90 x 118  
SO # SBS 08-1015

7/29/2008

Summit Structures US *ch 4909*

\*\*10,000.00

Ten Thousand and 00/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

*Inv email 7/29/08*

Deposit Temp Building #4

Summit Structures US

Deposit Temp Building #4

7/29/2008

10,000.00

RL Donor WFB 6018- Deposit Temp Building #4

10,000.00

Summit Structures US

Deposit Temp Building #4

7/29/2008

10,000.00

RL Donor WFB 6018- Deposit Temp Building #4

10,000.00

107 1

8/7/2008

Summit Structures US *CH 4992*

\*\*104,210.00

One Hundred Four Thousand Two Hundred Ten and 00/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

*Inv 457*

Temp Building #4

Summit Structures US

Temp Building #4

8/7/2008

104,210.00

RL Donor WFB 6018- Temp Building #4

104,210.00

Summit Structures US

Temp Building #4

8/7/2008

104,210.00

*man f Dep 104,210*

RL Donor WFB 6018- Temp Building #4

104,210.00

Temp 4

10/23/2008

Summit Structures US

CL 5258

\*\*86,343.00

Eighty-Six Thousand Three Hundred Forty-Three and 00/100\*\*\*\*\*

Summit Structures US  
Attn: Terri Snyder  
946 N. Van Buren Street  
Allentown, PA 18109

INVOICE 472

Temp Building #4

Summit Structures US

Temp Building #4

10/23/2008

86,343.00

RL Donor WFB 6018- Temp Building #4

86,343.00

Summit Structures US

Temp Building #4

10/23/2008

86,343.00

Due on Shypps

82,388

Bank rep

3975

RL Donor WFB 6018- Temp Building #4

86,343.00

**ENG  
SUMMARY  
QA  
RECORDS**



## Summit Structures US Engineering Summary

I, Summit Structures US LLC, agree with the information shown on this wizard and I am responsible for any changes to the project resulting from incorrect information shown.

**Notes:**

<p><b>Site Information</b></p> <p>State: California                  County: Sonoma                  Ground Snow Load (psf): 5.00                  Roof Snow Load (psf): 3.15                  Basic Wind Speed: 110.0</p> <p><b>Design Requirements</b></p> <p>Building Code: 2007 California Building Code                  Referenced Design Std: ASCE 7-05 (IBC 2006)                  Building Use: S-2 (Storage Low hazard)                  Occupancy Category: II - Standard                  Exposure Category: Exposure C - Fully Exposed                  Enclosure Category: Enclosed                  Thermal Factor: 1.0                  Fire Safety: Basic                  Thrm Factor Accept: Yes</p>	<p><b>Building Information</b></p> <p>Model: TBS2 - Titan Building                  Span (ft): 90                  Length (ft): 198                  Spacing (ft): 18                  Wall Height (ft): 0.00                  Construction Type: Type II B                  Membrane Type: FR</p> <p>Area (sq ft): 17,820</p>
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**Loading Information (Building Ratings in Parentheses)**

**Dead Loads:**  
 I) Self Weight  
 II) Collateral (Hanging) Load, not to exceed 0.25. (Allowance for mechanical, electrical, ceiling, etc., or a combination thereof).

**Live Loads:**

Minimum Roof Live Load, L0	20.00 psf	
Reduction Factor, R1	0.60	
Reduction Factor, R2	0.85	
Design Roof Live Load, Lr	12.00 psf	(21.74 psf)

**Snow Loads:**

Ground Snow Load, pg	5.00 psf	(49.67 psf)
Exposure Factor, Ce	0.9	
Thermal Factor, Ct	1.0	
Importance Factor, Is	1.0	
Slope Factor, Cs	1.0 - (a - 5)/65	
Roof Snow Load, pf	3.15 psf	(31.29 psf)

**Wind Loads:**

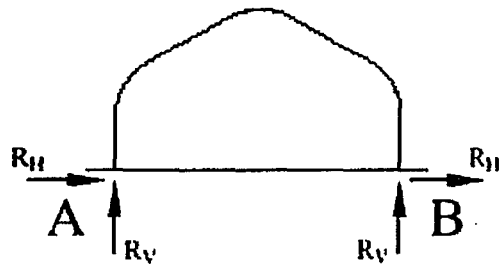
Basic Wind Speed, V (3-sec Gust)	110.0 mph	(112.3 mph)
Velocity Pressure Exposure Coefficient,	0.97	
Topographic Factor, Kzt	1.00	
Wind Directionality Factor, Kd	0.85	
Importance Factor, Iw	1.00	
Wind Pressure, qh	25.60 psf	(26.70 psf)

**Minimum Anchoring Requirements**

Base reactions at the foundation for the site loads listed to the left are as follows:

Load Case	Side A		Side B	
	Rh (kip)	Rv (kip)	Rh (kip)	Rv (kip)
Dead Load (Self Weight)	0.40	0.96	-0.40	0.96
Dead Load (Collateral)	0.11	0.19	-0.11	0.19
Roof Live Load	5.24	9.68	-5.24	9.68
Snow Load (Balanced)	0.90	1.54	-0.90	1.54
Snow Load	0.71	1.34	-0.71	0.88
Wind Load	5.71	-2.45	8.84	-1.82
Wind Load (Parallel)	-2.62	-9.78	1.47	-10.00
Wind Load (Internal)	±0.70	±3.72	±0.70	±3.72

\* Contact STS for additional Tension Anchor Reaction  
 (Note: Reactions listed above are unfactored and have not been combined with any other load case.)



### Building Approved For Site

*Handwritten signature and date: HZ 7/20/08*

Sales Order	Line Number	Work Order	Item ID	QA Name	QA Value
SO88640	200	WO72355	SO88640-C-200R1	Correct Crown	Y
SO88640	200	WO72355	SO88640-C-200R1	Raw Panel Width (North)	18' 2 3/8"
SO88640	200	WO72355	SO88640-C-200R1	Centre marking	Y
SO88640	200	WO72355	SO88640-C-200R1	X Marked on Pull Pocket	Y
SO88640	200	WO72355	SO88640-C-200R1	Pull Pocket Notches (North)	Y
SO88640	200	WO72355	SO88640-C-200R1	Panels Shingled from Center (North)	Y
SO88640	200	WO72355	SO88640-C-200R1	Main Panel Block Length (North)	Y
SO88640	200	WO72355	SO88640-C-200R1	Tension Pocket Placement (South)	Y
SO88640	200	WO72355	SO88640-C-200R1	Tension Pocket Notches (North)	Y
SO88640	200	WO72355	SO88640-C-200R1	Truss cover placement	Y
SO88640	200	WO72355	SO88640-C-200R1	Panels Shingled from Center (South)	Y
SO88640	200	WO72355	SO88640-C-200R1	Main Panel Block Length (South)	Y
SO88640	200	WO72355	SO88640-C-200R1	Product Label	Y
SO88640	200	WO72355	SO88640-C-200R1	Tension Pocket Notches (South)	Y
SO88640	200	WO72355	SO88640-C-200R1	Main Block Color	Y
SO88640	200	WO72355	SO88640-C-200R1	Tension Pocket Placement (North)	Y
SO88640	200	WO72355	SO88640-C-200R1	Pull Pocket Notches (South)	Y
SO88640	200	WO72355	SO88640-C-200R1	Raw Panel Width (South)	Y
SO88640	200	WO72355	SO88640-C-200R1	Visual inspection completed by foreman	Y
SO88640	200	WO72355	SO88640-C-200R1	Additional Tension Pocket (North)	Y
SO88640	200	WO72355	SO88640-C-200R1	Additional Tension Pocket (South)	Y
SO88640	200	WO72355	SO88640-C-200R1	Machine Speed	29
SO88640	200	WO72355	SO88640-C-200R1	Product Label	Y
SO88640	200	WO72355	SO88640-C-200R1	Machine Temperature	915
SO88640	200	WO72355	SO88640-C-200R1	Keder Weld	Y
SO88640	200	WO72355	SO88640-C-200R1	Finished Panel Width	17'-9 7/8"
SO88640	201	WO72350	SO88640-C-201R1	Correct Crown	3"
SO88640	201	WO72350	SO88640-C-201R1	Visual inspection completed by foreman	1542
SO88640	201	WO72350	SO88640-C-201R1	Tension Pocket Placement (South)	63' 6 1/2"
SO88640	201	WO72350	SO88640-C-201R1	Main Block Color	FRGR-D80822021/FRWH-D80723034
SO88640	201	WO72350	SO88640-C-201R1	Raw Panel Width (North)	18' 2 3/8"
SO88640	201	WO72350	SO88640-C-201R1	Main Panel Block Length (North)	48' 6"
SO88640	201	WO72350	SO88640-C-201R1	Additional Tension Pocket (North)	48' 10"
SO88640	201	WO72350	SO88640-C-201R1	Raw Panel Width (South)	18' 2 3/8"
SO88640	201	WO72350	SO88640-C-201R1	X Marked on Pull Pocket	good
SO88640	201	WO72350	SO88640-C-201R1	Centre marking	good
SO88640	201	WO72350	SO88640-C-201R1	Panels Shingled from Center (South)	good
SO88640	201	WO72350	SO88640-C-201R1	Pull Pocket Notches (North)	n/a
SO88640	201	WO72350	SO88640-C-201R1	Tension Pocket Notches (South)	n/a
SO88640	201	WO72350	SO88640-C-201R1	Tension Pocket Placement (North)	63' 10"
SO88640	201	WO72350	SO88640-C-201R1	Main Panel Block Length (South)	48' 6"
SO88640	201	WO72350	SO88640-C-201R1	Tension Pocket Notches (North)	n/a
SO88640	201	WO72350	SO88640-C-201R1	Additional Tension Pocket (South)	n/a
SO88640	201	WO72350	SO88640-C-201R1	Pull Pocket Notches (South)	n/a
SO88640	201	WO72350	SO88640-C-201R1	Panels Shingled from Center (North)	good
SO88640	201	WO72350	SO88640-C-201R1	Product Label	good
SO88640	201	WO72350	SO88640-C-201R1	Truss cover placement	good
SO88640	201	WO72350	SO88640-C-201R1	Product Label	Y
SO88640	201	WO72350	SO88640-C-201R1	Machine Temperature	17'-9 7/8"
SO88640	201	WO72350	SO88640-C-201R1	Machine Speed	29
SO88640	201	WO72350	SO88640-C-201R1	Keder Weld	Y
SO88640	201	WO72350	SO88640-C-201R1	Finished Panel Width	Y
SO88640	202	WO72323	SO88640-C-202R1	Correct Crown	3"
SO88640	202	WO72323	SO88640-C-202R1	Product Label	good
SO88640	202	WO72323	SO88640-C-202R1	X Marked on Pull Pocket	good
SO88640	202	WO72323	SO88640-C-202R1	Tension Pocket Notches (South)	n/a
SO88640	202	WO72323	SO88640-C-202R1	Tension Pocket Placement (South)	63' 10"
SO88640	202	WO72323	SO88640-C-202R1	Raw Panel Width (North)	18' 2 3/8"
SO88640	202	WO72323	SO88640-C-202R1	Additional Tension Pocket (North)	n/a
SO88640	202	WO72323	SO88640-C-202R1	Tension Pocket Placement (North)	63' 10"
SO88640	202	WO72323	SO88640-C-202R1	Pull Pocket Notches (North)	n/a
SO88640	202	WO72323	SO88640-C-202R1	Panels Shingled from Center (South)	good
SO88640	202	WO72323	SO88640-C-202R1	Raw Panel Width (South)	18' 2 3/8"
SO88640	202	WO72323	SO88640-C-202R1	Truss cover placement	good
SO88640	202	WO72323	SO88640-C-202R1	Main Panel Block Length (North)	63' 6 1/2"
SO88640	202	WO72323	SO88640-C-202R1	Pull Pocket Notches (South)	n/a
SO88640	202	WO72323	SO88640-C-202R1	Panels Shingled from Center (North)	good
SO88640	202	WO72323	SO88640-C-202R1	Visual inspection completed by foreman	1542
SO88640	202	WO72323	SO88640-C-202R1	Centre marking	good
SO88640	202	WO72323	SO88640-C-202R1	Tension Pocket Notches (North)	n/a
SO88640	202	WO72323	SO88640-C-202R1	Main Block Color	frgr-D80822021/frwh-D80723034
SO88640	202	WO72323	SO88640-C-202R1	Main Panel Block Length (South)	63' 6 1/2"
SO88640	202	WO72323	SO88640-C-202R1	Additional Tension Pocket (South)	n/a
SO88640	202	WO72323	SO88640-C-202R1	Machine Speed	29
SO88640	202	WO72323	SO88640-C-202R1	Product Label	Y
SO88640	202	WO72323	SO88640-C-202R1	Machine Temperature	915
SO88640	202	WO72323	SO88640-C-202R1	Keder Weld	Y
SO88640	202	WO72323	SO88640-C-202R1	Finished Panel Width	17'-9 7/8"
SO88640	202	WO72324	SO88640-C-202R1	Correct Crown	3"
SO88640	202	WO72324	SO88640-C-202R1	X Marked on Pull Pocket	good

SO88640	202	WO72324	SO88640-C-202R1	Centre marking	good
SO88640	202	WO72324	SO88640-C-202R1	Product Label	good
SO88640	202	WO72324	SO88640-C-202R1	Panels Shingled from Center (North)	good
SO88640	202	WO72324	SO88640-C-202R1	Main Block Color	frgr-D80822021/frwh-D80723034
SO88640	202	WO72324	SO88640-C-202R1	Additional Tension Pocket (South)	n/a
SO88640	202	WO72324	SO88640-C-202R1	Tension Pocket Notches (South)	n/a
SO88640	202	WO72324	SO88640-C-202R1	Pull Pocket Notches (South)	n/a
SO88640	202	WO72324	SO88640-C-202R1	Tension Pocket Notches (North)	n/a
SO88640	202	WO72324	SO88640-C-202R1	Pull Pocket Notches (North)	n/a
SO88640	202	WO72324	SO88640-C-202R1	Main Panel Block Length (North)	63' 6 1/2"
SO88640	202	WO72324	SO88640-C-202R1	Truss cover placement	good
SO88640	202	WO72324	SO88640-C-202R1	Tension Pocket Placement (North)	63' 10"
SO88640	202	WO72324	SO88640-C-202R1	Additional Tension Pocket (North)	n/a
SO88640	202	WO72324	SO88640-C-202R1	Raw Panel Width (North)	18' 2 3/8"
SO88640	202	WO72324	SO88640-C-202R1	Tension Pocket Placement (South)	63' 10"
SO88640	202	WO72324	SO88640-C-202R1	Raw Panel Width (South)	18' 2 3/8"
SO88640	202	WO72324	SO88640-C-202R1	Main Panel Block Length (South)	63' 6 1/2"
SO88640	202	WO72324	SO88640-C-202R1	Visual inspection completed by foreman	1542
SO88640	202	WO72324	SO88640-C-202R1	Panels Shingled from Center (South)	good
SO88640	202	WO72324	SO88640-C-202R1	Machine Temperature	915
SO88640	202	WO72324	SO88640-C-202R1	Keder Weld	Y
SO88640	202	WO72324	SO88640-C-202R1	Machine Speed	29
SO88640	202	WO72324	SO88640-C-202R1	Product Label	Y
SO88640	202	WO72324	SO88640-C-202R1	Finished Panel Width	17'-9 7/8"
SO88640	202	WO72325	SO88640-C-202R1	Correct Crown	3"
SO88640	202	WO72325	SO88640-C-202R1	Additional Tension Pocket (South)	n/a
SO88640	202	WO72325	SO88640-C-202R1	Main Panel Block Length (North)	63' 6 1/2"
SO88640	202	WO72325	SO88640-C-202R1	Pull Pocket Notches (North)	n/a
SO88640	202	WO72325	SO88640-C-202R1	Pull Pocket Notches (South)	n/a
SO88640	202	WO72325	SO88640-C-202R1	Centre marking	good
SO88640	202	WO72325	SO88640-C-202R1	Truss cover placement	good
SO88640	202	WO72325	SO88640-C-202R1	Raw Panel Width (South)	18' 2 3/8"
SO88640	202	WO72325	SO88640-C-202R1	Main Panel Block Length (South)	63' 6 1/2"
SO88640	202	WO72325	SO88640-C-202R1	X Marked on Pull Pocket	good
SO88640	202	WO72325	SO88640-C-202R1	Panels Shingled from Center (South)	good
SO88640	202	WO72325	SO88640-C-202R1	Product Label	good
SO88640	202	WO72325	SO88640-C-202R1	Additional Tension Pocket (North)	n/a
SO88640	202	WO72325	SO88640-C-202R1	Tension Pocket Notches (South)	n/a
SO88640	202	WO72325	SO88640-C-202R1	Tension Pocket Notches (North)	n/a
SO88640	202	WO72325	SO88640-C-202R1	Tension Pocket Placement (South)	63' 10"
SO88640	202	WO72325	SO88640-C-202R1	Visual inspection completed by foreman	1542
SO88640	202	WO72325	SO88640-C-202R1	Tension Pocket Placement (North)	63' 10"
SO88640	202	WO72325	SO88640-C-202R1	Raw Panel Width (North)	18' 2 3/8"
SO88640	202	WO72325	SO88640-C-202R1	Main Block Color	frgr-D80822021/frwh-D80723034
SO88640	202	WO72325	SO88640-C-202R1	Panels Shingled from Center (North)	good
SO88640	202	WO72325	SO88640-C-202R1	Finished Panel Width	17'-9 7/8"
SO88640	202	WO72325	SO88640-C-202R1	Keder Weld	Y
SO88640	202	WO72325	SO88640-C-202R1	Product Label	Y
SO88640	202	WO72325	SO88640-C-202R1	Machine Speed	29
SO88640	202	WO72325	SO88640-C-202R1	Machine Temperature	915
SO88640	202	WO72326	SO88640-C-202R1	Correct Crown	Y
SO88640	202	WO72326	SO88640-C-202R1	Raw Panel Width (North)	Y
SO88640	202	WO72326	SO88640-C-202R1	Product Label	Y
SO88640	202	WO72326	SO88640-C-202R1	Tension Pocket Notches (South)	Y
SO88640	202	WO72326	SO88640-C-202R1	X Marked on Pull Pocket	Y
SO88640	202	WO72326	SO88640-C-202R1	Tension Pocket Placement (North)	Y
SO88640	202	WO72326	SO88640-C-202R1	Additional Tension Pocket (North)	Y
SO88640	202	WO72326	SO88640-C-202R1	Raw Panel Width (South)	Y
SO88640	202	WO72326	SO88640-C-202R1	Panels Shingled from Center (North)	Y
SO88640	202	WO72326	SO88640-C-202R1	Truss cover placement	Y
SO88640	202	WO72326	SO88640-C-202R1	Panels Shingled from Center (South)	Y
SO88640	202	WO72326	SO88640-C-202R1	Centre marking	Y
SO88640	202	WO72326	SO88640-C-202R1	Tension Pocket Notches (North)	Y
SO88640	202	WO72326	SO88640-C-202R1	Main Panel Block Length (North)	Y
SO88640	202	WO72326	SO88640-C-202R1	Pull Pocket Notches (South)	Y
SO88640	202	WO72326	SO88640-C-202R1	Tension Pocket Placement (South)	Y
SO88640	202	WO72326	SO88640-C-202R1	Main Block Color	Y
SO88640	202	WO72326	SO88640-C-202R1	Pull Pocket Notches (North)	Y
SO88640	202	WO72326	SO88640-C-202R1	Additional Tension Pocket (South)	Y
SO88640	202	WO72326	SO88640-C-202R1	Visual inspection completed by foreman	Y
SO88640	202	WO72326	SO88640-C-202R1	Main Panel Block Length (South)	Y
SO88640	202	WO72326	SO88640-C-202R1	Product Label	Y
SO88640	202	WO72326	SO88640-C-202R1	Machine Speed	29
SO88640	202	WO72326	SO88640-C-202R1	Keder Weld	Y
SO88640	202	WO72326	SO88640-C-202R1	Machine Temperature	915
SO88640	202	WO72326	SO88640-C-202R1	Finished Panel Width	17'-9 7/8"
SO88640	202	WO72327	SO88640-C-202R1	Correct Crown	3"
SO88640	202	WO72327	SO88640-C-202R1	Centre marking	good
SO88640	202	WO72327	SO88640-C-202R1	Tension Pocket Placement (North)	63' 6 1/2"
SO88640	202	WO72327	SO88640-C-202R1	Raw Panel Width (North)	18' 2 3/8"
SO88640	202	WO72327	SO88640-C-202R1	Visual inspection completed by foreman	1542

# DRAWINGS

This project has been designed and fabricated in accordance with the following:

**1. DESCRIPTION**  
 Owner's Name and Address: Ratna Ling Dharma Publishing  
 35755 Heuser Bridge Road Cazadero, CA  
 Building Supplier's Name and Address: SUMMIT STRUCTURES - USA  
 ALLENTOWN, PA  
 Manufacturer's Name and Address: Cover-All Building Systems Inc.  
 3515 Brunsford Rd. Beakston, DC  
 35755 Heuser Bridge Road Cazadero, CA  
 Site Location:  
 Legal Address: 35755 Heuser Bridge Road Cazadero, CA  
 Building Type: T862 - Titan Building  
 Building Area: 60' x 100' @ 18' e.c. (27,432 sq ft @ 20.254 sq ft/area e.c.)  
 Applicable Building Code: 2007 California Building Code  
 Intended Use and Occupancy: Storage Low hazard  
 Construction Type: Type II B  
 Fabric Type: FR

**2. DESIGN STANDARDS**  
 International Building Code 2006 (IBC 2006), Chapter 16: Structural Design  
 ANSI/AISC 360-05, Specification for Structural Steel Buildings  
 AISI-Truss, North American Specification for the Design of Cold-Formed Steel Structural Members  
 NFPA 701, Standard Methods of Fire Tests for Flame Propagation of Textiles and Films, 2004 Edition

**3. MANUFACTURING STANDARDS**  
 Fabrication in accordance with ANSI/AISC 360-05 and AISI-Truss, as applicable.  
 Welding in accordance with AWS D1.3 Structural Welding Code and AISI-Truss, as applicable.  
 Cover-All Building Systems is a AISC approved fabricator as per BS.17 and GC17 standards.  
 Welders have been qualified in accordance with GC7-93

**4. DESIGN CRITERIA**  
 Occupancy Category: II - Standard  
 Exposure Category: Exposure C - Fully Exposed  
 Enclosure Category: Enclosed

**A) DEAD LOADS**  
 I) Self-weight of building components  
 II) Collateral (hanging) load, not to exceed 25 psf as an allowance for mechanical, electrical, piping, sprinklers, etc. or any combination thereof

**B) LIVE LOADS**  
 Live loads determined in accordance with section 1607 of IBC 2006  
 Minimum roof live load: 12.0 psf

**C) SNOW LOADS**  
 Snow Loads determined in accordance with section 1608 of IBC 2006  
 Ground Snow Load, Pg (1/30): 5.0 psf  
 Roof Snow Load, Pf: 3.2 psf  
 Exposure Factor, Ce: 0.9  
 Thermal Factor, Ct: 1.0  
 Importance Factor, Is: 1.0

**D) WIND LOADS**  
 Wind Loads determined in accordance with section 1609 of IBC 2006  
 Wind Speed (3-sec Gust): 110 mph  
 Basic Wind Pressure, q: 25.00 psf  
 Exposure Coefficient, Kz: 0.97  
 Topographic Factor, Kzt: 1.00  
 Directionality Factor, Kd: 0.45  
 Importance Factor, Is: 1.00

**E) LOAD COMBINATIONS**  
 Load combinations determined in accordance with section 1605 of IBC 2006

**6. BASE REACTIONS**  
 The maximum forces at the foundation/supports due to the site loads listed above are as follows:

At Anchor Pin	Side A		Side B	
	Horizontal (kips)	Vertical (kips)	Horizontal (kips)	Vertical (kips)
Load Case				
Dead Load (Self Weight)	0.4	0.06	-0.4	0.06
Dead Load (Collateral)	0.11	0.18	-0.11	0.18
Roof Live Load	5.24	8.58	-5.24	8.58
Snow Load (Balanced)	5.8	1.54	-0.8	1.54
Snow Load (Unbalanced)	1.28	8.12	-1.28	1.54
Wind Load (Perpendicular)	5.73	-2.40	5.84	-1.82
Wind Load (Parallel)	-2.82	-8.78	1.47	-10.00
Wind Load (Internal)	0.70	3.72	-0.70	3.72

\* add 4.2 kips at tension anchor (gridlines 1, 3, 10 and 12)

At endwall column base

Load Case	Horizontal kips
Wind: Parallel	3.1



**GENERAL**  
 THIS DRAWING INCLUDING INFORMATION HEREON, REMAINS THE PROPERTY OF COVER-ALL BUILDING SYSTEMS INC. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE SALES ORDER AND SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF COVER-ALL BUILDING SYSTEMS INC.

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COVER-ALL BUILDING SYSTEMS INC. IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR DAMAGES INCURRED IN THE ERECTION OF THE COMPONENTS SHOWN ON THIS DRAWING, NOR FOR THE INSPECTION OF ERECTED COMPONENTS TO DETERMINE SAME.

THIS CERTIFICATION AND ENGINEERING SEAL APPLIES ONLY TO PRODUCTS DESIGNED AND FABRICATED BY COVER-ALL BUILDING SYSTEMS INC. FOR THE LOADING CONDITIONS DESIGNATED ON THESE DRAWINGS. CONCRETE FOUNDATIONS, STEEL COMPONENTS BY OTHERS AND ERECTION SUPERVISION ARE NOT THE RESPONSIBILITIES OF COVER-ALL BUILDING SYSTEMS INC. ON THE CERTIFYING ENGINEER. ALL DOORS, WINDOWS AND ROLL-UP CURTAINS MUST BE DESIGNED TO SUPPORT THE WIND LOADS AND ARE RELIED ON TO BE CLOSED IN THE EVENT OF HIGH WINDS.

**ANCHOR BOLTS**  
 ANCHOR BOLT DIAMETERS ARE DETERMINED IN ACCORDANCE WITH CSA STANDARD CANC-318.1 USING Fy = 36 KSI (248 MPa). ANCHOR BOLT LENGTHS AND LOAD TRANSFER TO THE FOUNDATION ARE TO BE DETERMINED BY OTHERS.

ANCHOR BOLT PROJECTIONS BASED ON NO DRIP OUT ARE AS FOLLOWS:

FOUNDATION MUST BE LEVEL, SQUARE AND SMOOTH. ANCHOR BOLTS MUST BE ACCURATELY PLACED AS SHOWN ON THE DRAWINGS.

FINISHED FLOOR ELEVATIONS AND UNDERSIDE OF BASE PLATE IS 104'-0" (1000.000mm) UNLESS NOTED.

**ERECTION**  
 THE ERECTOR MUST PROVIDE SAFE WORKING CONDITIONS AND PRACTICES CONFORMING TO ALL SAFETY REGULATIONS. ALL LIFTING DEVICES ARE TO BE SPECIFICALLY DESIGNED TO LIFT THE VARIOUS BUILDING COMPONENTS. SLINGS AND SPREADER BARS ARE TO BE USED TO PREVENT PERMANENT DEFORMATION OF ALL STRUCTURAL COMPONENTS.

ERECTION SHOULD START AT A BRACED BAY. ERECT AND TEMPORARILY SUPPORT TRUSSES. USE TEMPORARY BRACING AS REQUIRED TO ENSURE STABILITY OF THE FRAMES. INSTALL PULLING AND CROSS BRACING, PLUMB AND SQUARE TRUSSES IN ACCORDANCE WITH CANC-318.1 AND OSHA 29 CFR PART 1926 - SAFETY STANDARD FOR STEEL ERECTION.

ENSURE ALL PURLINS REMAIN PARALLEL.

STRUCTURAL FRAMING MEMBERS ARE CONSIDERED PLUMB, LEVEL, AND ALIGNED WHEN THE VARIANCE DOES NOT EXCEED 1:300.

**STRUCTURAL BOLTS**  
 BOLTS IN CONNECTIONS NOT SUBJECT TO TENSION LOADS, OR WHERE LOOSENING DUE TO VIBRATION OR LOAD FLUCTUATIONS ARE NOT DESIGN CONSIDERATIONS, NEED ONLY BE DRAWN TIGHTENED, WHICH IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PILES IN A JOINT ARE IN FIRM CONTACT.

ALL BOLTS LARGER THAN 1" (25mm) DIA. CONFORM TO ASTM A325.  
 ALL OTHER DIA. HEX BOLTS CONFORM TO SAE GR. 5 OR EQUIVALENT.  
 ALL BOLTS SHALL BE PLATED / GALVANIZED OR UNSWEATED.  
 ALL BOLT REFERENCES REQUIRE BOTH BOLT AND NUT.

BOLTS IN CONNECTIONS SUBJECT TO TENSION LOADS REQUIRE PRE-TENSIONING TO MINIMUM TENSION. VALUES AS SHOWN IN THE TABLE BELOW.

TABLE A - BOLT TENSION

SIZE	Grade 5	
	kips	kg
3/8	18	80
3/4	18	125
7/8	22	174
1.0	25	227

SIZE	A325	
	kips	kg
1 1/8	29	248
1 1/4	32	315

STRUCTURAL BOLT TABLE B LISTE THE TABLE B - DIMENSI

SIZE	Thread	Per Inch
3/8	18	
7/8	14	
1/2	13	
5/8	11	
3/4	10	

1 1/4 7 MATERIAL SPECIFIC ROLLED STRUCTURAL

STRUCTURAL PLATE PLATE 60.0 1/2 N.S.S. 840.21

COATING OF STEEL 2.0oz/1sqft (80

COATING OF FLUOR (180 g/1sq ft) (1.14

CHROMATE CORROSI PROTECTION

CLEAR FINISH PA APPEARANCE AND IS

ALL VENTILATED TO HOURS OF ACCELER ACCORDANCE WITH

DIAGONAL BRACE BY CROSS BRACE - IS

STRUCTURAL CORNER 3" (76mm) TO FLOR 8" (203mm) & 8" (203mm) ALL SQUARE TUBE: ALL OTHER SIZES/

FABRIC / LINER IN EXTERIOR FABRIC: PRIOR AUTHORIZATION PROBLEM.

EXTERIOR FABRIC: SPRINKLERS, ETC) MUST BE REVERSED THE BUILDING AND

FABRIC SPECIFIC: ALL POLYURETHAN MATERIAL. Base fabric: Coating thickness

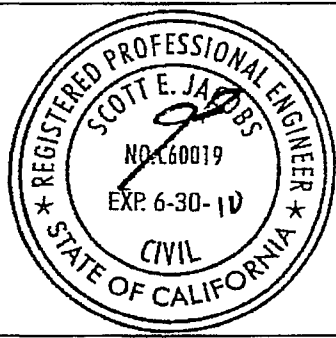
Surface type

Weight

STRENGTH Grid fabric is strip Torque tear strip Strip tensile strip Mullion burst Thickness Hydrostatic real Cold crack % Light transmittance UV & weathering Permeability

FIRE Scale Flame Sprr Drp Flame Sprr

1	RELEASED	SS	31 JUL 08
EV.	DESCRIPTION	BY	DATE



OFFICE: SUMM LLC  
 CUSTOMER: RATNA PUBLIC CAZAD WAREH  
 PROJECT: WAREH  
 PROJECT ID: SBS 08-1015

AUG 25 2008

MINIMUM BOLT TORQUE VALUES  
 5/8 LUBRICATED BOLT CLAMP LOADS WITH A REQUESTED ASSEMBLY TORQUE VALUES.  
 5/8 - IMPERIAL

Grade 5	Threads Per Inch	Tensile k&l Min	Proof Load lbs	Clamp Load lbs	Torque Dry ft-lbs	Torque Lube ft-lbs
1/2	13	100	9000	4050	15	23
3/4	14	120	9050	4780	50	35
1	16	150	12100	6050	75	55
1 1/4	18	180	14200	7100	100	75
1 1/2	20	220	17400	8700	130	100

MINIMUM SPECIFICATIONS  
 5/8 STRUCTURAL SECTIONS CONFORM TO GRA 504.21-400 (30000)

MINIMUM PLATE CONFORMS TO THE FOLLOWING SPECIFICATIONS:  
 5/8 504.21 400 504.21/ASTM A572 GR 44 (30000)  
 1/2 504.21 500 504.21/ASTM A572 GR 50 (35000)

30% OF STRUCTURAL PLATES ARE DONE, HOT-DIPPED GALVANIZED TO A NOMINAL COATING ZINC WEIGHT 0.02oz/sqft (0.005oz/sq ft) (0.4mil).  
 70% OF TUBES ARE DONE IN-LINE, GALVANIZED TO A NOMINAL COATING ZINC WEIGHT OF 0.6 oz/sq ft (0.15mil) (1.0mil).

ATE CONVERSION COATING APPLIED OVER THE GALVANIZED SURFACE TO PROVIDE ADDITIONAL CORROSION PROTECTION.

EPDM POLYMER APPLIED AS THE TOP SURFACE COAT TO RETARD OXIDATION, ENHANCE SURFACE FINISH AND PROVIDE A PRIMER BASE FOR SUBSEQUENT WELTER ZINC APPLIED TO ALL WELDS.

SPRINKLER WITH GATORSHIELD WILL DEMONSTRATE THE ABILITY TO WITHSTAND A MINIMUM OF 2000 OF ACCELERATED SALT FOG TESTING TO THE CONDITION OF 5% SURFACE RED RUST, WHEN TESTED IN ACCORDANCE WITH ASTM B117 STANDARDS.

40 LB BRACE STEEL CABLE EXTRA HIGH STRENGTH PER ASTM A475. CABLES - 1/2" (12mm) TYP U/L.

MINIMUM COMPONENTS ARE AS FOLLOWS:  
 1/2" sq TUBES - 32" (813mm) C-C USING 81.00" (42mm) WEB.  
 1/2" x 85" x 7/8" sq - MIN YIELD STRENGTH = 50ksi (344MPa).  
 1/2" x 85" x 7/8" sq - MIN YIELD STRENGTH = 50ksi (344MPa).  
 1/2" x 85" x 7/8" sq - MIN YIELD STRENGTH = 50ksi (344MPa).

1/2" LINER NOTES  
 OR FABRIC IS AN INTERNAL PART OF THE STRUCTURAL SYSTEM, REMOVAL OR ALTERATION WITHOUT AUTHORIZATION IS PROHIBITED. ALL TEAMS MUST BE PATCHED IMMEDIATELY TO AVOID WARRANTY MEASUREMENTS.

OR FABRIC WILL DEFLECT UNDER LOAD, THEREFORE ALL BUILDING ACCESSORIES (LIGHTING, HVAC, LENS, ETC) MUST BE LOCATED BENEATH THE LOWER CHORD OF THE TRUSS. ANYTHING ABOVE THIS CHORD IS REVIEWED AND APPROVED IN WRITING BY COVER-ALL BUILDING SYSTEMS INC. SEVERE DAMAGE TO TRUSS AND ACCESSORIES MAY RESULT FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

SPECIFICATIONS  
 POLYETHYLENE MEMBRANES WILL POSSESS THE FOLLOWING MINIMUM SPECIFICATIONS:

PROPERTIES	DESCRIPTION
5/8 1700 denier yarn	High Density Polyethylene.
4 mil (103 gsm) ea. side	Minimum 4 to 8 mil exterior coating on each side of base scrim.
Modified LDFE c/w UV	Modified low Density Polyethylene coating with UV inhibitors.
12.6 oz. / sq yd. (410 gsm)	Minimum 12.6 oz. / sq yd.

TEST STANDARD  
 ASTM D-5034  
 ASTM D-2261  
 ASTM D-5025  
 ASTM D-3786  
 ASTM D-5199  
 ASTM D-751A  
 ASTM D-2156  
 ASTM E-903  
 ASTM D-4398  
 ASTM D-4481

TEST STANDARD  
 ASTM E-84  
 CAN/ULC S-102

DWG #	DRAWINGS TITLE	REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE
FB-1	COVER PAGE	1	31 JUL 08						
FB-2	BASE PLATE LAYOUT	1	31 JUL 08						
FB-3	PROJECT LAYOUT	1	31 JUL 08						
FB-4	BUILDING PROFILE	1	31 JUL 08						
FB-5	BRACING LAYOUT	1	31 JUL 08						
FB-6	FABRIC DETAILS	1	31 JUL 08						
FB-7	LINER FABRIC DETAILS	1	31 JUL 08						
EW-1	ENDWALL 1	1	31 JUL 08						
EW-2	ENDWALL 2	1	31 JUL 08						
BD-1	BASE PLATE DETAILS	1	31 JUL 08						
SD-1	STANDARD DETAILS 1	1	31 JUL 08						
SD-2	STANDARD DETAILS 2	1	31 JUL 08						
ED-1	ENDWALL DETAILS 1	1	31 JUL 08						
ED-2	ENDWALL DETAILS 2	1	31 JUL 08						
SO-1	SIDE DR DOOR DETAIL	1	31 JUL 08						
LD-1	LINER DETAILS	1	31 JUL 08						
FT-1	FABRIC TERMINATION DETAILS	1	31 JUL 08						
HP-1	HANGING POINT DETAIL	1	31 JUL 08						

ROOF PLAN NOTES  
 UNLESS NOTED, USE #5/8" (16mm) BOLTS FOR PURLIN TO TRUSS, CABLE OR ROD BRACING TO TRUSS AND ANCHORS TO TRUSS FOR ALL CONNECTIONS.

CABLE / ROD AND PURLIN BRACING ARE AN INTERNAL PART OF THE TRUSSES STRUCTURAL SYSTEMS AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF FABRIC ROOF AND ENDWALL PANELS. REMOVAL OR ALTERATION OF ANY BRACING WITHOUT PRIOR AUTHORIZATION FROM COVER-ALL BUILDING SYSTEMS INC. IS PROHIBITED.

ELEVATION NOTES  
 HOLES REQUIRED IN HSS COLUMNS, HEADERS OR PURLINS FOR FRAMED OPENINGS, DOOR OR WINDOW POST CONNECTION TO BE BY ERECTOR.

WALK DOOR, WINDOW AND FRAMED OPENING PORTS TO BE FIELD ANCHORED TO CONCRETE WITH #1/2" (12mm) "MULTI CUT-BOLTS" OR BOLTLAS.

PARTITION WALL NOTE  
 FIELD INSTALLATION OF PARTITION WALL TO UNDERSIDE OF ANY ARCH FRAMING MEMBERS MUST ALLOW FOR VERTICAL BUILDING DEFLECTION. CONTACT COVER-ALL BUILDING SYSTEMS INC. FOR REQUIRED CLEARANCES.

MATERIAL STORAGE  
 GALVANIZED, ALUMINIZED, AND COLORED MATERIALS ARE SUBJECT TO CORROSION AND DISCOLORATION IF THEY ARE IMPROPERLY STORED. SHORT TERM JOB SITE STORAGE OF STEEL COMPONENTS MAY BE TOLERATED, PROVIDED CARE IS TAKEN TO KEEP THE MATERIALS DRY AT ALL TIMES. WHEN TRUSSES ARE TO BE STORED OUTDOORS, THEY SHOULD BE PLACED AT AN ANGLE SUFFICIENT TO PROMOTE GOOD DRAINAGE. IN ADDITION, SEVERAL INCHES OF CLEARANCE MUST BE PROVIDED BETWEEN THE LOWER END AND THE GROUND TO ALLOW VENTILATION.

NOTE: COVER-ALL BUILDING SYSTEMS INC. WILL NOT BE HELD RESPONSIBLE FOR MATERIALS WHICH ARE IMPROPERLY PROTECTED AFTER DELIVERY.

MANUFACTURING STANDARDS  
 FABRICATION IS IN ACCORDANCE WITH CAN/CSA-B16.1 AND CAN/CSA-B16.6, AS APPLICABLE.

COVER-ALL BUILDING SYSTEMS INC. IS A CMC CERTIFIED DIVISION 2.1 MANUFACTURER OF TRUSSES. ALL WELDS ARE COMPLETED IN SHOP AS PER CMC STANDARD CSA B147.1 AND W50. AS PART OF OUR CMC CERTIFICATION AN INDEPENDENT THIRD PARTY TESTS OUR WELDERS AND PROCEDURES AND ADITS OUR FACILITIES. THIS CERTIFICATION MEETS WITH AWS D1.1 AND D1.3 CRITERIA.

**BUILDING PLAN CHECK**  
 ★ **APPROVED** ★  
 AUG 27 2008

**PERMIT AND RESOURCE  
 MANAGEMENT DEPARTMENT**

**SUMMIT  
 STRUCTURES**

MIT STRUCTURES US  
 C  
 TNA LING DHARMA  
 BLISHING  
 ZADERO, CA  
 REHOUSE

ORDER ID:  
 88640

THIS DRAWING IS PROPERTY OF  
 SUMMIT STRUCTURES LLC. ANY  
 REPRODUCTION IN WHOLE OR IN PART  
 WITHOUT THE EXPRESSED WRITTEN  
 CONSENT OF SUMMIT STRUCTURES  
 LLC OR ANY OF ITS AFFILIATES IS  
 PROHIBITED.

DRAWN BY:  
 S SOBOTKA

DATE:  
 31 JUL 08

CHECKED BY:

DATE:

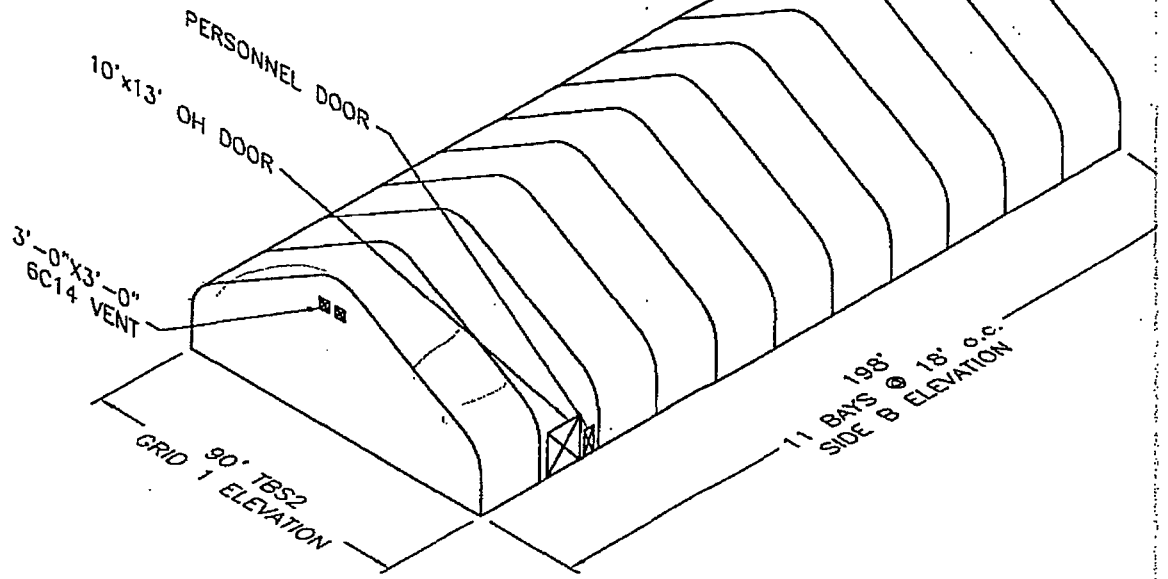
SCALE:  
 N.T.S.

PH: 1-877-413-7197 FAX: 1-877-413-7189  
 WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com

DRAWING TITLE:  
 COVERPAGE

DWG #:  
 FB-1

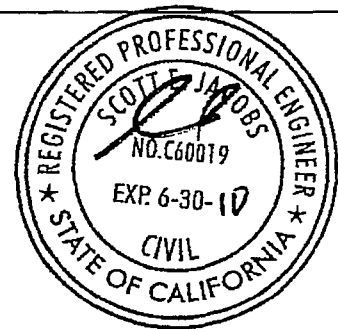
REVISION:  
 1



PERS

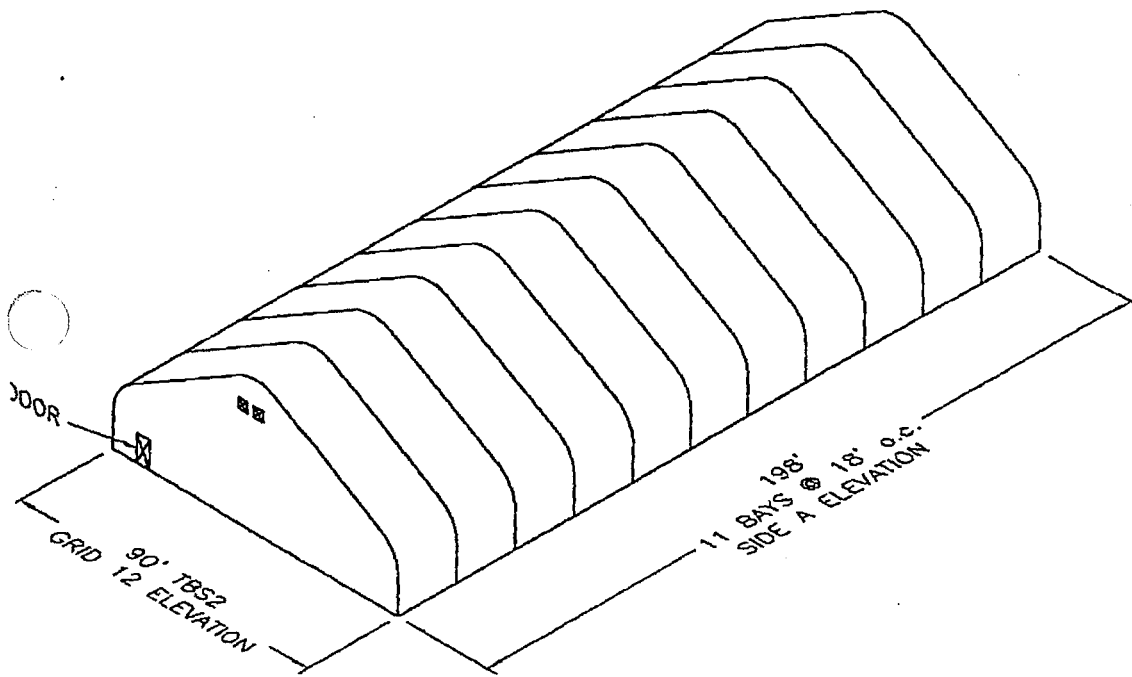
ALL BAYS ARE: RIGHT SIDE FR WHITE, LEFT SIDE FR-GREEN - 4mil MAIN COLOR  
 BOTTOM TO TOP-OF-LEG FR SANDSTONE - 4mil UNLESS NOTED  
 COVER LINER: FR-WHITE  
 Endwall 1: HSS and Fabric FR SANDSTONE - 4mil  
 Endwall 2: HSS and Fabric FR SANDSTONE - 4mil  
 ENDWALL LINERS: FR-WHITE  
 PLEASE REFER TO FOLLOWING DRAWINGS  
 FOR EXACT BUILDING DIMENSIONS

REV.	DESCRIPTION	BY	DATE
1	RELEASED	SS	31 JUL 08



OFFICE  
 CUSTOMER  
 PROJECT  
 PROJECT  
 SBS

AUG 25 2008



SUMMIT STRUCTURES US

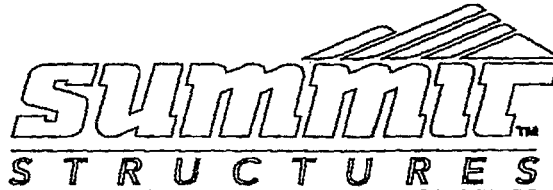
NA LING DHARMA  
 BUSHING  
 ADERO, CA  
 HOUSE

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 LLC OR ANY OF ITS AFFILIATES IS  
 PROHIBITED.

DRAWN BY: S SOBOTKA  
 DATE: 31 JUL 08

CHECKED BY: DATE:

SCALE: N.T.S.



PH: 1-877-413-7197 FAX: 1-877-413-7189  
 WEBSITE: www.summitstructures.com E-MAIL: info@summitstructures.com

DRAWING TITLE: PROJECT LAYOUT

DWG #: FB-3  
 REVISION: 1

ORDER ID:  
 88640



**LABEL**

70-1453

100-1453

1 PMP

FBI SANDERS

ADD

UNITED STATES

# SECTION 5

**FIELD INSPECTION RECORD**

Sonoma County Permit And Resource Management Department  
2550 Ventura Avenue ♦ Santa Rosa, CA 95403 ♦ Telephone (707) 565-1900

**AUTOMATED INSPECTION  
REQUEST SYSTEM**

♦ 565-3551 ♦

Our automated inspection request system (for use with a touch tone phone) allows you to schedule next day inspections by calling between the hours of 6:00 a.m. to midnight. You must have your permit number, job address number and the inspection code listed below.

**THIS JOB CARD MUST BE AVAILABLE  
AT TIME OF INSPECTION**

OWNER: HEAD LAMA OF TIBETAN NYINGMAF  
MEDITATION CENTER  
PERMITS: BLD08-1350 AREA: 8N  
ADDRESS: 35755 HAUSER BRIDGE RD TIM  
ISSUED DATE: 04/16/2008  
APPLICANT: RLS FIRE PROTECTION SYSTEM

CONTACT: DFOLSOM  
DESC: COMM FIRE SPRINKLERS FOR BLD08-

CODE	INSPECTION TYPE	CODE	INSPECTION TYPE
101	GRADING ROUGH	166	ACCESSIBILITY COMPLIANCE
121	FIRE SAFE STANDARDS	144	WATER TANKS
135	STUCCO/PLASTER	140	PROGRESS CLEARANCES
	LATH		FIRE DEPARTMENT
	SCRATCH		HEALTH DEPARTMENT
130	TUB/SHOWER PAN		ZONING
136	VENEER		SANITATION
132	CLOSE-IN	199	FINAL
122	ROUGH ELECTRICAL		CERTIFICATE OF OCCUPANCY
123	ROUGH MECHANICAL		SUPPLEMENTAL SERVICES/SEPARATE PERMIT REQ'D
124	ROUGH PLUMBING	170	TEMPORARY OCCUPANCY
128	ROUGH FRAME	171	TEMPORARY ELECTRICAL
160	SMOKE DETECTORS	172	TEMPORARY GAS
139	INSULATION/ENERGY REQUIREMENTS		COMMERCIAL FIRE INSPECTIONS
142	WALLBOARD	770	SPRINKLER FINAL <i>DM 4/18/08</i>
143	FIREWALLS	771	ABOVEGROUND HYDROSTATIC <i>DM 4/18/08</i>
137	ROOFING	772	UNDERGROUND HYDROSTATIC
162	FIRE DAMPERS/DOORS	773	UNDERGROUND FLUSH
164	SUSPENDED CEILING	774	THRUST BLOCKS
	ROUGH ELECTRICAL	775	PIPE WELD
	ROUGH MECHANICAL	776	HYDRANTS/APPLIANCES
129	DECK	777	PUMP ACCEPTANCE
165	EXITING - RAMPS/STAIRS	778	WATER SUPPLY/TANK
163	HANDRAILS/GUARDRAILS	779	ALARM SYSTEM
	RAMPS	780	HOOD & DUCT SYSTEM
	CORRIDORS/DOORS	781	ABOVEGROUND
		198	FIRE FINAL <i>DM 4/18/08</i>

*Tent 1*

# FINAL INSPECTION RECORD

Sonoma County Permit And Resource Management Department  
2550 Ventura Avenue \* Santa Rosa, CA 95403 \* Telephone (707) 565-1900

## AUTOMATED INSPECTION REQUEST SYSTEM \* 565-3551 \*

OWNER: HEAD LAMA OF TIBETAN NYINGMAF  
MEDITATION CENTER  
PERMITS: BLD08-1714 AREA: 02  
ADDRESS: 35755 HAUSER BRIDGE RD TIM  
ISSUED DATE: 05/09/2008  
APPLICANT: RLS FIRE PROTECTION SYSTEM

Our automated inspection request system (for use with a touch tone phone) allows you to schedule next day inspections by calling between the hours of 6:00 a.m. to midnight. You must have your permit number, job address number and the inspection code listed below.

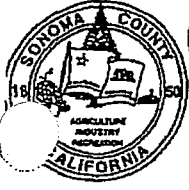
**THIS JOB CARD MUST BE AVAILABLE  
AT TIME OF INSPECTION**

CONTACT: SANDERS3  
DESC: COMMERCIAL FIRE SPRINKLERS RATI

INSPECTION TYPE	CODE	INSPECTION TYPE
FLOOR FINISHING	177	MECHANICAL FINAL
1 SIDING/SHEATHING	178	PLUMBING FINAL
3 STUCCO/PLASTER	140	PROGRESS
LATH		CLEARANCES
SCRATCH		FIRE DEPARTMENT
1 TUB/SHOWER PAN		HEALTH DEPARTMENT
3 VENEER		ZONING
2 CLOSE-IN		SANITATION
2 ROUGH ELECTRICAL	99	FINAL
3 ROUGH MECHANICAL		CERTIFICATE OF OCCUPANCY
4 ROUGH PLUMBING		SUPPLEMENTAL SERVICES/SEPARATE PERMIT REQ.
8 ROUGH FRAME	170	TEMPORARY OCCUPANCY
160 SMOKE DETECTORS		171 TEMPORARY ELECTRICAL
139 INSULATION/ENERGY REQUIREMENTS		172 TEMPORARY GAS
142 WALLBOARD		COMMERCIAL FIRE INSPECTIONS
143 FIREWALLS		770 SPRINKLER FINAL <i>DA 5/20/08 MAC/RS</i>
137 ROOFING		771 ABOVEGROUND HYDROSTATIC
162 FIRE DAMPERS/DOORS		772 UNDERGROUND HYDROSTATIC
164 SUSPENDED CEILING		773 UNDERGROUND FLUSH
ROUGH ELECTRICAL		774 THRUST BLOCKS <i>2/11 3/13/08</i>
ROUGH MECHANICAL		775 PIPE WELD <i>2/11 3/13/08</i>
129 DECK		776 HYDRANTS/APPLIANCES
165 EXITING - RAMPS/STAIRS		777 PUMP ACCEPTANCE
163 HANDRAILS/GUARDRAILS		778 WATER SUPPLY/TANK
RAMPS		779 ALARM SYSTEM
CORRIDORS/DOORS		780 HOOD & DUCT SYSTEM
		781 ABOVEGROUND
		198 FIRE FINAL

Version 1 | Version 03-000.cdr | Revised 06-04-05

Terry Z



2

COUNTY OF SONOMA  
DEPARTMENT OF EMERGENCY SERVICES  
FIRE SERVICES • EMERGENCY MANAGEMENT • HAZARDOUS MATERIALS

VERNON A. LOSH II, DIRECTOR

COMMERCIAL  
INSPECTION NOTICE

DATE: 5/20/2008

Site Address: 35755 HAUSER BRIDGE RD  
 Billing Address:  
 Permit #: 30008-1714  
 City:  
 New Construction     Tenant Improvement    Fire District: TIMBER COVE  
 PARTIAL     ASSESS RE-INSPECTION FEE    Stories: 1

INSPECTION CODE AND TYPE

<input type="checkbox"/> 759 Knox Box/Gate switch	<input checked="" type="checkbox"/> 770 FIRE SPRINKLER	<input type="checkbox"/> 779 Alarm system
<input type="checkbox"/> 771 Aboveground hydro	<input type="checkbox"/> 775 Pipe weld	<input type="checkbox"/> 780 Hood & duct system
<input type="checkbox"/> 772 Underground hydro	<input type="checkbox"/> 776 Hydrants/appliances	<input type="checkbox"/> 781 Aboveground tank/dispenser
<input type="checkbox"/> 773 Underground flush	<input type="checkbox"/> 777 Pump acceptance	<input type="checkbox"/> 121 FSS Clearance foundation
<input type="checkbox"/> 774 Thrust blocks	<input type="checkbox"/> 778 Water supply/tank	<input type="checkbox"/> 198 FIRE FINAL

Comments:

FIRE SPRINKLER FINAL - PASS

NOTE: INSPECTOR TEST REDUCER REQUIRED

Hazmat Business Plan    Contact: \_\_\_\_\_ Phone #: \_\_\_\_\_  
 Knox Box    Contact: \_\_\_\_\_ Phone #: \_\_\_\_\_  
 Okay to proceed with BLOG FINAL inspection.

MACINTYRE  
INSPECTORS NAME

565-3375  
PHONE

*[Signature]*  
INSPECTORS SIGNATURE

# FIELD INSPECTION RECORD

Sonoma County Permit And Resource Management Department  
2550 Ventura Avenue ♦ Santa Rosa, CA 95403 ♦ Telephone (707) 565-1900

**OWNER: HEAD LAMA OF TIBETAN NYINGMAF  
MEDITATION CENTER**

**PERMITS: BLD02 4334 AREA: 02**

**ADDRESS: 35755 HAUSER BRIDGE RD TIM**

**ISSUED DATE: 10/17/2008**

**APPLICANT: RLS FIRE PROTECTION SYSTEM**

**CONTACT: SANDERS3**

**DESC: COMM FIRE SPRINKLERS RE: TEMP TE**

4

## AUTOMATED INSPECTION REQUEST SYSTEM

♦ 565-3551 ♦

Our automated inspection request system (for use with a touch tone phone) allows you to schedule next day inspections by calling between the hours of 6:00 a.m. to midnight. You must have your permit number, job address number and the inspection code listed below.

**THIS JOB CARD MUST BE AVAILABLE  
AT TIME OF INSPECTION**

JOB	INSPECTION TYPE	Section CODE	INSPECTION TYPE
01	GRADING ROUGH	166	ACCESSIBILITY COMPLIANCE
21	FIRE SAFE STANDARDS	144	WATER TANKS
03	FOUNDATION		SLAB
	FORMS/SETBACK		WALLS
	FOOTING	174	ELECTRIC METER AUTHORIZATION
	WALLS	152	PANEL BOARDS/SERVICE
06	UFER GROUND	189	SEPTIC ELECTRIC FINAL
04	CAISSONS/PIERS	175	GAS METER AUTHORIZATION
05	SLAB	153	GAS PRESSURE TEST
	G UTILITIES		HOUSE
07	MASONRY		YARD
	SMOKE DETECTORS	171	TEMPORARY ELECTRICAL
	INSULATION/ENERGY REQUIREMENTS	172	TEMPORARY GAS
	WALLBOARD		COMMERCIAL FIRE INSPECTIONS
	FIREWALLS	770	SPRINKLER FINAL
	ROOFING	771	ABOVEGROUND HYDROSTATIC
	FIRE DAMPERS/DOORS	772	UNDERGROUND HYDROSTATIC
	SUSPENDED CEILING	773	UNDERGROUND FLUSH
	ROUGH ELECTRICAL	774	THRUST BLOCKS
	ROUGH MECHANICAL	775	PIPE WELD
	DECK	776	HYDRANTS/APPLIANCES
	EXITING - RAMPS/STAIRS	777	PUMP ACCEPTANCE
	HANDRAILS/GUARDRAILS	778	WATER SUPPLY/TANK
	RAMPS	779	ALARM SYSTEM
	CORRIDORS/DOORS	780	HOOD & DUCT SYSTEM
		781	ABOVEGROUND
		198	FIRE FINAL

10-24-08  
10-24-08

**FIELD INSPECTION RECORD**

*Confirmation # 191679*

Sonoma County Permit And Resource Management Department  
2550 Ventura Avenue ❖ Santa Rosa, CA 95403 ❖ Telephone (707) 565-1900

**AUTOMATED INSPECTION  
REQUEST SYSTEM  
❖ 565-3551 ❖**

**OWNER: HEAD LAMA OF TIBETAN NYINGMAP  
MEDITATION CENTER  
PERMITS: BLD08-2124      AREA: 02  
ADDRESS: 35755 HAUSER BRIDGE RD TIM  
ISSUED DATE: 06/05/2008  
APPLICANT: BODEN CONSTRUCTION**

Our automated inspection request system (for use with a touch tone phone) allows you to schedule next day inspections by calling between the hours of 6:00 a.m. to midnight. You must have your permit number, job address number and the inspection code listed below.

**CONTACT: SANDERS3  
DESC: TEMP 14,400SF TEMP STORAGE TEI**

**THIS JOB CARD MUST BE AVAILABLE  
AT TIME OF INSPECTION**

*CONF # 7-23-08  
197414*

*EXP (RET)*

Scantron CODE	INSPECTION TYPE	Scantron CODE	INSPECTION TYPE
101	GRADING ROUGH	166	ACCESSIBILITY COMPLIANCE
121	FIRE SAFE STANDARDS	144	WATER TANKS
103	FOUNDATION		SLAB
	FORMS/SETBACK		WALLS
	FOOTING	174	ELECTRIC METER AUTHORIZATION
	WALLS	152	PANEL BOARDS/SERVICE
105	UFER GROUND	189	SEPTIC ELECTRIC FINAL
	CAISSONS/PIERS <i>see note 10-6-08 5th</i>	175	GAS METER AUTHORIZATION
105	SLAB	153	GAS PRESSURE TEST
7	U/G UTILITIES		HOUSE
110	MASONRY		YARD
109	RETAINING WALLS	190	MANUFACTURED HOME FOUNDATION
113	FIREPLACE	191	MANUFACTURED HOME INSTALLATION
	FOOTING		CONTINUITY
	HEARTH/PROTECTION		STAIRS/SKIRTS
	THROAT		RIDGE BOLTING
114	CHIMNEY	193	MANUFACTURED HOME COND. FINAL
120	UNDERFLOOR/UNDERSLAB, ALL		SWIMMING POOLS
115	HYDRONICS	197	VINYL/FIBERGLASS POOL EXCAVATION
116	U/F ELECTRICAL	194	PRE-GUNITE
117	U/F MECHANICAL	195	PRE-DECK
118	U/F PLUMBING	196	PRE-PLASTER/FENCE
119	U/F FRAMING		STORM WATER
139	U/F INSULATION	650	SUSMP INSPECTION
125	HOLD DOWNS	651	STORM WATER PRE-CONSTRUCTION
126	SHEAR WALLS	652	STORM WATER BMPs VERIFICATION
	INTERIOR	653	STORM WATER FINAL
	EXTERIOR		
127	DIAPHRAGMS	102	GRADING FINAL
	ROOF NAILING	176	ELECTRICAL FINAL <i>10-24-08 RP</i>
	FLOOR NAILING	177	MECHANICAL FINAL
128	SIDING/SHEATHING	178	PLUMBING FINAL
129	STUCCO/PLASTER	140	PROGRESS
	LATH		CLEARANCES
	SCRATCH		FIRE DEPARTMENT
130	TUB/SHOWER PAN		HEALTH DEPARTMENT
136	VENEER		ZONING
132	CLOSE IN		SANITATION
122	ROUGH ELECTRICAL	199	FINAL <i>10-24-08 RP</i>
123	ROUGH MECHANICAL		CERTIFICATE OF OCCUPANCY
124	ROUGH PLUMBING		SUPPLEMENTAL SERVICES/SEPARATE PERMIT REQD

*6-8-07*

*10-24-08  
# 203934*



CONF # 7-23-08  
197414

EXP (RST)

Scantron CODE	INSPECTION TYPE	Scantron CODE	INSPECTION TYPE
101	GRADING ROUGH	166	ACCESSIBILITY COMPLIANCE
	FIRE SAFE STANDARDS	144	WATER TANKS
	FOUNDATION		SLAB
	FORMS/SETBACK		WALLS
	FOOTING	174	ELECTRIC METER AUTHORIZATION
	WALLS	152	PANEL BOARDS/SERVICE
106	UFER GROUND	189	SEPTIC ELECTRIC FINAL
	CAISSONS/PIERS <i>see note 7-6-08'sch</i>	175	GAS METER AUTHORIZATION
105	SLAB	153	GAS PRESSURE TEST
107	U/G UTILITIES		HOUSE
110	MASONRY		YARD
109	RETAINING WALLS	190	MANUFACTURED HOME FOUNDATION
113	FIREPLACE	191	MANUFACTURED HOME INSTALLATION
	FOOTING		CONTINUITY
	HEARTH/PROTECTION		STAIRS/SKIRTS
	THROAT		RIDGE BOLTING
114	CHIMNEY	193	MANUFACTURED HOME COND. FINAL
120	UNDERFLOOR/UNDERSLAB, ALL		SWIMMING POOLS
115	HYDRONICS	197	VINYL/FIBERGLASS POOL EXCAVATION
116	U/F ELECTRICAL	194	PRE-GUNITE
117	U/F MECHANICAL	195	PRE-DECK
118	U/F PLUMBING	196	PRE-PLASTER/FENCE
119	U/F FRAMING		STORM WATER
139	U/F INSULATION	650	SUSMP INSPECTION
125	HOLD DOWNS	651	STORM WATER PRE-CONSTRUCTION
126	SHEAR WALLS	652	STORM WATER BMPs VERIFICATION
	INTERIOR	653	STORM WATER FINAL
	EXTERIOR		
127	DIAPHRAGMS	102	GRADING FINAL
	ROOF NAILING	176	ELECTRICAL FINAL <i>10-24-08 RP</i>
	FLOOR NAILING	177	MECHANICAL FINAL
	SIDING/SHEATHING	178	PLUMBING FINAL
	STUCCO/PLASTER	140	PROGRESS
	LATH		CLEARANCES
	SCRATCH		FIRE DEPARTMENT
130	TUB/SHOWER PAN		HEALTH DEPARTMENT
136	VENEER		ZONING
132	CLOSE-IN		SANITATION
122	ROUGH ELECTRICAL	199	FINAL <i>10-24-08 RP</i>
123	ROUGH MECHANICAL		CERTIFICATE OF OCCUPANCY
124	ROUGH PLUMBING		SUPPLEMENTAL SERVICES/SEPARATE PERMIT REQ'D
	ROUGH FRAME	170	TEMPORARY OCCUPANCY <i>7-23-08'sch</i>
	SMOKE DETECTORS	171	TEMPORARY ELECTRICAL
139	INSULATION/ENERGY REQUIREMENTS	172	TEMPORARY GAS
142	WALLBOARD		COMMERCIAL FIRE INSPECTIONS
143	FIREWALLS	770	SPRINKLER FINAL
137	ROOFING	771	ABOVEGROUND HYDROSTATIC
162	FIRE DAMPERS/DOORS	772	UNDERGROUND HYDROSTATIC
164	SUSPENDED CEILING	773	UNDERGROUND FLUSH
	ROUGH ELECTRICAL	774	THRUST BLOCKS
	ROUGH MECHANICAL	775	PIPE WELD
129	DECK	776	HYDRANTS/APPLIANCES
	EXITING - RAMPS/STAIRS	777	PUMP ACCEPTANCE
	HANDRAILS/GUARDRAILS	778	WATER SUPPLY/TANK
	RAMPS	779	ALARM SYSTEM
	CORRIDORS/DOORS	780	HOOD & DUCT SYSTEM
		781	ABOVEGROUND
		198	FIRE FINAL <i>10-24-08</i>

# FIELD INSPECTION RECORD

Confirm # 202147

Sonoma County Permit And Resource Management Department  
2550 Ventura Avenue ❖ Santa Rosa, CA 95403 ❖ Telephone (707) 565-1900

**OWNER: HEAD LAMA OF TIBETAN NYINGMAF  
MEDITATION CENTER**  
**PERMITS: BLD08-3658 AREA: 02**  
**ADDRESS: 35755 HAUSER BRIDGE RD TIM**  
**ISSUED DATE: 08/28/2008**  
**APPLICANT: BODEN CONSTRUCTION**  
**CONTACT: SANDERS3**  
**DESC: TENT #4 16,000 SQ FT TEMP STORAGE**

## AUTOMATED INSPECTION REQUEST SYSTEM ❖ 565-3551 ❖

Our automated inspection request system (for use with a touch tone phone) allows you to schedule next day inspections by calling between the hours of 6:00 a.m. to midnight. You must have your permit number, job address number and the inspection code listed below.

**THIS JOB CARD MUST BE AVAILABLE  
AT TIME OF INSPECTION**

*EXPIRED*

Scantron CODE	INSPECTION TYPE	Scantron CODE	INSPECTION TYPE
101	GRADING ROUGH	166	ACCESSIBILITY COMPLIANCE 6-8-09
121	FIRE SAFE STANDARDS	144	WATER TANKS
103	FOUNDATION		SLAB
	FORMS/SETBACK		WALLS
	FOOTING @ Come down 8-27-08 S.F.	174	ELECTRIC METER AUTHORIZATION
	WALLS	152	PANEL BOARDS/SERVICE
106	UFER GROUND	189	SEPTIC ELECTRIC FINAL
104	CAISSONS/PIERS	175	GAS METER AUTHORIZATION
5	SLAB	153	GAS PRESSURE TEST
	U/G UTILITIES		HOUSE
	MASONRY		YARD
109	RETAINING WALLS	190	MANUFACTURED HOME FOUNDATION
113	FIREPLACE	191	MANUFACTURED HOME INSTALLATION
	FOOTING		CONTINUITY
	HEARTH/PROTECTION		STAIRS/SKIRTS
	THROAT		RIDGE BOLTING
114	CHIMNEY	193	MANUFACTURED HOME COND. FINAL
120	UNDERFLOOR/UNDERSLAB, ALL		SWIMMING POOLS
115	HYDRONICS	197	VINYL/FIBERGLASS POOL-EXCAVATION
116	U/F ELECTRICAL	194	PRE-GUNITE
117	U/F MECHANICAL	195	PRE-DECK
118	U/F PLUMBING	196	PRE-PLASTER/FENCE
119	U/F FRAMING		STORM WATER
139	U/F INSULATION	650	SUSMP INSPECTION
125	HOLD DOWNS	651	STORM WATER PRE-CONSTRUCTION
126	SHEAR WALLS	652	STORM WATER BMPs VERIFICATION
	INTERIOR	653	STORM WATER FINAL
	EXTERIOR		
127	DIAPHRAGMS	102	GRADING FINAL
	ROOF NAILING	176	ELECTRICAL FINAL 10-24-08 RP
	FLOOR NAILING	177	MECHANICAL FINAL
134	SIDING/SHEATHING	178	PLUMBING FINAL
135	STUCCO/PLASTER	140	PROGRESS
	LATH		CLEARANCES
	SCRATCH		FIRE DEPARTMENT
	TUB/SHOWER PAN		HEALTH DEPARTMENT
130	VENEER 9-29-08 all but when electrical		ZONING
132	CLOSE-IN Partial 10-10-08 S.F. to garage RP		SANITATION
122	ROUGH ELECTRICAL 10-10-08 S.F.	199	FINAL 10-24-08 RP
123	ROUGH MECHANICAL		CERTIFICATE OF OCCUPANCY
124	ROUGH PLUMBING		SUPPLEMENTAL SERVICES/SEPARATE PERMIT REQ'D

EXPIRED

Scanlon CODE	INSPECTION TYPE	Scanlon CODE	INSPECTION TYPE
104	GRADING ROUGH	166	ACCESSIBILITY COMPLIANCE 6-8-09
	FIRE SAFE STANDARDS	144	WATER TANKS
	FOUNDATION		SLAB
	FORMS/SETBACK		WALLS
	FOOTING	174	ELECTRIC METER AUTHORIZATION
	WALLS	152	PANEL BOARDS/SERVICE
106	UFER GROUND	189	SEPTIC ELECTRIC FINAL
104	CAISSONS/PIERS	175	GAS METER AUTHORIZATION
105	SLAB	153	GAS PRESSURE TEST
107	U/G UTILITIES		HOUSE
	MASONRY		YARD
109	RETAINING WALLS	190	MANUFACTURED HOME FOUNDATION
113	FIREPLACE	191	MANUFACTURED HOME INSTALLATION
	FOOTING		CONTINUITY
	HEARTH/PROTECTION		STAIRS/SKIRTS
	THROAT		RIDGE BOLTING
114	CHIMNEY	193	MANUFACTURED HOME COND. FINAL
120	UNDERFLOOR/UNDERSLAB, ALL		SWIMMING POOLS
115	HYDRONICS	197	VINYL/FIBERGLASS POOL EXCAVATION
116	U/F ELECTRICAL	194	PRE-GUNITE
117	U/F MECHANICAL	195	PRE-DECK
118	U/F PLUMBING	196	PRE-PLASTER/FENCE
119	U/F FRAMING		STORM WATER
139	U/F INSULATION	650	SUSMP INSPECTION
125	HOLD DOWNS	651	STORM WATER PRE-CONSTRUCTION
126	SHEAR WALLS	652	STORM WATER BMPs VERIFICATION
	INTERIOR	653	STORM WATER FINAL
	EXTERIOR		
127	DIAPHRAGMS	102	GRADING FINAL
	ROOF NAILING	176	ELECTRICAL FINAL 10-24-08 RP
	FLOOR NAILING	177	MECHANICAL FINAL
134	SIDING/SHEATHING	178	PLUMBING FINAL
135	STUCCO/PLASTER	140	PROGRESS
	LATH		CLEARANCES
	SCRATCH		FIRE DEPARTMENT
	TUB/SHOWER PAN		HEALTH DEPARTMENT
100	VENEER		ZONING
132	CLOSE IN Partial 9-29-08 all but where electrical		SANITATION
122	ROUGH ELECTRICAL 10-10-08 safe ground RP	199	FINAL 10-24-08 RP
123	ROUGH MECHANICAL		CERTIFICATE OF OCCUPANCY
124	ROUGH PLUMBING		SUPPLEMENTAL SERVICES/SEPARATE PERMIT REQ'D
128	ROUGH FRAME 9-29-08 RP	170	TEMPORARY OCCUPANCY
100	SMOKE DETECTORS	171	TEMPORARY ELECTRICAL
139	INSULATION/ENERGY REQUIREMENTS	172	TEMPORARY GAS
142	WALLBOARD		COMMERCIAL FIRE INSPECTIONS
143	FIREWALLS	770	SPRINKLER FINAL
137	ROOFING	771	ABOVEGROUND HYDROSTATIC
162	FIRE DAMPERS/DOORS	772	UNDERGROUND HYDROSTATIC
100	SUSPENDED CEILING	773	UNDERGROUND FLUSH
	ROUGH ELECTRICAL	774	THRUST BLOCKS
	ROUGH MECHANICAL	775	PIPE WELD
120	DECK	776	HYDRANTS/APPLIANCES
	EXITING - RAMPS/STAIRS	777	PUMP ACCEPTANCE
100	HANDRAILS/GUARDRAILS	778	WATER SUPPLY/TANK
	RAMPS	779	ALARM SYSTEM
	CORRIDORS/DOORS	780	HOOD & DUCT SYSTEM
		781	ABOVEGROUND
		198	FIRE FINAL 10-24-08



County of Sonoma  
**FIRE & EMERGENCY SERVICES DEPARTMENT**



FIRE SERVICES \* EMERGENCY MANAGEMENT \* HAZARDOUS MATERIALS

To: Permits and Resource Management Department  
Planning Division  
Cynthia Demidovich

From: Roberta MacIntyre, Fire Marshal  
Fire Prevention Division  
2250 Ventura Ave. Santa Rosa, Ca 95403  
707-565-1154 [rmacinty@sonoma-county.org](mailto:rmacinty@sonoma-county.org)

Date: February 12, 2014

Permit# PLP08-0021

Scope Ratna Ling Master Use Permit Application

On or about January 21, 2014 I received a copy of a set of documents related to the fire resistance requirements of membrane structures associated with the referenced project.

After reviewing the documents, it appears that sufficient evidence has been provided to prove that the membrane structures are in compliance with the *required fire resistive requirements for membrane structures*. (Ref Section 3102 of the 2007 California Building Code)



# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

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### MEMO

**Date:** February 14, 2014  
**To:** Cynthia Demidovich, Planner III  
**From:** DeWayne Starnes, Building Official  
**Subject:** PLP08-0021, Ratna Ling

I have received and reviewed the set of documents dated January 21, 2014 regarding the fire resistance requirements of the membrane structures associated with the above referenced project.

After my review of the documents, I have determined that sufficient evidence and information has been provided to substantiate the membrane structures are code compliant.

On October 10, 2013, I sent a letter to Ms. Tina Wallis (attached) indicating that the above referenced project are in compliance with the 2007 California Building Code (CBC) requirements per Section 101.9 of the CBC. Additionally, Chapter 7A of the 2007 CBC governs materials and construction methods for exterior wildfire exposure for structures located in a "Wildland-Urban Interface (WUI) Fire Area and these structures were not required to comply with this section of code. Sonoma County exempted accessory structures from compliance with the WUI at that time. Compliance with this section of code was mandated only where required by the local jurisdiction. Sonoma County did not mandate compliance for accessory structures, and these structures were, and are considered accessory. The statute of limitations for appeal of this determination has long since expired.



**COUNTY OF SONOMA**  
**PERMIT AND RESOURCE MANAGEMENT DEPARTMENT**

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

October 10, 2013

Tina Wallis  
Clement, Fitzpatrick & Kenworthy  
3333 Mendocino Ave., Ste. 200  
Santa Rosa, CA 95403  
Via Email: twallis@cfk.com

Re: Ratna Ling Master Use Permit Application

Dear Ms. Wallis:

This purpose of this letter is to respond to your request for clarification of Ben Neuman's April 9, 2012, memo to Cynthia Demidovich and to make a formal determination that the membrane, or tent-type structures are required to comply with the 2007 California Building Code's requirements.

Chapter 7 of the Sonoma County Code regulates building construction and structure-specific issues. Sonoma County Code section 7-2 states that the Chief Building Official administers and enforces Chapter 7 of the Sonoma County Code. Sonoma County Code section 7-13 adopts the California Building Code ("CBC") and other codes by references, unless section 7-13 expressly amends a specific section of the California Building Code.<sup>1</sup> On October 23, 2007, the Sonoma County Board of Supervisors introduced Resolution No. 07-0891 and waived the reading of Ordinance 5754,<sup>2</sup> which amended Chapter 7 of the County Code to incorporate the 2007 California Building Code by reference.

As it was adopted on November 6, 2007, section 101.9 of the CBC states:

Only those standards approved by the California Building Standards Commission that are effective at the time an application for building permit is submitted shall apply to the plans and specifications for, and to the construction performed under, that permit. . . .  
(*emphasis added*)

Thus, under the clear language of the 2007 CBC, as the Board of Supervisors adopted it, the date of a building permit application governs the standards that apply to the structures covered by the building permit. Ratna Ling submitted several building permit applications in 2008<sup>3</sup> for the tent structures

<sup>1</sup> The California Building Code is revised every three years. Thus, typically, Chapter 7 of the Sonoma County Code is updated every three years to adopt the revised CBC by reference, unless a section of the CBC is expressly amended. Sonoma County adopted Ordinance 5754, which included the 2007 CBC, on November 6, 2007. The County's adoption of the 2007 CBC became effective on January 1, 2008.

<sup>2</sup> A copy of Resolution No. 07-0891 and Ordinance 5754 are attached to this letter as Exhibit 1.

<sup>3</sup> The permit applications were:

Permit Application Date:	Permit Issued Date:	Permit No.
April 16, 2008	04-16-2008	BLD 08-1350
May 9, 2008	05-09-2008	BLD 08-1714
May 27, 2008	06-05-2008	BLD 08-2124
July 22, 2008		BLD 08-2910
May 27, 2008	08-28-2008	BLD 08-3658

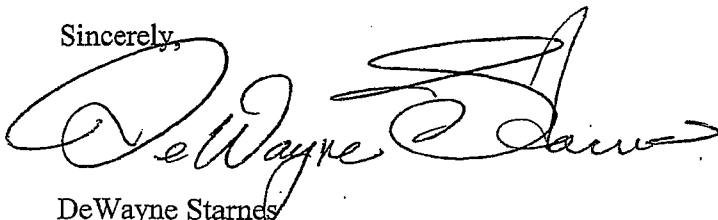
currently being used to store sacred texts on the Ratna Ling property at 35755 Hauser Bridge Road. Since these permits were submitted during 2008, and the 2007 CBC was in effect at that time, it is my determination that the building permits are governed by the 2007 CBC's requirements. It is my understanding that a member of the public commented that the tent structures are subject to the 2010 CBC. This opinion is incorrect because it conflicts with the express language of the 2007 CBC. Furthermore, the express language of Chapter 7-13 of the Sonoma County Code states that the Chief Building Official administers and enforces Chapter 7 of the County Code, and therefore, the CBC.

Chapter 7A of the CBC governs materials and construction methods for exterior wildfire exposure for structures located in a "Wildland-Urban Interface Fire Area."<sup>4</sup> The Ratna Ling property is within a Wildland-Urban Interface Fire Area. I am told that the County received a comment that the tent structures do not comply with the 2010 CBC, including Chapter 7A of the 2010 CBC. This comment is in error for two reasons. First, as is previously determined, the tent structures must comply with the 2007 CBC, not the 2010 CBC. Second, the tent structures are exempt from Chapter 7A's requirements because they are accessory structures. When the State<sup>5</sup> adopted Chapter 7A of the CBC, section 704.A.5,<sup>6</sup> compliance with Chapter 7A for accessory structures is only mandated "where required" by local jurisdictions. Thus, local jurisdictions had the ability to exempt accessory structures from compliance with Chapter 7A, which Sonoma County did. Accordingly, PRMD staff determined that the tent structures were exempt from complying with Chapter 7A of the then-adopted CBC because the tent structures are accessory structures. The Chapter 7A exemption determination occurred in 2008. This exemption means that the material and flammability requirements set forth in Chapter 7A do not apply to the tent structures.

Finally, changing the classification of the tent structures from temporary to permanent has no practical effect. When PRMD reviewed and checked the plans for the tent structures, PRMD required that the tent structures met all criteria for permanent structures. The change from temporary to permanent is not a change of occupancy under the CBC that triggers any additional requirements.

Please feel free to call me at 565-1925 if you have any questions about this letter.

Sincerely,



DeWayne Starnes  
Interim Director, PRMD  
Chief Building Official for Sonoma County

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<sup>4</sup> Broadly stated, the purpose of the Wildland-Urban Interface Fire Area is to establish minimum standards for materials and material assemblies and provide a reasonable level of exterior wildfire exposure protection for buildings. In order to assess the risk of fire, the California Department of Fire evaluated three criteria: (1) fuel hazard; (2) the probability of wildland fire; and (3) housing density of at least one house per 40 acres of land. CDF then mapped and ranked the wildland fire hazard severity zones. There are three rankings: (1) moderate; (2) high and (3) very high. The Ratna Ling property is ranked "high."

<sup>5</sup> Sonoma County's practice is not to do a formal ordinance amendment when the State does an emergency ratification mid-code (i.e., in between three year code adoption/update cycles). The State adopted Phase I of the CBC Chapter 7A on May 18, 2006. During Phase I, Sonoma County looked at the application of Chapter 7A to residential structures, but did not apply Chapter 7A's requirements to appurtenant or accessory structures.

<sup>6</sup> See 2007 CBC section 704.A.5. A copy of Chapter 7A, including section 704.A.5, is attached hereto as Exhibit 2.

OTHER ATTACHMENTS TO SUBSEQUENT  
MITIGATED NEGATIVE DECLARATION

PLP08-0021 - Ratna Ling Retreat Center



County of Sonoma  
Santa Rosa, California

September 9, 2004  
UPE04-0032 Cynthia Demidovich

RESOLUTION OF THE BOARD OF ZONING ADJUSTMENTS,  
COUNTY OF SONOMA, STATE OF CALIFORNIA, ADOPTING A  
NEGATIVE DECLARATION AND GRANTING A USE PERMIT  
FOR A BUDDHIST MONASTERY AND RETREAT CENTER, AT  
35755 HAUSER BRIDGE ROAD, CAZADERO.

WHEREAS, the applicant, Jack Petranker, filed a Use Permit application with the Sonoma County Permit and Resource Management Department to modify Odiyan Buddhist Monastery and Retreat Center including nineteen new cabins, library, healing center, therapeutic pool, and new construction of a 18,750 square foot religious printing facility; convert the existing lodge to a meditation hall with a kitchen and dining facilities; to use one existing cabin located on the east side of Hauser Bridge Road for the retreat facility; and to continue use of an existing storage structure and office structure located on the west side of Hauser Bridge Road; and to use nine existing cabins and two existing single family dwellings located on the west side of Hauser Bridge Road to house long-term residents; located at 35755 Hauser Bridge Rd., Cazadero; APN 109-230-024; Zoned RRD (Resources and Rural Development), B6-240 Density; Supervisorial District No 5; and

WHEREAS, a Mitigated Negative Declaration was prepared and posted for the proposed project in accordance with the appropriate law and guidelines; and

WHEREAS, in accordance with the provisions of law, the Board of Zoning Adjustments held a public hearing on September 9, 2004, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, said Board makes the following findings:

1. Based upon the information contained in the initial study included in the project file, it has been determined that there will be no significant environmental effect resulting from this project, because mitigation measures are incorporated into the project as conditions of approval. The Mitigated Negative Declaration has been completed in compliance with CEQA State and County guidelines and the information contained therein has been reviewed and considered and reflects the independent judgement of the Planning Commission. Mitigation measures have been incorporated as conditions of approval and include a mitigation monitoring program.
2. The use, as conditioned, is consistent with the RRD (Resource and Rural Development) General Plan land use designation and the zoning district regulations as a non-commercial retreat center because it would not detract from or impinge upon lands used for timber, geothermal and mineral resource production or natural resource conservation.
3. The use is consistent with the intent and purpose of the RRD zoning district because it is similar to a non-commercial club or lodge.
4. The use is consistent with the General Plan policy LU-6f in that:
  - a. A Use Permit has been applied and approved for a Buddhist Monastery and

Retreat Center:

- b. The Buddhist Monastery and Retreat Center will not be located on lands currently used for agricultural production and will not conflict with any agricultural production or related processing, support services, or visitor serving uses.
  - c. The Buddhist Monastery and Retreat Center will not conflict with other resource production.
  - d. Adequate public services and infrastructure are available for the use, without inducing unplanned growth.
  - e. The proposed buildings will not occupy more than five acres.
  - f. The Buddhist Monastery and Retreat Center has frontage on a County road.
  - g. The Buddhist Monastery and Retreat Center is open to the public and will serve residents of Sonoma County.
5. The establishment, maintenance or operation of the use for which application is made will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such use, or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the area. The particular circumstances in this case are:
- a. The project would not increase the on-site population (i.e., residents and retreat guests) nor would it intensify use beyond the previously approved Use Permit for a resort with a maximum of 67 persons on site at one time.
  - b. The printing press facility is considered ancillary to the primary use which is a non-commercial retreat center/monastery and a non-profit organization which is directly related to the doctrine of the organization.
  - c. The maximum occupancy for the non-commercial printing press facility is 27 persons.
  - d. The expansion into a previously undeveloped area would not displace any land used for timber production, geothermal and mineral resource production.
  - e. The long-term resident housing would reduce the number of vehicle trips generated by the previously approved resort and thus minimize its local traffic and air quality impacts. A total of 29 fewer trips per day will be generated than the previously approved project.
  - f. The new structures would be located within an area surrounded by forest and would not be visible from the roadway.

NOW THEREFORE BE IT RESOLVED that the Sonoma County Board of Zoning Adjustments hereby adopts the Mitigated Negative Declaration and mitigation monitoring program set forth in the conditions of approval. The Board certifies that the Mitigated Negative Declaration has

been completed, reviewed, and considered, together with comments received during the public review process, in compliance with CEQA and State and County Guidelines, and finds that the Mitigated Negative Declaration reflects the independent judgment of the Board.

BE IT FURTHER RESOLVED that the Sonoma County Board of Zoning Adjustments hereby grants the requested Use Permit, subject to the conditions in Exhibit A, attached hereto.

BE IT FURTHER RESOLVED that the Sonoma County Board of Zoning Adjustments hereby supersedes all previous Use Permits granted on the subject parcels, including but not limited to UP10620, UPE97-0004, and UPE99-0152.

BE IT FURTHER RESOLVED that the Board of Zoning Adjustments designates the Secretary as the custodian of the documents and other material which constitute the record of proceedings upon which the Board's decision herein is based. These documents may be found at the office of the Sonoma County Permit and Resource Management Department, 2550 Ventura Avenue, Santa Rosa, CA 95403.

BE IT FURTHER RESOLVED that the Sonoma County Board of Zoning Adjustments' action shall be final on the 13th day after the date of the resolution unless an appeal is taken.

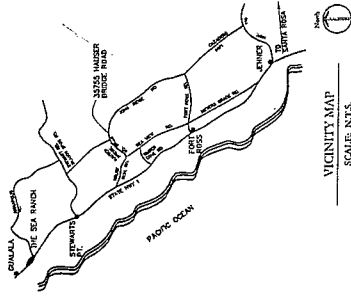
THE FOREGOING RESOLUTION was introduced by Commissioner Furch, who moved its adoption, seconded by Commissioner Van Giesen, and adopted on roll call by the following vote:

Commissioner Cooke	aye
Commissioner Van Giesen	aye
Commissioner Alberigi	aye
Commissioner Furch	aye
Commissioner Bennett	aye

Ayes: 5    Noes: 0    Absent: 0    Abstain: 0

WHEREUPON, the Chairman declared the above and foregoing resolution duly adopted; and

SO ORDERED.



**LEGEND**

- EXISTING ROAD / DRIVEWAY (8 FT TYPICAL)
- EXISTING STRUCTURE
- PERMITTED NOT YET BUILT FOR VESTED RIGHTS
- EXISTING BUILDING TO BECOME PERMITTED STRUCTURE
- STRUCTURE CURRENTLY UNDER CONSTRUCTION PER VESTED RIGHTS
- PROPOSED STRUCTURE
- POTENTIAL STORAGE BUILDING
- WATER
- ALL NEW CONSTRUCTION ON EXISTING LOT
- CENTER LOCATED WITHIN LOT
- CENTER LOCATED OUTSIDE LOT
- FIRE SUPPRESSION



**SITE PLAN**  
**MASTER USE PERMIT**  
RAINA LING RETREAT CENTER  
CAZADERO, CALIFORNIA

CLIENT: HEAD LAMA OF TIBETAN NYINGMAPA MEDITATION CENTER DATE: MAY 23, 2013

**SHRIN/GOD**  
DESIGN ENGINEERS  
11000 15th Street, Suite 100  
Cazadero, CA 94517  
Tel: 707.452.1111  
Fax: 707.452.1112  
www.shrin/god.com

# Planning Application

PJR-001

RECEIVED @ PRMD  
ON 3-18-11

File#: PLP08-0021

**Type of Application:**

- |   |  |   |  |
|---|--|---|--|
| <input type="checkbox"/> Admin Cert. Compliance       | <input type="checkbox"/> Design Review Comm./Ind.  | <input type="checkbox"/> Minor Subdivision            | <input type="checkbox"/> Variance          |
| <input type="checkbox"/> Ag./Timber Preserve/Contract | <input type="checkbox"/> Design Review Residential | <input type="checkbox"/> Mobile Home Zoning Permit    | <input type="checkbox"/> Zone Change       |
| <input type="checkbox"/> Cert. of Compliance          | <input type="checkbox"/> Design Review Signs       | <input type="checkbox"/> Ordinance Interpretation     | <input checked="" type="checkbox"/> Other: |
| <input type="checkbox"/> Cert. of Modification        | <input type="checkbox"/> General Plan Amendment    | <input type="checkbox"/> Second Unit Permit           |  |
| <input type="checkbox"/> Coastal Permit               | <input type="checkbox"/> Lot Line Adjustment       | <input type="checkbox"/> Specific/Area Plan Amendment |  |
| <input type="checkbox"/> Design Review Admin.         | <input type="checkbox"/> Major Subdivision         | <input checked="" type="checkbox"/> Use Permit        | <b>Revision to File</b>                    |

**Applicant (Contact Person):**

**Ratna Ling Retreat Center c/o Jack Petranker**

Name  
**35755 Hauser Bridge Road**  
 Mailing Address  
**Cazadero, CA 95421**  
 City/Town State Zip  
**(510)418-9120**  
 Phone Fax  
 email *petranker@att.net*  
 Signature *[Signature]* Date *3/14/11*

**Owner, if other than Applicant:**

Name  
 Mailing Address  
 City/Town State Zip  
 Phone Fax  
 email  
 Signature Date

**Other Persons to be Notified:** (Specify: Other Owner(s), Agent, Lender, Architect, Engineer, Surveyor)

**J. Kapolchok & Associates**

Name  
**843 2nd Street**  
 Mailing Address  
**Santa Rosa CA 95404**  
 City/Town State Zip  
**Planning Consultant**  
 Title  
**(707)526-8939 (707)526-8985**  
 Phone Fax  
**jkapolchok@sbcglobal.net**  
 email

Name  
 Mailing Address  
 City/Town State Zip  
 Title  
 Phone Fax  
 email

**Project Information:**

**35755 Hauser Bridge Road**

**Cazadero**

Address(es) **109-230-024 AND 109-230-018**

City/Town

Assessor's Parcel Number(s)

Acreage **120**

Project Description: **This is a request for a revision to file PLP08-0021 (see attached proposal statement)**  
 (Please attach additional sheet(s) if needed)

Site Served by Public Water?  Yes  No      Site Served by Public Sewer?  Yes  No      Number of new lots proposed **n/a**

DO NOT WRITE BELOW THIS LINE - To Be Completed by PRMD Staff

Planning Area: **1**      Supervisorial District: **5**      Current Zoning: **RRD Bp 240**      General Plan Land Use: **RRD 240**  
 Specific Plan: **NONE**      S.P. Land Use:      Needs CEQA Review?  yes  no

**Commercial/Industrial Uses:** (Enter numbers where applicable)

Bldg. sq. ft. Existing:      Proposed:      Existing Employees:      New Employees:  
 New Manufactured Homes:      New Units For Sale:      New Units For Rent:      Density Bonus Units:

Violation?  yes  no; Application resolve planning violation?  yes  no; Penalty applicable?  yes  no; Civil Penalty Factor

Previous Files:

Application accepted by \_\_\_\_\_ Date \_\_\_\_\_

**Sonoma County Permit and Resource Management Department**

2550 Ventura Avenue ♦ Santa Rosa, CA ♦ 95403-2829 ♦ (707) 565-1900 ♦ Fax (707) 565-1103

## Supplemental Application Information

Existing use of property: Retreat/Meditation Center

Acreage: 120

Existing structures on property: Numerous - See attached proposal statement and site plan

Proximity to creeks, waterways and impoundment areas: See attached site plan

Vegetation on site: Grassland, Oak and Conifer woodland

General topography: Gentle rolling hillside; mostly below 20%

Surrounding uses to (Note: An adjoining road is not a use.)  
North: large lot timber preserve South: recreational  
East: large lot timber preserve West: large lot/scattered residences

New structures proposed (size, height, type): See attached proposal statement and site plan

Number of employees: Full time: See attached proposal statement Part time: See attached proposal statement Seasonal: See attached proposal statement  
Operating days: 7 days/week Hours of operation: 7am-10pm

Number of vehicles per day: Passenger: minimal Trucks: minimal

Water source: on-site wells and springs; reservoir Sewage disposal: on-site septic systems

Provider, if applicable: \_\_\_\_\_ Provider, if applicable: \_\_\_\_\_

New noise sources (compressors, power tools, music, etc.): none

Grading proposed: Amount of cut (cu. yds.): \_\_\_\_\_ Amount of fill (cu. yds.): \_\_\_\_\_ Will more than one acre be disturbed by construction of access roads, site preparation and clearing, fill or excavation, building removal, building construction, equipment staging and maintenance, or other activities? Yes \_\_\_\_\_ No \_\_\_\_\_ If Yes, indicate area of disturbance(acres): \_\_\_\_\_  
Identify method of site drainage (sheet flow, storm drain, outflow to creek or ditch, detention area, etc.): \_\_\_\_\_

Vegetation to be removed: grassland

Will proposal require annexation to a district in order to obtain public services: Yes \_\_\_\_\_ No X

Are there currently any hazardous materials (chemicals, oils, gasoline, etc.) stored, used or processed on this site? Yes X No \_\_\_\_\_  
Haz. Mat #00-2093

Will the use, storage, or processing of hazardous materials occur on this site in the future if this project is authorized? Yes X No \_\_\_\_\_  
Haz. Mat #00-2093

Fire safety information (existing/proposed water tanks, hydrants, emergency access and turnaround, building materials, etc.): See attached proposal statement and site plan

# COUNTY ASSESSOR'S PARCEL MAP

TAX RATE AREA  
83-000  
83-006

109-23

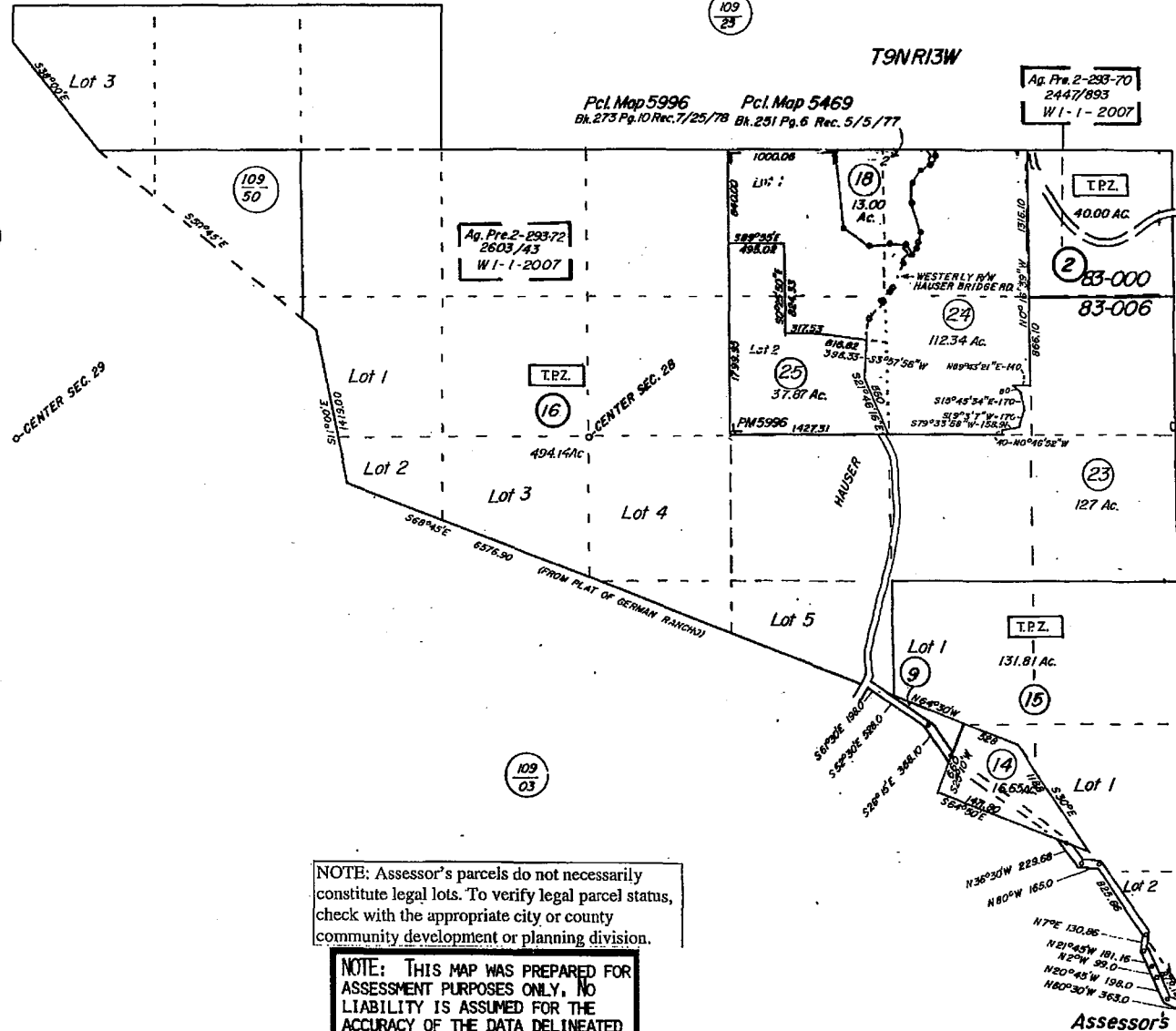
109  
29

109  
29

109  
02

109  
27

109  
22



- REVISED**
- 6-14-77=18
  - 9-18-78=20
  - 3-20-84=Cor.
  - LSL 5-23-01=22
  - LSL 3-5-02=23
  - LSL 10-11-02=25
  - LSL 1-19-07=P/O

NOTE: Assessor's parcels do not necessarily constitute legal lots. To verify legal parcel status, check with the appropriate city or county community development or planning division.

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA DELINEATED HEREON.

Assessor's  
Sonoma County, Calif.  
Map Bk. 109 Pg. 23



Arnold  
Schwarzenegger  
Governor

STATE OF CALIFORNIA  
Governor's Office of Planning and Research  
State Clearinghouse and Planning Unit



Jan Boel  
Acting Director

August 24, 2004

Cynthia Demidovich  
Sonoma County Permit and Resources Management Department  
2550 Ventura Avenue  
Santa Rosa, CA 95403

Subject: Use Permit  
SCH#: 2004072123

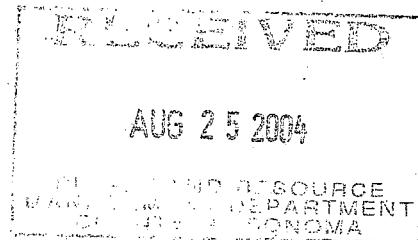
Dear Cynthia Demidovich:

The State Clearinghouse submitted the above named Negative Declaration to selected state agencies for review. The review period closed on August 23, 2004, and no state agencies submitted comments by that date. This letter acknowledges that you have complied with the State Clearinghouse review requirements for draft environmental documents, pursuant to the California Environmental Quality Act.

Please call the State Clearinghouse at (916) 445-0613 if you have any questions regarding the environmental review process. If you have a question about the above-named project, please refer to the ten-digit State Clearinghouse number when contacting this office.

Sincerely,

Terry Roberts  
Director, State Clearinghouse





**Document Details Report  
State Clearinghouse Data Base**

**SCH#** 2004072123  
**Project Title** Use Permit  
**Lead Agency** Sonoma County Permit and Resources Management Department

---

**Type** Neg Negative Declaration

**Description** The proposed project is a request for a Use Permit to establish an annex to the Odiyan Buddhist Monastery and retreat center. The existing 11 cabins located on the west side of the project site will be used to house long-term residents. An existing common building located near the 11 cabins would be used to prepare meals for the long-term residents. A religious printing facility is proposed to be constructed on the west portion of the project site just north of the existing 11 cabins. The existing lodge located on the east portion of the project site would be used as a meditation hall for retreatants, and a temple for residents. The kitchen located in the proposed meditation hall would be used for preparing meals for retreatants, and a part of the building would be converted to dining facilities. A library and a healing resource center is proposed to be constructed on the east portion of the project site near the meditation hall. It is proposed to house the retreatants in 19 new cottages located in the vicinity of the meditation hall.

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**Lead Agency Contact**

**Name** Cynthia Demidovich  
**Agency** Sonoma County Permit and Resources Management Department  
**Phone** 707-565-1754 **Fax**  
**email**  
**Address** 2550 Ventura Avenue  
**City** Santa Rosa **State** CA **Zip** 95403

---

**Project Location**

**County** Sonoma  
**City**  
**Region**  
**Cross Streets** Timber Hill Road  
**Parcel No.** 109-230-024  
**Township** **Range** **Section** **Base**

---

**Proximity to:**

**Highways**  
**Airports**  
**Railways**  
**Waterways**  
**Schools**  
**Land Use** (RRD) Resources and Rural Development, 240 acre density.

---

**Project Issues** Aesthetic/Visual; Air Quality; Archaeologic-Historic; Drainage/Absorption; Soil Erosion/Compaction/Grading; Traffic/Circulation; Water Quality; Wetland/Riparian; Wildlife

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**Reviewing Agencies** Resources Agency; Regional Water Quality Control Board, Region 1; Department of Parks and Recreation; Native American Heritage Commission; Office of Historic Preservation; Department of Fish and Game, Region 3; Department of Water Resources; Caltrans, District 4

---

**Date Received** 07/23/2004 **Start of Review** 07/23/2004 **End of Review** 08/23/2004

---



ARNOLD SCHWARZENEGGER  
GOVERNOR

STATE OF CALIFORNIA  
GOVERNOR'S OFFICE *of* PLANNING AND RESEARCH  
STATE CLEARINGHOUSE AND PLANNING UNIT



CYNTHIA BRYANT  
DIRECTOR

August 15, 2008

Cynthia Demidovich / Dave Hardy  
County of Sonoma Permit and Resource Management Department  
2550 Ventura Avenue  
Santa Rosa, CA 95403

Subject: Ratna Ling Reservoir and Wellness Center (UPE07-0089)  
SCH#: 2008062094

Dear Cynthia Demidovich / Dave Hardy:

The enclosed comment (s) on your Mitigated Negative Declaration was (were) received by the State Clearinghouse after the end of the state review period, which closed on July 28, 2008. We are forwarding these comments to you because they provide information or raise issues that should be addressed in your final environmental document.

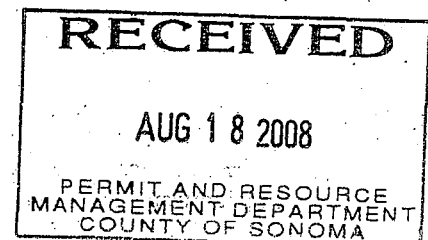
The California Environmental Quality Act does not require Lead Agencies to respond to late comments. However, we encourage you to incorporate these additional comments into your final environmental document and to consider them prior to taking final action on the proposed project.


Please contact the State Clearinghouse at (916) 445-0613 if you have any questions concerning the environmental review process. If you have a question regarding the above-named project, please refer to the ten-digit State Clearinghouse number (2008062094) when contacting this office.

Sincerely,

Terry Roberts  
Senior Planner, State Clearinghouse

Enclosures  
cc: Resources Agency



The image features a sunset landscape with a field in the foreground and trees in the background. The sun is low on the horizon, creating a warm, orange glow. The text "Coastal Hills Rural Preservation" is written in a green, serif font at the top left. In the bottom right corner, there is contact information in a small, white font.

Coastal Hills Rural Preservation

P.O. Box 618 ~ Gualala, CA 95445  
[sonomacoastalhilleruralpreservation.org](http://sonomacoastalhilleruralpreservation.org)  
[facebook.com/sonoma.chirp](https://facebook.com/sonoma.chirp)

Master Issue Statement  
Appeal of PLP08-0021  
Ratna Ling Retreat

April 1, 2014

### Environmental

A large-scale, industrial printing factory, Dharma Press, was installed in the rural, coastal hills of Sonoma County without an Environmental Impact Report and contrary to the General Plan. This Resources and Rural Development area (RRD) is designated by the county for open space, recreation, agriculture, animal husbandry, and those industries and commercial businesses that utilize, serve, and process the products of the land.

This project substantially diverges from the General Plan and requires a General Plan Amendment and an Environmental Impact Report (EIR). The Mitigated Negative Declaration that was issued for Dharma Press in 2004 was based on misleading documents supplied by the applicant, and incomplete, out-of-date, professional reports paid for by the applicant. [\(See Appendix A\)](#)

We received a new Subsequent Mitigated Negative Declaration for this project in early March 2014. It is impossible to fully investigate such a lengthy technical document, two years in the making, before the April 8 hearing. Although this Subsequent MND does address some of the issues, it does not adequately address public safety, traffic, hazardous chemicals, land use, and other CEQA-related subjects, carries over outdated descriptions of the project, and treats the project in a piecemeal fashion.

Raw materials and labor are transported from urban areas to this remote factory site and the product is delivered back to those same urban areas for national and international distribution. Each book is born with a huge carbon footprint. Current printing plant production requires 720 40-foot diesel truck trips per year, resulting in 72,000 truck miles annually on fragile, winding, narrow, rural roads.

Dharma Press printed successfully from industrial sections of the East Bay and Berkeley for 37 years and could continue to do so, just minutes from the Port of Oakland, their port for international export.

Having circumvented the appropriate permit process, a huge industrial park has been installed in an RRD area without examining any of the following impacts: aesthetics, groundwater, water quality, grading, public safety, transportation, greenhouse gas emissions, or the cumulative impact of the entire project. [\(See Appendix A\)](#)

### Public Safety

Our local volunteer fire protection district is neither equipped nor trained to fight industrial print factory fires, which are extremely dangerous with high concentrations of paper products. Such factories are considered High Pile Combustible Industrial Storage warehouses and are inappropriate in a forested High Fire Hazard Zone within a State Responsibility Area. The presence of Dharma Press in such a wooded area endangers the lives and property of all residents in the region.

In 2008 PRMD approved large tents at Ratna Ling as temporary book storage. The exemption from fire code compliance was an administrative decision based on that temporary status. There was no public hearing, CEQA review, or input from any local, state, or county agency. If the tents become permanent, as now proposed, they are required to go through regulatory review like any new membrane structure and must meet Chapter 7A of the 2007 California Building Code. PRMD exempted the tents from the *Wildland Urban Interface Fire Resistive Standards* by designating them as “accessory.” The size and scale of these structures, one million cubic feet, disqualify them as “accessory.”

These fragile, winding, rural roads, in places less than 10 feet wide, are a favorite route for many bicyclists and runners, offering some of the most breathtaking views in the nation. But they are poorly maintained and are deteriorating. Without any professional review of public safety issues, the county has allowed the owners of Dharma Press and Ratna Ling to add 72,000 truck and trailer miles per year and an undetermined number of other UPS, FedEx, and delivery truck miles to burden these roads.

## Zoning

### Background:

Dharma Press and Ratna Ling Retreat are owned by a Buddhist sect founded in Berkeley in 1971. The religious conglomerate is now made up of 12 different foundations known collectively as the Tibetan Nyingma Meditation Center. The sect reported assets of more than \$60 million according to the Security and Exchange Commission and property tax files. [See Dinkelspiel, Frances, “Retreat Center’s Expansion...” in *Berkeleyside*, <http://www.berkeleyside.com/2012/06/07/retreat-centers-expansion-plans-provoke-concern/> See Attached ] Aside from their properties in the East Bay, the group built a multi-million-dollar temple and monastery, Odiyan Meditation Center, on a 1,000-acre parcel in the coastal hills near Cazadero, beginning in 1975. That land alone was assessed at \$12 million.

The officials of the Tibetan Nyingma Meditation Center have used misleading project descriptions and incomplete, out-of-date reports to circumvent normal procedures at the Permit and Resource Management Department (PRMD):

- The owners of Odiyan and Dharma Press in Berkeley first applied for a PRMD use permit on March 8, 2004, asking to install a 13,000 square-foot industrial printing plant in an existing building on land they intended to purchase (formerly Timber Hill Lodge) in Cazadero. That proposal, titled “Odiyan Timber Hill Annex,” was apparently rejected by PRMD or withdrawn. ([See Appendix B1](#))
- The same group submitted a new use permit application less than five weeks later (April 15, 2004) for a printing factory allegedly “ancillary” to a newly created religious retreat, Ratna Ling. Although the 2004 approved conditional use permit designated Ratna Ling Retreat as the primary use of the property, PRMD soon approved new construction for an even larger, 18,000 square-foot industrial printing plant on the newly purchased parcel. ([See Appendix B2](#))

PRMD staff began with a faulty premise in April 2004, and thereafter analyzed only the incremental impacts of each permit increase, never the cumulative impact of the entire project. PRMD has been entirely unclear about the basis and reasons for its staff recommendations. The April 2004 referral to planning as primarily a “retreat center” was inaccurate, as was PRMD’s reliance on a few cursory initial studies paid for by the applicant. Professionals viewing these technical reports have judged them to be misleading and incomplete ([See Appendix A](#)). The permit process should reconvene on a referral for a primarily industrial use, as it currently and illegally exists, in an RRD area.

Ratna Ling and Dharma Press have violated significant provisions of their 2004 conditional use permit. (See Table 1) Dharma Press has been operating in violation of its 2004 permit for over seven years.

The most important limits in the 2004 conditional use permit were production limits of 100,000 books annually and 18,000 square feet of press and storage space. While rejecting one of several expansion proposals made by Dharma Press (this one a four-story, 95,000 square-foot “text treasury”) in 2006, PRMD Deputy Director Jennifer Barrett called these original 2004 restrictions “...the limit of what is reasonable for an accessory use.” ([See Appendix C](#)) ([Appendix C1](#))

While another of its expansion proposals was pending in 2008, Ratna Ling applied for construction of

39,000 square feet of tents for book storage. Reversing her opinion on the limits of ancillary use expressed in 2006, ([See Appendix C](#)) PRMD approved a temporary permit for the tents, and extended it again for one year in 2011. These book storage tents effectively triple the size of the printing factory from 20,000 to 60,000 square feet, without any public comment or review.

In 2012 PRMD recommended removing all limits on book production and allowing 39,000 square feet of permanent tent storage, resulting in 60,000 square feet for Dharma Press, an allegedly “ancillary” facility. What caused Ms. Barrett to alter her definition of the limits of ancillary space (18,000 square feet) and book production (100,000 annually) and what is the basis for her divergent opinions?

Dharma Press printed over 400,000 books in 2011, quadruple the amount allowed in their 2004 use permit conditions. They are now requesting, and the Board of Zoning Adjustment (BZA) recommends unlimited book production.

PRMD never responded in writing to a 300-page code enforcement complaint filed by Coastal Hills Rural Preservation (CHRP) on February 25, 2010 about violations of the 2004 conditional use permit, or a 472-page rebuttal of the 2011 Use Permit Application before the Board of Zoning Adjustment (BZA) approved a new permit application in April 2012. Violations of the 2004 use permit were neither acknowledged nor discussed at that BZA hearing.

Permit violations were not discussed at the April 2012 BZA hearing because PRMD claimed to have “lost” the field notes of its only on-site inspection at Ratna Ling. The county inspectors never looked inside the printing plant and therefore never saw the printing presses that were relocated along with the remainder of Dharma Press from Berkeley to Cazadero in 2007. Only one press was legal; six were in operation. A recent (7/17/13) “retrospective” report written by Ben Neuman, who was manager of the of the Code Enforcement Division of PRMD at the time of inspection, still specifies no date for that unrecorded site visit and no mention is made of the six presses known to have been there at the time. ([See Appendix D](#))

Ratna Ling and Dharma Press received only “verbal notifications of violations,” according to PRMD staff, with no written record kept of these communications. This does not seem like officially sanctioned procedure.

Everyone, no matter how rich or devout, must comply with zoning regulations. These are civil laws that apply to all citizens equally, no matter what their faith. The evolving mandates of one religious sect, the Tibetan Nyingma Meditation Center, founded in Berkeley in 1971, should not alter land use regulations or zoning enforcement in rural Sonoma County. When the Board of Zoning Adjustment approved Ratna Ling’s use permit application in April, 2012, its chairman, Tom Lynch, stated “That was absolutely integral to approving it, it is ancillary to their religion.” [Norberg; “Buddhist press Wins O.K...” *Press Democrat* Newspaper 6-7-12] By this precedent, any organization with a religiously justified industrial operation could relocate to any Sonoma County RRD area.

## **Ancillary Use**

The faulty foundation for allowing an industrial printing plant, Dharma Press, in an RRD area rests on ancillary use. Ancillary use means that the print factory must play a lesser, subordinate role to the Ratna Ling Retreat in all ways: space allotted, number of people involved, staff hours per year. Ancillary functions support the main activity on the site, as a swimming pool supports the function of a resort. This is simply not the case at Ratna Ling. Dharma Press is obviously the primary activity at the site and it does not support the retreat; rather the retreat supports the press by supplying its unpaid labor.

Dharma Press was considered an industrial use in Berkeley and was confined to an industrial district, but an even larger printing factory is considered an ancillary use in rural Sonoma County.

Ratna Ling Retreat Center's most recent submittal (7-11-13) claims 5,301 Retreat Days in 2012, using a formula that multiplies the number of people attending retreats by the number of days each person stayed. Using this same formula and the numbers derived from the 2012 use permit (which has been greatly exceeded by violations) Dharma Press occupied 24,552 Print Factory Days in 2012. By its own formula and data, Dharma Press is obviously the primary land use on the site:  $24,552 > 5,301$ . ([See Appendix E](#))

Using the PRMD staff report for the April 2012 BZA hearing as reference, the structures devoted to the retreat itself include the lodge, meditation hall, library, water storage, office, linen and other storage, wellness center, and senior care facility. Altogether the retreat uses 43,900 square feet. Compare this with the space allotted to the printing operations: printing and book storage housed in 61,800 square feet and worker housing comprises another 31,200 square feet, for a total of 93,000 square feet. It is clear from the allotments of space that printing books is the primary function of the site:  $93,000 > 43,900$ . ([See Appendix A](#))

While many of the books produced at Dharma Press are Tibetan texts that are given away in India and Nepal, there are an undetermined number of others that are sold for profit. The use permit approved by the BZA in 2012 allows the manufacture of non-textual commercial items for profit in up to 10% of the total printing plant space. By its own count, Dharma Press sells 125 English-language books commercially, along with yoga mats and pillows, notebooks, gift-wrap, sacred art, and other objects for profit. They are shipped directly via their online bookstore from the headquarters at Ratna Ling. We have no way to know how much profit is made, and PRMD has no way to monitor and enforce the 10% limit. ([see Appendix F](#))

All of Dharma Publishing's internet sales, warehousing, and commercial distribution now take place at Ratna Ling in Cazadero. This use is not mentioned in their previous or pending use permit applications, and therefore has not been approved. The daily UPS and Fed Ex trucks that serve Dharma Press's commercial sales and distribution are not factored into any traffic reports.

Approval of Ratna Ling's current use permit application will legalize the primary use of the property as an industrial printing factory and reward all previous misrepresentations and nine years of zoning violations.

## **General**

An industrial printing factory in the Cazadero hills compromises our public safety, environmental health, and adds traffic, but there is no offsetting fiscal benefit to Sonoma County. Ratna Ling and Dharma Press pay no taxes due to a religious exemption. They utilize public roads and other infrastructure to run their operations without contributing to road construction or maintenance.

Aside from the construction phase, Ratna Ling and Dharma Press provide no jobs for local residents. The main reason for relocating Dharma Press from an industrial section of Berkeley to rural Cazadero was to be near Odiyan Retreat Center, which, along with Ratna Ling, now recruits the volunteer workers to run the industrial printing plant.

Evidence suggests that these volunteer workers are mostly young, impressionable seekers, attracted to TNMC's online advertisements. Most are seeking knowledge about themselves and Buddhism. What they find at Ratna Ling Retreat and Odiyan are exhausting work schedules, 6 or more days per week, up to 10 or 12 hours per day, and little or no safety training, benefits, or religious instruction. Some receive a \$5 a day stipend. ([See Appendix G](#))

Ratna Ling Retreat Center is the only part of the complex that the public is allowed to see. The majority of the site—press building and tower, tent book storage, and worker housing—is in reality an industrial park for Dharma Press. The public, and at times government officials, are not allowed access to the printing facilities.

Ratna Ling and Dharma Press are run by a wealthy religious organization founded in Berkeley in 1971, now 12 different foundations known collectively as the Tibetan Nyingma Meditation Center. This religious conglomerate reported assets of more than \$60 million according to SEC and property tax files, and has a distinctly entrepreneurial focus. [See Dinkelspiel, Frances, “Retreat Center’s Expansion...” in *Berkeleyside*, <http://www.berkeleyside.com/2012/06/07/retreat-centers-expansion-plans-provoke-concern/>] They have apparently hired former county supervisor Mike Reilly and former county planner Jean Kapolchok to act as consultants, and have hired a large legal firm, Clement, Fitzpatrick, and Kenworthy, to help legitimize this illegal industrial use in an RRD area.

Coastal Hills Rural Preservation is a group of Sonoma County residents that is funded by small donations. We are working for the common good by preserving the integrity of our General Plan and one of the most beautiful rural areas in Sonoma County. Please help us with this good work. Regulate Ratna Ling and Dharma Press.



## APPENDIX A

**JOHN HOWLAND  
ARCHITECT**

April 5, 2012

Board of Zoning Adjustments  
Tom Lynch, 5<sup>th</sup> District Board Member  
Sonoma County PRMD  
2550 Ventura Ave.  
Santa Rosa, CA 95403

**ARCHITECTURE  
INTERIORS  
PLANNING**

Subject: File No. PLP08-0021, Ratna Ling Retreat Center  
35755 Hauser Road, Cazadero Road  
APN: 109-230-024 and -018

Dear Mr. Lynch:

The central point surrounding the proposed expansion at the Ratna Ling Retreat Center is that this facility is, in fact, a major commercial printing operation. By its size, product, and sales, this is undeniably an industrial use and is not ancillary to the retreat. Rather, the retreat is ancillary to the industrial use.

Please note the following points:

1. Such a project requires an Environmental Impact Report, NOT a Mitigated Declaration. The EIR needs to examine the impacts of the retreat center on the sensitive biological resources in the area, climate change, and water quality. It must examine the potential land-use conflicts involving traffic safety, the nuisance of increased traffic, visual changes, and increased fire risk. Then these effects need to be examined for consistency with the purpose of the land-use designation and all pertinent policies of the general plan before any decision about it can legitimately be made.
2. The agency referral should be redirected as an industrial printing operation. The referrals were originally sent out as a retreat and not as an industrial use. Therefore the referral agencies were not responding to the true nature of this use.
3. The Initial Study relies entirely on a few technical reports prepared for and paid for by the applicant. The technical reports provided by the applicant are incomplete and misleading. Many of these reports are out-of-date and contain incorrect information. Further, it is clear that these reports do not cover all potential impacts. These reports should at least be peer reviewed, as they are when preparing an EIR. Concluding that there is **no impact** from this project without qualified analysis is careless and irresponsible.
4. **Land-use** is at the base of this controversy. Ratna Ling is using their property PRIMARILY as a commercial, industrial printing operation. This is a primarily industrial use in a Resource and Rural Development Zone. The use of the word “ancillary” in the

22050 Timber Cove Road ~ Jenner, CA 95450 ~ (707) 975-3691 ~ [john@johnhowlandarchitect.com](mailto:john@johnhowlandarchitect.com) ~ johnhowlandarchitect.com

conditional approvals for the expansion of the industrial plant is highly unusual. This word is used in the zoning ordinance when it refers to the land use, referring to areas like swimming pools, tennis courts, kitchens, etc. It is not normally used to refer to an applicant's purpose.

In this project, the structures devoted to the retreat itself—the original stated purpose of the project—include the Lodge, Meditation Hall, Library, water storage, office, linen and other storage, Wellness Center, and Senior Care Facility. Altogether these use 43,900 square feet.

Compare this with the space allotted to the printing operations: printing and book storage housed in 61,800 square feet and worker housing another 31,200 square feet! It is clear from the allotments of space which operation, is the primary function of the site.

The Initial Study acknowledges that this use would not be allowed if this was not an ancillary use to a “retreat center” which is “similar to a noncommercial lodge or club,” and that such religious use could be approved with a use permit **if such use does “not interfere with or detract from the purposes of the district.”** The Initial Study fails to make an argument on either point. The applicant's contention is that printing is important to their mission. But we must be clear: “their mission” is not a land-use, and it should have no bearing on land use rulings.

If this flimsy argument, the applicant's “mission” is allowed, what would stop any nonprofit organization with any industrial operation from building anywhere in a rural area?

The Initial Study does not address growth-inducing impacts of this, original use of the word “ancillary,” since such impacts would only be examined in an EIR. This is another reason that an EIR is needed for this project.



**5. Groundwater:** The reports provided have been in some cases poorly extrapolated from a water study by Eugene Boudreau in 1999. Examples of the omissions in this report include:

- a) water usage for fire suppression systems
- b) water requirements for fighting a major industrial fire
- c) water for printing operations (Water requirements for printing operations is one of the highest among industries.)
- d) all studies have concluded that there are inadequate water resources

**6. Water quality** has not been addressed. This project would be a significant increase in impervious surface area. The following analyses are needed:

- a) hard surfaces runoff, with locations, cross section, type and area
- b) roof area run off: 144,848 sf
- c) run-off calculations and a water containment study provided by an engineer.. These studies would be included in an EIR.

**7. Grading** has not been addressed. The Negative Declaration states that grading will only be needed for a six-bedroom house, and that therefore, there will be less than significant impact. And the application does not address other grading that will obviously be required. Grading for a project this size on a hillside is not minor, but major.

**8. Public Safety** has not been addressed. That analysis should include the following issues:

- a) Fire and explosion prevention measures.
- b) How can our Volunteer Fire Department be expected to deal with a major industrial fire? Fires in printing plants are extremely intense.
- c) Does the fire department have adequate equipment to fight such a fire? Does Ratna Ling have a water supply adequate to fight such a fire? How are the hundreds of thousands of volumes of sacred texts being protected—with halon or water?
- d) Hazardous materials are not listed in this plan. No analysis states how and when such materials will be handled. Potential hazardous materials at the site include printing solvents, generator fuel, etc.
- e) No emergency response plan has been proposed for industrial accidents at the printing plant.

**9. Transportation** protection measures and controls have not been addressed. That should include the following analyses:

- a) Preferred routes, alternate routes
- b) potential pedestrian and bicycle traffic
- c) impact on students walking to and from Fort Ross School
- d) weight of trucks on paving sections
- e) tanker trucks to supply generator fuel

**10. Greenhouse gas emissions** that will be generated by the operation of project have not been analyzed by a qualified engineer. The applicants analysis consists only the gas emission during construction of a house

**11. Aesthetics** have not been addressed. The Initial Study concludes that the project would not substantially degrade the existing visual character. This statement is inaccurate. Construction has had a major affect on views from private properties to the east.

This project, comprising 144,848 square feet, with walls that can be built up to 35 feet high, is the size of an urban shopping center. It will be visible from all of the mountain and hills east of the project. Views of a forested hillside have been replaced with views of clearings and industrial structures. These structures create a significant visual land-use conflict with neighbors to the east.

An EIR should include the following:

- a) photos of these views compared to both the original view and other project alternative views
- b) architectural graphics should have been provided
- c) massing studies should have been provided
- d) view studies should have been provided.

In summary, I have not formed an opinion about this project. I am a resident of this region, and I may not personally be affected by the drastic changes that have been proposed. Yet, while reviewing the specifics of the project thus far, I feel that the review process has been so deficient, that as a professional and as a resident of this beautiful area, I must point these deficiencies out to you. I urge you to rectify them before any final determination is made.

The Initial Study Declaration of Negative Impact was based on outdated, inaccurate reports supplied to planning staff. This study improperly viewed the project application as a retreat/lodge, when it should be viewed for what it is: a major industrial, commercial project in a rural zone.

If the County of Sonoma approves this project without an Environmental Impact Report the County will be in violation of CEQA.

Yours truly,



John Howland  
Architect  
22050 Timber Cove Rd.  
Jenner, CA 95450

Copy;  
Tom Lynch, Pamela Davis 5<sup>th</sup> District BZA Board  
Supervisor Efren Carrillo, 5th District



# COUNTY OF SONOMA

## PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

To: Interested Agencies

March 22, 2004

The following application has been filed with the Sonoma County Permit and Resource Management Department.

**File Number:** UPE04-0032  
**Applicant Name:** Jack Petranker  
**Owner Name:** T. Twigg-Smith  
**Site Address:** 35755 Hauser Bridge Rd, Cazadero  
**A.P.N.** 109-230-024

Request for a Use Permit to establish an annex to Odiyan Buddhist Monastery and Retreat Center on 107 acres.

We are submitting the above application for your review and recommendation. Additional information is on file in this office.

Responses to referrals should include: (1) statement of any environmental concerns or uncertainties your agency may have with the project; (2) any comments you wish to make regarding the merits of the project; and (3) your proposed conditions and mitigations for this project. Responsible agencies under CEQA are requested to indicate whether permits will be required for this project.

Your comments will be appreciated by **April 5, 2004** and should be sent to the attention of **UPE04-0032, Cynthia Demidovich ([cdemidov@sonoma-county.org](mailto:cdemidov@sonoma-county.org))**.

Please send a copy of your comments to the applicant(s) or their representatives.

**Please check the appropriate box and return or reply by e-mail to the address above.**

**No comments**       **Comments attached**       **Comments to be forwarded**  
 **Please send meeting/hearing notices regarding this project.**

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> County Surveyor                               | <input type="checkbox"/> County Communications - George Waters                |
| <input checked="" type="checkbox"/> Health  | <input checked="" type="checkbox"/> Fire Marshal                              |
| <input type="checkbox"/> E/H Consumer Prot. - Jerry Meshulam                      | <input checked="" type="checkbox"/> Fire District - Timber Cove               |
| <input type="checkbox"/> Sanitation   | <input type="checkbox"/> School District -                                    |
| <input type="checkbox"/> Land Develop-PRMD  | <input type="checkbox"/> Santa Rosa School District                           |
| <input checked="" type="checkbox"/> Public Works (La Plaza) - J. Kottage          | <input type="checkbox"/> Water District -                                     |
| <input checked="" type="checkbox"/> Public Works (La Plaza) - J. Foster           | <input type="checkbox"/> State Coastal Commission                             |
| <input type="checkbox"/> Ag Commissioner  | <input type="checkbox"/> Caltrans (State)                                     |
| <input checked="" type="checkbox"/> Flood & Drainage Review                       | <input checked="" type="checkbox"/> State Fish & Game                         |
| <input type="checkbox"/> PRAC Planner   | <input type="checkbox"/> State Department of Forestry                         |
| <input type="checkbox"/> General Plan Staff                                       | <input type="checkbox"/> State Department of Health                           |
| <input checked="" type="checkbox"/> Northwest Information Center, S.S.U.          | <input type="checkbox"/> State Parks and Recreation                           |
| <input checked="" type="checkbox"/> Milo Baker Chapter Conservation Committee     | <input checked="" type="checkbox"/> Regional Water Quality Control - Northern |
| <input type="checkbox"/> Public Works - Transit                                   | <input type="checkbox"/> Regional Air Pollution Control                       |
| <input checked="" type="checkbox"/> Building Inspection                           | <input type="checkbox"/> Regional Parks Department                            |
| <input type="checkbox"/> Army Corps of Engineers                                  | <input type="checkbox"/> City of Dept.  |
| <input type="checkbox"/> P.G. & E.  | <input checked="" type="checkbox"/> Treasurer/Special Assessment              |
| <input type="checkbox"/> Pacific Bell   | <input checked="" type="checkbox"/> Assessor                                  |
| <input type="checkbox"/> Sheriff - Crime Prevention                               | <input type="checkbox"/> Landmarks Commission                                 |
| <input type="checkbox"/> LAFCO  | <input type="checkbox"/> CDC - Affordable Housing                             |
| <input type="checkbox"/> ALUC/CLUP - Bob Gaiser                                   | <input checked="" type="checkbox"/> Other: COAAST                             |
| <input checked="" type="checkbox"/> Board of Supervisors - Supervisor Mike Reilly | <input checked="" type="checkbox"/> Other: Coastal Hills Comm. Land Trust     |

# Planning Application

PJR-001

File#: UPE04-0032

## Type of Application:

- |   |  |   |  |
|---|--|---|--|
| <input type="checkbox"/> Admin Cert. Compliance | <input type="checkbox"/> Design Review Comm./Ind.  | <input type="checkbox"/> Minor Subdivision            | <input type="checkbox"/> Variance      |
| <input type="checkbox"/> Ag./Timber Preserve    | <input type="checkbox"/> Design Review Residential | <input type="checkbox"/> Mobile Home Zoning Permit    | <input type="checkbox"/> Zone Change   |
| <input type="checkbox"/> Cert. of Compliance    | <input type="checkbox"/> Design Review Signs       | <input type="checkbox"/> Ordinance Interpretation     | <input type="checkbox"/> Zoning Permit |
| <input type="checkbox"/> Cert. of Modification  | <input type="checkbox"/> General Plan Amendment    | <input type="checkbox"/> Second Unit Permit           | <input type="checkbox"/> Other: _____  |
| <input type="checkbox"/> Coastal Permit         | <input type="checkbox"/> Lot Line Adjustment       | <input type="checkbox"/> Specific/Area Plan Amendment |  |
| <input type="checkbox"/> Design Review Admin.   | <input type="checkbox"/> Major Subdivision         | <input checked="" type="checkbox"/> Use Permit        |  |

## Applicant (Contact Person):

Name: Jack Petranker  
Address: 2425 Hillside Avenue  
City/Town: Berkeley State/Zip: CA 94704  
Phone: 510-418-9120 Fax: 707-885-0073  
Signature: [Signature] Date: March 7, 2004

## Owner, if other than Applicant:

Name: T. Twigg-Smith  
Address: 4224 Waialae Avenue #389  
City/Town: Honolulu State/Zip: HI 96816  
Phone: 808-735-3883 Fax: 808-734-8055  
Signature: [Signature] Date: February 20, 2004

## Other Persons to be Notified: (Specify: Agent, Lender, Architect or Engineer)

Name: Carolyn Pasternak  
Address: 33755 Tin Barn Road  
City/Town: Cazadero State/Zip: CA 95421  
Title: Counsel, Tibetan Nyingma Med. Ctr.  
Phone: 707-785-2098 Fax: 707-785-1720

Name: Nathan Smith, Nate Smith Studio LLC  
Address: 3244 Monsarrat Avenue  
City/Town: Honolulu State/Zip: HI 96815  
Title: owner's rep  
Phone: 808-738-0012 Fax: 808-738-5790

Name: T. TWIGG-SMITH  
Address: 4224 Waialae Ave #389  
City/Town: Honolulu State/Zip: HI 96816  
Title: owner's rep  
Phone: 808-735-3883 Fax: 808-734-8055

## Project Information:

Address(es): 35755 and 35750 Hauser Bridge Road City/Town: Cazadero  
Assessor's Parcel Number(s): 109-230-024 City/Town: 107 +/-  
Acres: \_\_\_\_\_

Project Description: establish an annex to Odiyan Buddhist Monastery and Retreat Center, located nearby. The property will be used to house residents of the religious community and to operate a non-profit, religious publishing/printing facility for production of Buddhist texts and art prints, primarily to donate to Tibetan monasteries and refugees.

Site Served by Public Water?  yes  no Site Served by Public Sewer?  yes  no Number of new lots proposed 0

DO NOT WRITE BELOW THIS LINE - To Be Completed by PRMD Staff

Planning Area: 1 Supervisorial District: S Current Zoning: RRD B6 240 AC General Plan Land Use: RRD 240  
Specific Plan: NONE S.P. Land Use: \_\_\_\_\_ Needs CEQA Review?  yes  no

Commercial/Industrial Uses: (Enter numbers where applicable)  
Bldg. sq. ft. Existing: \_\_\_\_\_ Proposed: \_\_\_\_\_ Existing Employees: \_\_\_\_\_ New Employees: \_\_\_\_\_

Residential Uses: (Enter numbers where applicable)  
New Single Family Homes: \_\_\_\_\_ New Multi-Family Units: \_\_\_\_\_ New Second Units: \_\_\_\_\_  
New Manufactured Homes: \_\_\_\_\_ New Units For Sale: \_\_\_\_\_ New Units For Rent: \_\_\_\_\_ Density Bonus Units: \_\_\_\_\_

Violation?  yes  no; Application resolve planning violation?  yes  no; Penalty applicable?  yes  no; Civil Penalty Factor \_\_\_\_\_

Previous Files: URE99-0152 LLAC00-0013 UPE88-504 MS9996  
Application accepted by: SCOTT HUISPERGER Date: 3/18/04

Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue ♦ Santa Rosa, CA ♦ 95403-2829 ♦ (707) 565-1900 ♦ Fax (707) 565-1103



**COUNTY OF SONOMA**  
**PERMIT AND RESOURCE MANAGEMENT DEPARTMENT**

2550 Ventura Avenue, Santa Rosa, CA 95403-2829  
(707) 565-1900 FAX (707) 565-1103

**USE PERMIT - SUPPLEMENTAL APPLICATION INFORMATION**

**Existing site characteristics:**

Existing use of property: phased resort development Acreage: 107 +/-

Proximity to creeks, waterways and impoundment areas: None on-site

Vegetation on site: Flat to gentle rolling within developed area

General topography: Grassland, scattered trees

Surrounding uses to **North:** large-lot timber preserve **South:** Recreational  
**East:** large-lot timber preserve **West:** larger lots, widely scattered residences

New buildings proposed (size, height, type): none in present use; 20 cabins as already permitted in future

Number of employees (total): no employees; up to 20 residents initially; 10-15 engaged in printing/publishing

Operating days: full-time residence; press operations M-Sat Hours of operation: press/publishing 7 AM- 6 PM

Number of vehicles per day: approx. 4-5 vehicles a week

Water source: on-site wells and springs Sewage disposal: on-site septic (finaled)

Provider, if applicable: n/a Provider, if applicable: n/a

Noise generated: none except press operation set back 200 ft.; not audible from outside building

Grading required - Cut Max: none in present plans Fill Max: none in present plans  
Fill area: \_\_\_\_\_ Approx. total yds: \_\_\_\_\_

Vegetation to be removed: none, except for possible minor landscaping

Will proposal required annexation to a district in order to obtain public services?  
Yes \_\_\_\_\_ No X

Are there currently any hazardous materials (chemicals, oils, gasoline, etc.) stored, used, or processed on this site? Yes X No \_\_\_\_\_ 4 above-ground propane tanks

Were there any hazardous materials used, stored, or processed on this site any time in the past? Yes \_\_\_\_\_ No X

Will the use, storage, or processing of hazardous materials occur on this site in the future if this project is authorized? Yes X No \_\_\_\_\_ for press operations--minimal

Additional information: see attached Proposal Statement and Supplemental Analysis  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Application for Use Permit  
35755 Hauser Bridge Road  
APN 109-230-024

**Proposal Statement for  
ODIYAN TIMBER HILL ANNEX  
Monastery and Retreat Center**

This application is filed by Head Lama of the Tibetan Nyingma Meditation Center ("TNMC"), the prospective buyer of the subject property (commonly known as "Timber Hill"). The purchase is conditioned on approval of the use permit. The owner of the property has given its written approval for the filing of this application.

**Site Characteristics, History, and Existing Use**

Timber Hill is a 107 +/- acre parcel located in rural northwest Sonoma County, in an area zoned RRD 240. It is located in and on the edge of clearings in an otherwise dense forested area. It is not located within the coastal zone. The property does not abut any land used for timber production or geothermal and mineral resource production. It is 1,200 feet from the nearest parcel within a Timberland Production Zoning District.

The property was originally operated as a private school. In 1983 the County approved a Use Permit for a resort/guest ranch for 15 cabins and related buildings (modified to allow 27 cabins in 1997), and the property operated under this permit from 1983 to 1997. The property then came under new ownership. A new use permit to operate a resort was issued in 2000, and extensive construction was undertaken. The property was placed on the market in the spring of 2003.

The current use permit permits a resort to operate. It allows for the following structures:

- a. Twenty permitted guest cabins on the east side of Hauser Bridge Road. One cabin has been built but not finished. The remaining cabins have not been built.
- b. Eleven staff-only housing units, consisting of 9 one-bedroom cottages and two two-bedroom clusters with a shared kitchen, all on the west side of Hauser Bridge Road. All units are permitted, constructed and finished.
- c. One staff commons room, also on the west side of Hauser Bridge Road, consisting of dining/family room with kitchen, laundry room and bathroom. This is permitted, constructed and finished.
- d. A newly built 13,394.1 square-foot lodge with kitchen (no equipment installed), dining room, reception, office, laundry (no equipment installed), storage rooms, and apartment. The lodge is permitted, constructed and finished. The kitchen is excluded from the lodge permit and finish.
- e. Spa and swimming pool: no open permits; not constructed.
- f. Free-standing Pub: permitted but not constructed.



The use-permit specifies that the total number of adults occupying the staff-housing shall not exceed 20, and contemplates that the total number of guests at the resort shall be no more than 40. Thus, the total number of persons in residence at one time is limited to 60.

### **Proposed Use**

This application is for a use permit to operate Timber Hill as a monastery and retreat center that would serve as an annex to the nearby Odiyan Buddhist Monastery and Retreat Center, also owned and operated by TNMC. Consistent with Odiyan's permitted use, the property would be used for housing for the religious community. Members of the community would conduct daily religious services and engage in Buddhist studies and practices on the property that would be not be open to the general public.

The proposed use for the Odiyan Timber Hill Annex would not require any additional construction. TNMC would use the presently existing staff housing and commons for residents, and would use the existing lodge (with some structural modification) as a religious printing facility and for religious services. Changes in landscaping would be modest. TNMC would reserve the right to build additional cabins in the future, consistent with the cabins permitted but not yet built under the existing use permit, but it has no immediate plans to do so. TNMC requests that the number of residents be the same as in the present use permit: a total of 60 persons, with no more than twenty living in the "staff housing" on the west side of Hauser Bridge Road.

Residence at the Odiyan Timber Hill Annex will be open only to members of the TNMC Buddhist community and retreatants. The majority of residents will likely be married couples who have all been full-time residential members of the religious community for a minimum of ten years.

### **Ancillary Use**

As an ancillary use, residents at the Odiyan Timber Hill Annex would operate a non-profit publishing and printing facility printing Buddhist texts and art. Most of the materials produced would be in Tibetan, intended for free distribution to monasteries in Asia. Other materials would be in English, intended to transmit the Buddhist teachings in this country. The environmental impact of this use is minimal, as discussed in the Supplemental Analysis of Proposed Use.

Submitted: March 8, 2004

By: \_\_\_\_\_

  
Jack Petranker  
for Odiyan Buddhist Center, TNMC

## SUPPLEMENTAL ANALYSIS OF PROPOSED USE

### 1. The Subject Property in Relation to the Nearby Property already owned by TNMC

Applicant TNMC owns and operates Odiyan Buddhist Monastery and Retreat Center ("Odiyan"), located at 33755 Tin Barn Road. Odiyan operates under a use permit granted in 1975, which permits its use by up to 60 persons as a monastery and retreat center. Odiyan is located about a twelve-minute drive from Timber Hill by road. Topographically the two properties are less than one-half mile apart together. Exhibit A shows the location of Timber Hill and Odiyan on the USGS quad map for the area.

The present application is for a use permit that would allow TNMC to operate Timber Hill as an annex to Odiyan. This would fulfill a long-held TNMC goal: to be able to bring together in one geographic area nearly the entire religious community for which Odiyan now serves as the spiritual center.

### 2. Background of TNMC and Odiyan

TNMC was founded as a Buddhist church in 1969. In addition to a larger congregation of several hundred, it has approximately 70 full-time residential members, of whom about forty live at Odiyan. Another twenty members live in TNMC's religious community in Berkeley, CA.

One of the religious tenets that TNMC follows is that all full-time members of the church devote their energies to religious service; i.e., work that serves to promote the Buddhist teachings. Odiyan residents fulfill this commitment through creating sacred art, ritual objects, and monuments. Many of the residents of the Berkeley TNMC community fulfill their religious commitment by operating a non-profit Buddhist publishing company and book production facility. This facility primarily produces books in Tibetan script that are shipped to India and other parts of Asia, where they are given away at no charge to Tibetan monasteries, monks, nuns, and lay people. It also produces books in English, including translations, that make the teachings more widely available. For a discussion of TNMC's religious printing operations, see Exhibit B.

For at least fifteen years, it has been a goal of TNMC to move the community members engaged in the publishing and book-production operations to Odiyan or a location nearby in order to unite the religious community of full-time residential members of the church. Bringing these operations together also has practical benefits, since some editorial operations already take place at Odiyan. Until now, however, the Odiyan community has been too busy with its other religious projects to accomplish this goal. The availability of Timber Hill offers a way to resolve these problems and meet TNMC's long-term objectives for its religious community.

### 3. The Suitability of Timber Hill as an Annex to Odiyan

Purchase of the Timber Hill property provides the perfect opportunity to fulfill TNMC's long-term goal of uniting the Odiyan and Berkeley communities, for the following reasons:

1. Timber Hill is located very close to Odiyan, and shares with it the quality of being largely undeveloped and close to nature.
2. The buildings already in place are adequate to all of the needs of the community and are more suitable to housing married couples than the residential facilities at Odiyan. At present, there are 12 cabins on the Timber Hill property, 11 of which have permits as staff housing. The eleven finished cabins would serve to house the member of the religious community presently in Berkeley. TNMC would take steps to have the twelfth cabin, located on the other side of Hauser Bridge Road, finished at a later time, and would reserve the right to build 20 additional cabins, as permitted in the use permit presently in effect for the property, at a later time.
3. The dining commons on the property, located near the existing cabins, would also meet the needs of the community, as Odiyan already follows the practice of communal dining.
4. A small temple for daily religious observances can readily be established within the existing lodge with no structural modification. Services conducted there would be for residents only, and would not be open to the public.
5. The existing lodge can easily be modified to house the printing facility described above and in Exhibit A. Printing of religious texts and art would be a use ancillary to the main use of the property as a monastery and retreat center.

The site plan submitted with this application shows the buildings that presently exist and are fully permitted under the existing use permit, as well as the buildings allowed under the use permit but not yet built. The existing buildings and structures are labeled with the use that TNMC would make of them.

### 4. Modifications Required for the Intended Use

As already indicated, the present application is only for the existing buildings. With respect to the housing and dining commons, no modifications are required. It may be necessary to make some structural modifications to the lodge to make it suitable to house TNMC's printing operations. TNMC will hire a structural engineer to determine what changes are required once the use permit has been obtained and the purchase of the property has been finalized.

The only other changes contemplated are additional landscaping and building a fence in order to make the Odiyan Timber Hill Annex more private.

**5. Future Uses**

In the future, TNMC may wish to build additional cabins on the property for use in short-term retreats and programs or for additional residents. This use would be consistent with the guest cabins already approved for construction under the existing Timber Hill use permit.

**III. IMPACT OF THE PROPOSED USE**

**1. Comparison of the Proposed Use with the Existing Use**

In almost every respect, TNMC's proposed use is significantly less intensive than allowed under the existing use permit (rights to which have vested) and General Permit issued by the Regional Water Quality Control Board.

Comparing the present application to the existing vested use permit, TNMC would not build or operate the following presently allowed structures or facilities: spa; pool; bar (in lodge); gift shop (in lodge); pub (in separate building); five-star restaurant; and full-service laundry.

Again, while the existing use permit allows for a steady flow of guests into and out of the Timber Hill property-- estimated at 45 car trips per week --the proposed TNMC use permit is for residential use by members of a religious community who make it a part of their religious practice to stay on the premises full-time. Total number of car trips is estimated at 4-7 per week.

The following chart compares the TNMC use to the use under the existing use permit. For discussion of the ancillary operation of printing facilities, see Exhibit B.

<b>Timber Hill Permit</b>	<b>Current Status</b>	<b>Odiyan use</b>
staff housing: cabins for 20 people	built and finished	use as is for 20 residents/retreatants
staff dining commons	built and finished	use as is for residential community
lodge	built and finished (kitchen excepted )	use for printing and temple; no kitchen
restaurant and bar in lodge	Approved, roughed in	will not install or operate
gift shop in lodge	Approved, roughed in	will not install or operate
full-service laundry	Approved, roughed in	will not install or operate
spa and pool	approved, not built	will not build
pub	approved, not built	will not build
20 guest cabins for 40 people	approved; one built, not finished	if built, for use by religious community only
traffic: 45 trips per day	approved	traffic: about 1 trip per day

### Exhibit A: Ancillary Operation of a Religious Printing Facility

As indicated in the Supplemental Analysis, one of the religious tenets of TNMC is that all full-time members of the community must engage in religious service. The members of the religious community now living in Berkeley fulfill this obligation by operating a press that produces Tibetan books, prayer wheels, and art prints, which are donated at no charge to Tibetan refugees living in India and Nepal, as well as Buddhist materials in translation or written specifically for Western audiences. The current press facility includes a press, a cutter, a folder, a collator, and a binder, as well as electronic prepress equipment. The work also requires considerable space for hand assembly, wrapping, and packing the books and related sacred objects, such as texts that are wrapped for insertion into prayer wheels, and for storage of completed books and art.

The Nyingma denomination of Tibetan Buddhism considers the production of religious texts a religious vocation. In Tibetan Buddhism, creating and distributing religious texts has traditionally been considered a sacred duty - a way of preserving religious teachings and making them more widely available. Indeed, all aspects of book production were open only to the monastic order. Lay people were not even allowed to handle most religious texts. Traditionally, texts were printed at great monasteries renowned for their printing houses. Making copies of religious texts was considered practice equivalent to prayer.

The proposed publishing and press facility will be operated by Dharma Mudranalaya ("DM"), a non-profit religious organization founded to support the religious activities of TNMC. DM's purpose is to preserve, protect, and disseminate sacred Buddhist literature, and it does not operate as a conventional commercial business. The majority of books, prayer wheels, and sacred art that would be produced in the press facility are not offered for sale or advertised. A varying percentage of production consists of books in English which are offered for sale, but this too is considered a part of TNMC's religious function, by making the teachings more widely available. No customers would be allowed on the premises, and shipping for order fulfillment can be easily accommodated by the daily UPS pickups that already have a drop station at Odiyan itself.

Total production at the press facility is estimated at a little under 100,000 books (including art) per year. To print this many books requires approximately 12 40-foot truckloads of paper, or about 1 truckload per month. The other supplies required, such as ink and plates, would come in smaller trucks, at a rate of about one every three months.

Operation of the press facility generates minimal amounts of hazardous materials. DM has 30 years of experience in dealing with such materials. It has already adopted various measures that drastically reduce their production, such as the use of soy-based inks and a water-based plate-making process. Hazardous materials generated by present operations consist of rags used to wipe out the ink cans, wastewater generated from draining the press weekly and from pressmen washing their hands, and associated release of vapors.

The volumes, content, and disposal of the printing chemicals and other materials used in the proposed press facility, based on a maximum annual production rate of 96,000 books, is shown in Tables 1-4 on the following pages.

### Exhibit B: Ancillary Operation of a Religious Printing Facility

As indicated above, one of the religious tenets of TNMC is that all full-time members of the community must engage in religious service. The members of the religious community now living in Berkeley fulfill this obligation by operating a press that produces Tibetan books, prayer wheels, and art prints, which are donated at no charge to Tibetan refugees living in India and Nepal, as well as Buddhist materials in translation or written specifically for Western audiences. The current press facility includes a press, a cutter, a folder, a collator, and a binder. The work also requires considerable space for hand assembly, wrapping, and packing the books and related sacred objects, such as texts that are wrapped for insertion into prayer wheels.

The Nyingma denomination of Tibetan Buddhism considers the production of religious texts a religious vocation. In Tibetan Buddhism, creating and distributing religious texts has traditionally been considered a sacred duty—a way of preserving religious teachings and making them more widely available. Indeed, all aspects of book production were open only to the monastic order. Lay people were not even allowed to handle most religious texts. Traditionally, texts were printed at great monasteries renowned for their printing houses. Making copies of religious texts was considered practice equivalent to prayer.

The proposed publishing and press facility is a non-profit organization. Its purpose is to preserve, protect, and disseminate sacred Buddhist literature, and it does not operate as a conventional commercial business. The majority of books, prayer wheels, and sacred art that would be produced in the press facility are not offered for sale or advertised. A varying percentage of production consists of books in English which are offered for sale, but this too is considered a part of TNMC's religious function, by making the teachings more widely available. No customers would be allowed on the premises, and shipping for order fulfillment can be easily accommodated by the daily UPS pickups that already have a drop station at Odiyan itself.

Total production at the press facility is estimated at a little under 100,000 books (including art) per year. To print this many books requires approximately 12 40-foot truckloads of paper, or about 1 truckload per month. The other supplies required, such as ink and plates, would come in smaller trucks, at a rate of about one every three months.

Operation of the press facility generates minimal amounts of hazardous materials. Because the press facility has already operated in Berkeley for thirty years, TNMC has extensive experience in dealing with such materials. It has already adopted various measures that drastically reduce their production, such as the use of soy-based inks and a water-based plate-making process. Hazardous materials generated by present operations consist of rags used to wipe out the ink cans, wastewater generated from draining the press weekly and from pressmen washing their hands, and associated release of vapors.

The volumes, content, and disposal of the printing chemicals and other materials used in the proposed press facility, based on a maximum annual production rate of 96,000 books, is shown in Tables 1-4 on the following pages.

Application for Use Permit  
 35755 Hauser Bridge Road  
 APN 109-230-024  
 Supplemental Analysis of Proposed Use  
 Exhibit B

Table 1: Total maximum raw material usage:

Raw material	Annual Usage	Units
Anthem press plates	2,500	Plates
Presstek filter #1	50	Filters
Presstek filter #2	25	Filters
Presstek filter #3	2	Filters
Presstek filter #4	2	Filters
Printing paper	12	Carloads (1 carload = 756,000 sheets)
Printing Ink	4,000	Pounds
V120 washup solvent	120	Gallons
Ecolowash Step A washup	5	Gallons
HD1 fountain solution	25	Gallons
HD2 fountain solution	25	Gallons
Type wash	5	Gallons
Isopropyl alcohol	5	Gallons
Rags	4,500	16 in x 7 in shop towels
Cover stock	10,000	Sheets
Gold foil	30	rolls (= 30,000 feet)
Fabric	40,000	Yards

Table 2: Information on Current Equipment

Equipment	ID Number	Inlet/Out Temp.	Emission points and where vented	Energy Consumption (KW/hr)	Mode of Operation
Presstek Dimension 800 CTP System	0302-8025			16kwh/hour	Intermittent
Heidelberg Sordz Press	526-096				12 hours/day continuous
Stahl Folder	32.950			240V, 40 amp	12 hours/day continuous
Baum Cutter	Not known			60Hz, 460 or 230	Intermittent
Ehlerrmann Collator	630			1.5Kw, 2.0 ps, 50Hz	12 hours/day continuous
Franklin Stamping Press	Serial 30343/08			230V, 4(11555) Watts	Intermittent

Table 3: Emissions (no emissions of a fugitive nature)

Material	Description of/emission	Annual Usage	Annual VOC's (pounds)
V120	A washup/cleaning solvent	120 gallons	813.6
Ecolowash Step A	Washup solvent; contains petroleum naphtha	5 gallons	3.75
HD1	Fountain solution; contains non-hazardous nitrates	25 gallons	30.75
HD2	Fountain solution; contains 2 butoxyl ethanol, diaethylglycol monohexal ether	25 gallons	63.25
Type wash	Contains toluene hexane and isopropanol	5 gallons	33.45
SF SoyPlus Inks	Non-hazardous per 29 CFR 1910.1200	4,000 pounds	39.99
Isopropyl alcohol		5 gallons	32.85
Total			1017.64

Note: On January 5, 2004, a TNMC representative met with Alex Saschin, Air Quality Engineer with Northern Sonoma County Air Pollution Control District. He reviewed the information provided in Table 3 and stated that the total of approximately 1,000 VOC's produced by the printing operation annually is far below the threshold level of 80,000 VOC's annually that the District begins to regard with concern.

Table 4: Wastewater Discharge from the Printing Operation

<u>Volume</u>	<u>Content</u>	<u>Frequency</u>
7 gallons	7 gallons water, 21 oz. ea HD1 & HD2	weekly

Note: On January 5, 2004, the TNMC representative met with John Short, Senior Engineer at the California Regional Water Quality Control Board. He confirmed that the existing water system and discharge plans at Timber Hill had received a general wastewater discharge permit. With respect to the proposed printing operations, he reviewed the wastewater discharge for the proposed ancillary printing facility, consisting of 7 gallons weekly, and asked TNMC to develop a proposal for dealing with this amount of discharge, such as a holding tank that would be pumped out periodically. TNMC is currently researching alternatives that it will submit to the CRWQCB shortly.







# COUNTY OF SONOMA PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

2ND APPLICATION  
ONE MONTH AFTER 1ST  
APPLICATION ON MARCH 22ND

April 22, 2004

To: Interested Agencies

The following application has been filed with the Sonoma County Permit and Resource Management Department.

File Number: UPE04-0032  
Applicant Name: Jack Petranker  
Owner Name: Jack Petranker  
Site Address: 35755 Hauser Bridge Rd, Cazadero  
A.P.N. 109-230-024

MAPS, PHOTOGRAPHS AND  
DRAWINGS ACCOMPANYING  
THIS APPLICATION ARE  
NOT INCLUDED HERE.

Request for a Use Permit to establish an annex to an Odiyan Monastery and Retreat center on 107 acres.

We are submitting the above application for your review and recommendation. Additional information is on file in this office.

Responses to referrals should include: (1) statement of any environmental concerns or uncertainties your agency may have with the project; (2) any comments you wish to make regarding the merits of the project; and (3) your proposed conditions and mitigations for this project. Responsible agencies under CEQA are requested to indicate whether permits will be required for this project.

Your comments will be appreciated by **May 6, 2004** and should be sent to the attention of UPE04-0032, Cynthia Demidovich ([cdemidov@sonoma-county.org](mailto:cdemidov@sonoma-county.org)).

Please send a copy of your comments to the applicant(s) or their representatives.

Please check the appropriate box and return or reply by e-mail to the address above.

- No comments       Comments attached       Comments to be forwarded
- Please send meeting/hearing notices regarding this project.

- County Surveyor
- Health
- E/H Consumer Prot. - Jerry Meshulam
- Sanitation
- Land Develop-PRMD
- Public Works (La Plaza) - J. Kottage
- Public Works (La Plaza) - J. Foster
- Ag Commissioner
- Flood & Drainage Review
- PRAC Planner
- General Plan Staff
- Northwest Information Center, S.S.U.
- Milo Baker Chapter Conservation Committee
- Public Works - Transit
- Building Inspection
- Army Corps of Engineers
- P.G. & E.
- Pacific Bell
- Sheriff - Crime Prevention
- LAFCO
- ALUC/CLUP - Bob Gaiser
- Board of Supervisors - Supervisor Mike Reilly

- County Communications - George Waters
- Fire Marshal
- Fire District - Timber Cove
- School District -
- Santa Rosa School District
- Water District -
- State Coastal Commission
- Caltrans (State)
- State Fish & Game
- State Department of Forestry
- State Department of Health
- State Parks and Recreation
- Regional Water Quality Control - Northern
- Regional Air Pollution Control
- Regional Parks Department
- City of Dept.
- Treasurer/Special Assessment
- Assessor
- Landmarks Commission
- CDC - Affordable Housing
- Other: COAST
- Other: Coastal Hills Comm. Land Trust

# Planning Application

PJR-001

Filed: UPE 04-0032

### Type of Application:

- Admin Cert. Compliance
- Ag./Timber Preserve
- Cert. of Compliance
- Cert. of Modification
- Coastal Permit
- Design Review Admin.
- Design Review Comm./Ind.
- Design Review Residential
- Design Review Signs
- General Plan Amendment
- Lot Line Adjustment
- Major Subdivision
- Minor Subdivision
- Mobile Home Zoning Permit
- Ordinance Interpretation
- Second Unit Permit
- Specific/Area Plan Amendment
- Use Permit
- Variance
- Zone Change
- Zoning Permit
- Other: \_\_\_\_\_

### Applicant (Contact Person):

Head Lama TNMC (Jack Petranker)

Name: \_\_\_\_\_

2425 Hillside Avenue

Mailing Address: \_\_\_\_\_

Berkeley CA 94704

City/Town State/Zip

510-418-9120 707-885-0073

Phone Fax

Signature: *Jack Petranker* Date: March 30, 2004

### Owner, if other than Applicant:

same

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/Town State/Zip

Phone Fax

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### Other Persons to be Notified: (Specify: Agent, Lender, Architect or Engineer)

Name: David French	Arnaud Maitland	Name: _____
Mailing Address: 33755 Tin Barn Road	Mailing Address: 2910 San Pablo Avenue	Mailing Address: _____
City/Town: Cazadero CA 95421	City/Town: Berkeley CA 94702	City/Town: _____ State/Zip: _____
Title: Project Coordinator	Title: Manager, Dharma Publishing	Title: _____
Phone: 707-785-2661 Fax: 707-785-3187	Phone: 510-548-5407 Fax: 510-548-2230	Phone: _____ Fax: _____

### Project Information:

Address(es): 35755 and 35750 Hauser Bridge Road

Assessor's Parcel Number(s): 109-230-024

Cazadero

City/Town: 107 +/-

Acres: \_\_\_\_\_

Project Description: establish an annex to Odiyan Buddhist Monastery and Retreat Center, located nearby. The property will be used to house residents of the religious community, as a retreat center, and to operate a non-profit religious publishing/printing facility for production of Buddhist texts and art prints.

Site Served by Public Water?  yes  no      Site Served by Public Sewer?  yes  no      Number of new lots proposed: 0

U DO NOT WRITE BELOW THIS LINE - To Be Completed by PRMD Staff U

Planning Area: 1      Supervisorial District: S      Current Zoning: RPD B6 240 RC      General Plan Land Use: RPD 240

Specific Plan: NONE      S.P. Land Use: B2      Needs CEQA Review?  yes  no

Commercial/Industrial Uses: (Enter numbers where applicable)

Blgd. sq. ft. Existing: \_\_\_\_\_ Proposed: \_\_\_\_\_; Existing Employees: \_\_\_\_\_ New Employees: \_\_\_\_\_

Residential Uses: (Enter numbers where applicable)

New Single Family Homes: \_\_\_\_\_ New Multi-Family Units: \_\_\_\_\_ New Second Units: \_\_\_\_\_

New Manufactured Homes: \_\_\_\_\_ New Units For Sale: \_\_\_\_\_ New Units For Rent: \_\_\_\_\_ Density Bonus Units: \_\_\_\_\_

Violation?  yes  no; Application resolve planning violation?  yes  no; Penalty applicable?  yes  no; Civil Penalty Factor \_\_\_\_\_

Previous Files: UPE 99-0152      ULA00-0013      UPE 88-5041      MS 5796

Application accepted by: C. JEMIDOUX      Date: 4-15-04

Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue ♦ Santa Rosa, CA ♦ 95403-2829 ♦ (707) 565-1900 ♦ Fax (707) 565-1103



# COUNTY OF SONOMA PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403-2829  
(707) 565-1900 FAX (707) 565-1103

## USE PERMIT - SUPPLEMENTAL APPLICATION INFORMATION

### Existing site characteristics:

Existing use of property: phased resort development Acreage: 107 +/-

Proximity to creeks, waterways and impoundment areas: None on-site

Vegetation on site: Flat to gentle rolling within developed area

General topography: Grassland, scattered trees

Surrounding uses to  
North: large-lot timber preserve South: Recreational  
East: large-lot timber preserve West: larger lots, widely scattered residences

New buildings proposed (size, height, type): 19 cottages, Healing Center, Library, Press (see proposal)

1 Number of employees (total): up to 20 volunteer staff engaged in printing/publishing/retreat operations

Operating days: press operations M-Sat; retreats variable Hours of operation: press/publishing 7 AM- 6 PM

Number of vehicles per day: 17 vehicles retreats hours variable

2 Water source: on-site wells and springs Sewage disposal: on-site septic

Provider, if applicable: n/a Provider, if applicable: n/a

Noise generated: none except press operation set back 200 yards.; not audible from outside building

Grading required - Cut Max: \_\_\_\_\_ Fill Max: \_\_\_\_\_  
Fill area: \_\_\_\_\_ Approx. total yds: less than 50

3 Vegetation to be removed: none, except for minor landscaping and clearing brush and dead trees

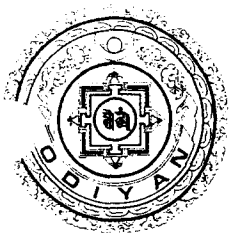
Will proposal required annexation to a district in order to obtain public services?  
Yes \_\_\_\_\_ No x

Are there currently any hazardous materials (chemicals, oils, gasoline, etc.) stored, used, or processed on this site? Yes x No \_\_\_\_\_ 4 above-ground propane tanks

Were there any hazardous materials used, stored, or processed on this site any time in the past? Yes \_\_\_\_\_ No x

Will the use, storage, or processing of hazardous materials occur on this site in the future if this project is authorized? Yes x No \_\_\_\_\_ for press operations--minimal

Additional information: see attached Proposal Statement and Supplemental Analysis  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# ODIYAN

April 15, 2004

Cynthia Demidovich  
Sonoma County Permit and Resource Management Department  
2550 Ventura Avenue  
Santa Rosa, CA 95403

Modification to Use Permit Application for 35755 Hauser Bridge Road (A.P. 109-230-024)  
(Odiyan Timber Hill Annex: Ratna Ling) UPE 04-0032

Dear Cynthia:

Enclosed please find a modified Use Permit Application for the above property. The original Use Permit Application was filed on March 8, 2004. Since then the applicant, Head Lama of the Tibetan Nyingma Meditation Center ("TNMC"), has purchased the property. A copy of the grant deed vesting title in applicant, recorded on March 19, 2004, has already been submitted, together with a new indemnification form.

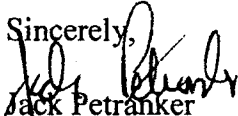
The modified application differs from the old one in the following respects:

1. Nineteen cottages, proposed in the original application to be built at a later time, are now proposed for construction over the next 2-3 years.
2. The ancillary press operations, are now proposed to be housed in a new building to be constructed west of Hauser Bridge Road, out of site of all traffic and neighbors.
3. A new building, the Healing Resource Center, is proposed for construction on the site of the "spa" approved for construction in the existing use permit, based on existing elevations. A second new building, the Library and Study Center, is proposed for construction on the site for the "pub" approved for construction in the existing use permit, based on existing elevations.

Submitted together with this modified application are the following:

- Modified Proposal Statement
- Modified Site Plan (3 full-sized plans and one reduced-size site plan), including limits of work. Elevations for buildings planned for construction.
- Supplemental Report on Proposed Use (as modified), with exhibits.

For location/vicinity map, assessor's parcel map, and USGS quad map, see the original submission.

Sincerely,  
  
Jack Petranker

for Odiyan Ratna Ling Center, TNMC

**Proposal Statement for  
ODIYAN TIMBER HILL ANNEX (Ratna Ling)  
Monastery and Retreat Center -- UPE 04-0032**

This application is filed by Head Lama of the Tibetan Nyingma Meditation Center ("TNMC"), the owner of the subject property (commonly known as "Timber Hill"). The new owner has renamed the property "Ratna Ling" (Sanskrit for "Jewel Crest"), but for ease of reference will continue to refer to it in this proposal statement and related documents as Timber Hill.

**Site Characteristics, History, and Existing Use**

Timber Hill is a 107 +/- acre parcel located in rural northwest Sonoma County, in an area zoned RRD 240. It is located in and on the edge of clearings in an otherwise dense forested area. It is not located within the coastal zone. The property does not abut any land used for timber production or geothermal and mineral resource production. It is 1,200 feet from the nearest parcel within a Timberland Production Zoning District.

The property was originally operated as a private school. In 1983 the County approved a Use Permit for a resort/guest ranch for 15 cabins and related buildings (modified to allow 27 cabins in 1997), and the property operated under this permit from 1983 to 1997. The property then came under new ownership. A new use permit to operate a resort was issued in 2000, and extensive construction was undertaken. The property was placed on the market in the spring of 2003 and purchased by TNMC. Title transferred to TNMC on March 19, 2004.

The current use permit is for a resort. It allows for the following structures:

- a. Twenty permitted guest cabins on the east side of Hauser Bridge Road. One cabin has been built but not finished. The remaining cabins have not been built.
- b. Eleven staff-only housing units, consisting of 9 one-bedroom cottages and two two-bedroom clusters, as well as a staff commons room, all on the west side of Hauser Bridge Road. All units and the commons are built and finished.
- c. A newly built 13,394 square-foot lodge with kitchen (no equipment installed), dining room, reception, office, laundry (no equipment installed), storage rooms, and apartment. The lodge is permitted, constructed and finished. The kitchen is excluded from the lodge permit and finished.
- d. Spa with swimming pool: spa permit expired; no pool permit issued.
- e. Free-standing Pub: permitted but not constructed.

The use-permit specifies that the total number of adults occupying the staff housing shall not exceed 20, and contemplates that the total number of guests at the resort shall be no more than 40. Thus, the total number of persons in residence at one time is limited to 60.

Modified Use Permit Application (UPE 04-0032)  
35755 Hauser Bridge Road  
APN 109-230-024  
Proposal Statement (April 15, 2004)  
Page 2

**Proposed Use**


This application is for a use permit to operate Timber Hill as a monastery and retreat center that would serve as an annex to the nearby Odiyan Buddhist Monastery and Retreat Center, also owned and operated by TNMC. Consistent with Odiyan's permitted use, the property would be used for housing for the religious community and for retreats. Residential members of the community would conduct religious services and engage in Buddhist studies and practices on the property that would not be open to the general public. Retreats would be both long-term and short-term. Some short-term retreats would focus on healing practices in Tibetan Buddhism.

The proposed use for the Odiyan Timber Hill Annex would make use of all existing and approved buildings under the existing use permit. The presently existing staff housing and commons (on the west side of Hauser Bridge Road) would be used for long-term residents. The existing lodge would be used as a meditation hall for retreats and a temple for residents; the kitchen would be used for preparing meals for retreatants, and a part of the building would be converted to dining facilities. The building intended by the previous owners as a spa would be built for use as a Healing Resources Center, using the same elevations. The 19 cottages on the east side of Hauser Bridge Road that have not yet been built, together with the existing prototype cottage, would be used to house retreatants. The building intended by the previous owners as a pub would be built in the same location with essentially the same elevations for use by retreatants and residents as a library and study center. The property would be landscaped in accord with the terms of a new Vegetation Management Plan, developed in consultation with the Department of Emergency Services. The maximum number of residents/occupants would be 60, as in the existing use permit, with no more than twenty living in the staff housing west of Hauser Bridge Road. Residence would be open only to members of the TNMC Buddhist community and retreat participants.

**Ancillary Use**

As an ancillary use, residents at the Odiyan Timber Hill Annex would operate a non-profit publishing and printing facility printing Buddhist texts and art, to be housed in a new building constructed west of Hauser Bridge Road out of sight of passersby and area residents. Most of the materials produced would be in Tibetan, intended for free distribution to monasteries in Asia. Other materials would be in English, intended to transmit the Buddhist teachings in this country. The environmental impact of this use is minimal, as discussed in the Supplemental Analysis of Proposed Use.

Modified statement submitted April 15, 2004

By:   
Jack Petranker

for Odiyan Buddhist Center (Ratna Ling), operated by TNMC

**SUPPLEMENTAL ANALYSIS OF PROPOSED USE**  
Modified April 15, 2004

**1. The Subject Property in Relation to the Nearby Property already owned by TNMC**

Applicant TNMC owns and operates Odiyan Buddhist Monastery and Retreat Center ("Odiyan"), located at 33755 Tin Barn Road. Odiyan operates under a use permit granted in 1975, which permits its use by up to 60 persons as a monastery and retreat center. Odiyan is located about a twelve-minute drive from Timber Hill by road. Topographically the two properties are half-a-mile apart.

The present application is for a use permit that would allow TNMC to operate Timber Hill as an annex to Odiyan. This would fulfill two long-held TNMC goals: 1) to be able to bring together in one geographic area nearly the entire religious community for which Odiyan now serves as the spiritual center; 2) to be able to offer both long-term and short-term retreats in a peaceful rural environment.

The proposed use makes full use of existing and approved facilities under the existing use permit. However, whereas the previous owner intended to operate Timber Hill as a high-turnover resort, TNMC proposes to use it as a monastic and retreat center. This means that in almost every respect, TNMC's proposed use is less intensive than allowed under the existing use permit (rights to which have vested).

**2. Background of TNMC and Odiyan**

TNMC was founded as a Buddhist church in 1969. In addition to a larger congregation of several hundred, it has approximately 70 full-time residential members, of whom about forty live at Odiyan. Another twenty members live in TNMC's religious community in Berkeley, CA.

One of the religious tenets that TNMC follows is that all full-time members of the church devote their energies to religious service; i.e., work that serves to promote the Buddhist teachings. Odiyan residents fulfill this commitment through creating sacred art, ritual objects, and monuments. Many of the residents of the Berkeley TNMC community fulfill their religious commitment by operating a non-profit Buddhist publishing company and book production facility (Dharma Mudranalaya, operating as Dharma Publishing and Dharma Press). This facility produces books in Tibetan script that are shipped to India and other parts of Asia, where they are given away at no charge to Tibetan monasteries, monks, nuns, and lay people. It also produces books in English, including translations, that make the Buddhist teachings more widely available. For a discussion of TNMC's religious printing operations, see Exhibit A.

Several other members of the TNMC community in Berkeley fulfill their religious service by operating the Nyingma Institute, also a non-profit organization, which offers educational programs including workshops and retreats.

For at least fifteen years, TNMC has had two goals which it has not been possible to meet at Odiyan as it now operates:



Modified Use Permit Application (UPE 04-0032)  
35755 Hauser Bridge Road  
APN 109-230-024  
Supplemental Analysis of Proposed Use (April 15, 2004)  
Page 2

- a) To move the community members engaged in the publishing and book-production operations to Odiyan or a location nearby in order to unite the religious community of full-time residential members of the church. Bringing these operations together also has practical benefits, since some editorial operations already take place at Odiyan.
- b) To offer both long-term and short-term retreats for members of the church and others interested in Buddhist teachings.

The availability of Timber Hill offers a way to meet these objectives for the religious community and for the larger community that could benefit from retreats based on Buddhist teachings.

**3. The Suitability of Timber Hill as an Annex to Odiyan**

Purchase of the Timber Hill property (now renamed "Ratna Ling," or "Jewel Crest") provides the perfect opportunity to fulfill TNMC's long-term goals of uniting the Odiyan and Berkeley communities and offer retreats suitable for a wide range of students, for the following reasons:

- a) Timber Hill is located very close to Odiyan, and shares with it the quality of being largely undeveloped and close to nature.
- ① b) The staff housing in place west of Hauser Bridge Road is adequate to all the residential needs of the community and is more suitable to housing married couples than the single-room residential facilities at Odiyan. These 11 cottages would house the member of the religious community presently in Berkeley, and the associated dining commons would let them eat communally, as is already the practice at Odiyan. All have already been finished.
- c) The existing "model cottage" and the 19 additional cottages allowed under the existing permit but not yet built would make it possible to offer short-term retreats to as many as 40 retreatants in a setting not as intensively religious as Odiyan itself, yet offering the same sense of spiritual peace that Odiyan provides. The existing lodge could be easily reconfigured to serve a meditation hall for retreatants, together with kitchen and dining facilities. Smaller rooms in the lodge could be used for small retreats, practice and reading rooms, and similar uses ancillary to the retreat operations.
- ②
- ③ d) The approved spa could be easily reconfigured to serve as a Healing Resources Center, containing treatment rooms, yoga rooms, and therapy rooms for retreatants. This would let TNMC offer innovative programs for healing and wellness based on Tibetan spiritual practices. The proposed pub could serve as a library and study center for retreatants and residents.
- ④

Modified Use Permit Application (UPE 04-0032)  
35755 Hauser Bridge Road  
APN 109-230-024  
Supplemental Analysis of Proposed Use (April 15, 2004)  
Page 3

- e) The land west of Hauser Bridge Road provides an excellent site for building a press facility that would be out-of-site and earshot of neighbors and passers-by that would let community members continue with their religious service of printing and distributing Buddhist texts, both in Tibetan and English. This ancillary use of the property is described in more detail in Exhibit A to this Supplemental Analysis.

The site plan submitted with this application shows buildings presently existing and finalized, as well as the buildings allowed under the use permit but not yet built. Buildings included on this plan but not included on the original use permit application have been marked by lines in the shape of clouds. Location of cottages has been changed to accord with the plan as permitted.

#### **4. Modifications Required for the Proposed Use**

Staff Housing and Staff Commons – no modifications required. Use for up to 20 residents.

Housing for Retreatants – model cottage will be completed as per existing plans; remaining cottages to be built in conformity with currently existing plans, modified to make them more suitable for retreat use. Use for up to 40 retreatants.

Meditation Hall (existing lodge) – kitchen must be completed and dining facilities established. Possible modification of interior design. No structural changes.

Healing Resources Center – exterior will be based on the existing plans for the spa and pool, at the same location shown on the previous owner's most recent plans (February 2003). Changes in interior design to accommodate changed focus.

Library and Study Center – exterior will be based on approved plans for the pub; interior will be redesigned for use as a library and study center.

Printing and publishing facility – to be built in substantial compliance with the elevations submitted herewith. Soils will be analyzed and an archaeological survey conducted.

Landscaping – a new Vegetation Management Plan will be developed in consultation with the County. The aim of the landscaping will be to integrate the land into the spiritual vision for the property, to be developed in accord with geomantic and mandalic principles of Tibetan Buddhism. A fence approximately five feet high will be built to define the property.

#### **5. Traffic**

The existing use permit, which allows operation of Timber Hill as a resort, allows for a steady flow of guests into and out of the Timber Hill property—estimated by the previous owners at 26

Modified Use Permit Application (UPE 04-0032)  
35755 Hauser Bridge Road  
APN 109-230-024  
Supplemental Analysis of Proposed Use (April 15, 2004)  
Page 4

round trips per day. TNMC plans to offer retreats in the twenty cottages on the east side of Hauser Bridge Road, and projects no more than 15 round trips a day for retreatants, based on a weekly average. For much of the year, the average is likely to be considerably less.

Since the occupants of staff housing are members of a religious community who (as at Odiyan) make it a part of their religious practice to stay on the premises full-time as much as possible, average number of car trips for residents is estimated at no more than 2 per day.

① Total number of truck trips for the press and for supplies is estimate at .5 per day.

Total round trips is thus estimated at an average of 17.5 per day. This compares to an average of 47 rounds trips per day under the use approved for the previous owners.

#### **6. Timing of Construction**

② TNMC plans to build six retreat cabins and the printing facility within the first year after construction begins. The Healing Resources Center and additional cabins will be built in year two. The remaining cabins and the library are planned for construction in year three.

### Exhibit A: Ancillary Operation of a Religious Printing Facility

As indicated in the Supplemental Analysis, one of the religious tenets of TNMC is that all full-time members of the community must engage in religious service. The members of the religious community now living in Berkeley fulfill this obligation by operating a press that produces Tibetan books, prayer wheels, and art prints, which are donated at no charge to Tibetan refugees living in India and Nepal, as well as Buddhist materials in translation or written specifically for Western audiences. The current press facility includes a press, a cutter, a folder, a collator, and a binder, as well as electronic prepress equipment. The work also requires considerable space for hand assembly, wrapping, and packing the books and related sacred objects, such as texts that are wrapped for insertion into prayer wheels, and for storage of completed books and art.

The Nyingma denomination of Tibetan Buddhism considers the production of religious texts a religious vocation. In Tibetan Buddhism, creating and distributing religious texts has traditionally been considered a sacred duty—a way of preserving religious teachings and making them more widely available. Indeed, all aspects of book production were open only to the monastic order. Lay people were not even allowed to handle most religious texts. Traditionally, texts were printed at great monasteries renowned for their printing houses. Making copies of religious texts was considered practice equivalent to prayer.

The proposed publishing and press facility will be operated by Dharma Mudranalaya (“DM”), a non-profit religious organization founded to support the religious activities of TNMC. DM’s purpose is to preserve, protect, and disseminate sacred Buddhist literature, and it does not operate as a conventional commercial business. The majority of books, prayer wheels, and sacred art that would be produced in the press facility are not offered for sale or advertised. A varying percentage of production consists of books in English which are offered for sale, but this too is considered a part of TNMC’s religious function, by making the teachings more widely available. No customers would be allowed on the premises, and shipping for order fulfillment can be easily accommodated by the daily UPS pickups that already have a drop station at Odiyan itself.

Total production at the press facility is estimated at a little under 100,000 books (including art) per year. To print this many books requires approximately 12 40-foot truckloads of paper, or about 1 truckload per month. The other supplies required, such as ink and plates, would come in smaller trucks, at a rate of about one every three months.

Operation of the press facility generates minimal amounts of hazardous materials. DM has 30 years of experience in dealing with such materials. It has already adopted various measures that drastically reduce their production, such as the use of soy-based inks and a water-based plate-making process. Hazardous materials generated by present operations consist of rags used to wipe out the ink cans, wastewater generated from draining the press weekly and from pressmen washing their hands, and associated release of vapors.

The volumes, content, and disposal of the printing chemicals and other materials used in the proposed press facility, based on a maximum annual production rate of 96,000 books, is shown in Tables 1-4 on the following pages.

Table 3: Emissions (no emissions of a fugitive nature)

Material	Description of/emission	Annual Usage	Annual VOC's (pounds)
V120	A washup/cleaning solvent	120 gallons	813.6
Ecolowash Step A	Washup solvent; contains petroleum naptha	5 gallons	3.75
HD1	Fountain solution; contains non-hazardous nitrates	25 gallons	30.75
HD2	Fountain solution; contains 2 butoxyl ethanol, diaethalyne glycol monohexal ether	25 gallons	63.25
Type wash	Contains toluene hexane and isoproponol	5 gallons	33.45
SF SoyPlus Inks	Non-hazardous per 29 CFR 1910.1200	4,000 pounds	39.99
Isopropyl alcohol		5 gallons	32.85
Total			1017.64

Note: On January 5, 2004, a TNMC/DM representative met with Alex Saschin, Air Quality Engineer with Northern Sonoma County Air Pollution Control District. He reviewed the information provided in Table 3 and stated that the total of approximately 1,000 VOC's produced by the printing operation annually is far below the threshold level of 80,000 VOC's annually that the District begins to regard with concern.

Table 4: Wastewater Discharge from the Printing Operation

<u>Volume</u>	<u>Content</u>	<u>Frequency</u>
7 gallons	7 gallons water, 21 oz. ea HD1 & HD2	weekly

Note: On January 5, 2004, a TNMC/DM representative met with John Short, Senior Engineer at the California Regional Water Quality Control Board. He confirmed that the existing water system and discharge plans at Timber Hill had received a general wastewater discharge permit. With respect to the proposed printing operations, he reviewed the wastewater discharge for the proposed ancillary printing facility, consisting of 7 gallons weekly, and asked TNMC to develop a proposal for dealing with this amount of discharge, such as a holding tank that would be pumped out periodically. DM is currently researching alternatives to meet this concern.

Table 1: Total maximum raw material usage:

Raw material	Annual Usage	Units
Anthem press plates	2,500	Plates
Presstek filter #1	50	Filters
Presstek filter #2	25	Filters
Presstek filter #3	2	Filters
Presstek filter #4	2	Filters
Printing paper	12	Carloads (1 carload = 756,000 sheets)
Printing Ink	4,000	Pounds
V120 washup solvent	120	Gallons
Ecolowash Step A washup	5	Gallons
HD1 fountain solution	25	Gallons
HD2 fountain solution	25	Gallons
Type wash	5	Gallons
Isopropyl alcohol	5	Gallons
Rags	4,500	16 in x 7 in shop towels
Cover stock	10,000	Sheets
Gold foil	30	rolls (= 30,000 feet)
Fabric	40,000	Yards

Table 2: Information on Current Equipment

Equipment	ID Number	Inlet/Out Temp.	Emission points and where vented	Energy Consumption (KW/hr)	Mode of Operation
Presstek Dimension 800 CTP System	0302-8025			16kwh/hour	Intermittent
Heidelberg Sordz Press	526-096				12 hours/day continuous
Stahl Folder	32.950			240V, 40 amp	12 hours/day continuous
Baum Cutter	Not known			60Hz, 460 or 230	Intermittent
Ehlermann Collator	630			1.5Kw, 2.0 ps, 50Hz	12 hours/day continuous
Franklin Stamping Press	Serial 30343/08			230V, 4(11555) Watts	Intermittent

Applicant's Analysis of Use of Ratna Ling as a Retreat Center  
35755 Hauser Bridge Road (A.P. 109-230-024)

(Odiyan Timber Hill Annex: Ratna Ling) UPE 04-0032

May 6, 2004

The use-permit application for this property is for use as a Buddhist monastery and retreat center, with ancillary use as religious printing facility. You have asked for an analysis of projected use as a retreat center, in terms of number of retreats per year, number of participants, traffic associated with the retreats including any additional truck deliveries, noise, and parking. We also consider refuse.

In undertaking this analysis, we must naturally use projections that become less reliable the further into the future we project. The following represents our best assessment based on both present plans and the absolute maximum anticipated expansion.

The use permit application calls for building 20 retreat cabins, the same number of cabins (cottages) permitted under the existing use permit. Construction will happen over the next 2-3 years. The analysis below will apply only when all cabins are built (in about 2007). Before that time, all numbers will be lower than in this projection.

1. Number of retreats per year

A. Projection for 2007-2010

For the first several years, we anticipate at most two retreats a month, with fewer in the winter, for a total of 20 retreats a year. Retreats would typically be weekend or week-long retreats.

B. Projection from 2011 forward

If the retreats prove to meet a need among the community of individuals interested in Buddhist teachings and practices, we may gradually expand the number of retreat offerings, including more short-term retreats and possibly long-term individual retreats. We project a maximum of three retreats a week, with fewer in the winter, for a total of 120 retreats a year. We actually consider it unlikely that we will reach this total, but we would like to have the option to do so if there is a strong enough need within the relevant community.

2. Number of participants and car trips

We assume 25 participants on average per retreat, ranging from a minimum of 10 to a maximum of 40. Since many of our retreatants will come from the Bay Area, we will encourage car-pooling. However, for purposes of this analysis, we anticipate that most retreatants will drive individually, so that a retreat will typically involve 20 round-trip car trips with 1.25 participants per vehicle. Once on site, retreatants will not leave the property during the course of the retreat, so there will be no additional car trips during the course of the retreat.

3. Traffic associated with retreats

A. Projection for 2007-2010

Based on the foregoing, for peak-use periods (April-October) we project up to 40 round-trip car-trips per month, or approximately 1.3 round-trips per day. Added to the truck trips for the press and for supplies (including supplies for retreats), and to trips by Ratna Ling residents, this gives a total for all uses of the property of 3.8 car trips per day.

B. Projections from 2011 forward

Based on the maximum projection of 120 retreats per year, each generating 20 round-trip car-trips, there would be an average of 6.6 round trips daily. Added to the truck trips for the press and for supplies, and to trips by Ratna Ling residents, this gives an average of 9.1 car trips per day.

Note: The use permit application estimates an average of 17.5 round trips daily. This estimate is based on 35 round-trip car trips per retreat for three retreats a week. On reflection we consider this projection unrealistically high, even if we assume that each retreat attracts the maximum of 40 participants. However, we would like to keep it as the maximum permitted, so that there is no question of having to come back at a later date. Even this figure of 17.5 round trips daily falls far short of the projected car traffic under the existing use permit, which is 47 round trips daily.

4. Noise

Apart from car-traffic, there are no noise issues associated with the planned retreats. Retreatants live quietly, with no diversions such as television, amplified music, or parties. Meditation sessions may include chanting, but the retreat hall is set well back from the road, and chanting will not be audible beyond the property boundaries.

5. Parking

There are already 28 designated asphalt parking spaces on the property that will be available for use by retreatants. Service areas near the meditation hall (the existing lodge) can easily accommodate 10-15 more cars, and there are approximately 20 additional asphalt parking spaces in the staff housing area. We anticipate no parking issues.

6. Refuse

The property as it presently exists contains refuse facilities in the area north of the lodge designed to meet the needs of luxury services for 40 guests and a five-star restaurant. Needless to say, the needs of our retreatants will be considerably less.

---



## ATTACHMENT "A"

### MITIGATION MEASURES

UPE04-0032, 35755 Hauser Bridge Road, "Odiyan Buddhist Monastery and Retreat Center"  
October 22, 2003

I agree to the mitigation measures listed below as conditions of project approval:

Note: For reference, the Mitigation measures are listed under the items in which they discussed in the Mitigated Negative Declaration prepared for the above-referenced project.

#### A. Aesthetics

**Mitigation Measure 1.d.:** All exterior lighting shall be downcast and shielded and shall limit glare onto surrounding properties. Prior to final occupancy on any building permit or initiation of the use, the applicant shall submit lighting details for the review and approval of Project Review staff. Prior to final occupancy on any building permit or initiation of the use, exterior lighting shall be installed in accordance with the approved plans.

**Mitigation Monitoring 1.d.:** Upon completion of installation of exterior lighting, the Project Planner shall conduct a site inspection verifying compliance with the approved plans.

#### B. Air Quality

##### Mitigation Measure 3.b:

The Permit Holder shall be responsible for controlling dust and debris during all construction phases. The following dust control measures shall be followed during construction:

- a. Water or dust palliative shall be sprayed on unpaved construction and staging areas during construction as necessary to control dust.
- b. Trucks hauling soil, sand and other loose materials over public roads will cover the loads, or will keep the loads at least two feet below the level of the sides of the container, or will wet the load sufficiently to prevent dust emissions.
- c. Paved roads will be swept as needed to remove soil that has been carried onto them from the project site.
- d. Water or other dust palliative will be applied to stockpiles of soil as needed to control dust.

**Mitigation Monitoring 3.b.** Building or grading permits shall not be issued for construction activities until the above notes are printed on construction plans. PRMD shall conduct an on-site investigation if dust complaints are received. If determined complaints are warranted, the Permit Holder shall implement greater dust control measures or PRMD may issue a stop work order.

**Mitigation 3.c.:** See response to 3.b.

**Mitigation Monitoring 3.c.:** See response to 3.b.

#### C. Biological Resources

**Mitigation Measure 4.a(1):** Grading and removal of nesting trees should be conducted outside the nesting season, which occurs between approximately February 15 and August 15.

If grading before February 15 is infeasible and groundbreaking must occur within the breeding season, a pre-construction nesting bird survey of the grasslands and adjacent trees shall be performed by a qualified biologist. If no nesting birds are observed, no further action is required and grading shall occur within one week of the survey to prevent "take" of individual birds that could begin nesting after the survey.

If birds are observed on site after February 15 it will be assumed that they are nesting on site or adjacent to the site and ground breaking should be delayed until after the young have fledged, as determined by bird surveys by a qualified biologist, or after the nesting season.

The CDFG Central Coast Regional office does not object to grading that occurs when nesting birds are observed on site, providing that a 100-150 foot buffer zone is created around the observed passerine nest and 200-500 feet around an observed raptor nest. However, given the relatively small size of the site, this method may not be practical if active nests are found in the central portion of the site.

**Mitigation Monitoring 4.a(1):** If construction should occur between February 15 and August 15 the issuance of grading or building permit for the project will not be approved by the Project Review Division until the required pre-construction nesting bird survey is performed by a qualified biologist and approved by the CDFG.

**Mitigation Measure 4.a(2):** A bat habitat assessment should be conducted by a qualified bat biologist 45 days prior to demolition to determine presence or absence of the species. If occupancy is observed, the qualified bat biologist shall provide direction on how to make the structures less suitable for roosting by bats, such as either by sealing all entry points, or by creating unfavorable roost conditions.

**Mitigation Monitoring 4.a(2):** Prior to issuance of a grading or building permit the applicant shall submit to the Project Review Division and the CDFG a bat habitat assessment conducted by a qualified bat biologist. The bat habitat assessment shall be approved by the CDFG.

**Mitigation Measure 4.a(3):** The project shall be conditioned to restrict all building on the project site to the designated areas on the site plan dated April 14, 2004. Any building outside of the designated areas shall be subject to a supplemental botanical and wildlife review by a qualified biologist.

**Mitigation Monitoring 4.a(3):** Prior to issuance of a grading or building permit the applicant shall submit to the Project Review Division a site plan that depicts the areas of the proposed construction.

**Mitigation Measure 4.c:** See response to 8.a, 8.c, and 8.d listed below.

**Mitigation Monitoring 4.c:** See response to 8.a, 8.c, and 8.d listed below.

**Mitigation Measure 4.e:**

The project shall be conditioned: "All development of the site is subject to the Sonoma County Tree Protection Ordinance. Protected trees, their protected perimeters, and whether they are to be retained or removed must be clearly shown on grading and building permit plans. Trees that are proposed to be removed or are damaged during construction activities must be replaced in accordance with the Tree Protection Ordinance. The projects grading, building, and landscape plans shall detail all tree protection implementation measures. Tree protection measures shall include protection of trees during construction with a chain link fence at the dripline of the trees. An arborist report may be required for any grading or construction proposed within the protected perimeters of any protected tree."

**Mitigation Monitoring 4.e.:**

The Permit and Resource Management Department shall not sign off the grading or building permit for issuance until the project grading and landscape construction documents clearly show all tree protection measures (as required in the County Tree Protection Ordinance). The Permit and Resource Management Department shall not sign off the grading or building permit for occupancy until a site inspection has been conducted, and the applicant has provided written verification from the project's landscape architect or contractor, that the tree protection measures were complied with.

## **D. Cultural Resources**

**Mitigation Measure 5.b:** If archaeological materials are discovered during project construction, construction will cease in the immediate vicinity of the find until a qualified archaeologist is consulted to determine the significance of the find, and has recommended appropriate measures to protect the resource. Further disturbance of the resource will not be allowed until those recommendations deemed appropriate by the County have been implemented.

**Mitigation Monitoring 5.b:** The project will be conditioned: "An archaeological survey of the site was conducted and the field investigation found no archaeological resources on the site. If archaeological indicators are uncovered during development, work is to be temporarily halted and a qualified archaeologist is to be consulted."

**Mitigation Measure 5.c:** See response listed in 5.b above.

**Mitigation Measure 5.c:** See response listed in 5.b above.

**Mitigation Measure 5.d:**

The project will be conditioned: "If human remains are uncovered during development, work is to be temporarily halted and the County Coroner and a qualified archaeologist is to be consulted."

**Mitigation Monitoring 5.d:**

At the time of issuance of a building permit, the Director of the Permit and Resource Management Department shall note on the permit that construction is to follow recommendations in the archaeological survey. The building official shall insure the recommendations are incorporated into the plans.

## **E. Hydrology and Water Quality**

**Mitigation Measure 8.a(1):**

An application for wastewater discharge requirements shall be filed with the North Coast Regional Water Quality Control Board. A letter of acceptance of the application shall be submitted to the Project Review-Health Specialist and the Department of Emergency Services prior to commencing operation.

**Mitigation Monitoring 8.a(1):**

The Permit and Resource Management Department shall not issue any permits for the use of the site until the Project Review-Health Specialist and the Department of Emergency Services has received a letter of acceptance of an application for wastewater discharge requirement from the North Coast Regional Water Quality Control Board.

**Mitigation Measure 8.a(2):**

A copy of the Notice of Intent (NOI) filed with the RWQCB, as well as the Waste Discharge Identification Number (WDID) issued by that agency shall be submitted for review and approval by the Drainage Review Division of the Permit and Resource Management Department.

**Mitigation Monitoring 8.a(2):**

The issuance of grading or building permit for the project will not be approved by the Project Review Division until a copy of the Notice of Intent (NOI) filed with the RWQCB, as well as the Waste Discharge Identification Number (WDID) issued by that agency have been reviewed and approved by the Drainage Review Division of the Permit and Resource Management Department.

**Mitigation Measure 8.c(1):**

A setback line along existing waterways shall be measured from the toe of the stream-bank outward a distance of  $2 \frac{1}{2}$  times the height of the stream-bank plus 30 feet, or 30 feet outward from the top of the stream-bank, whichever distance is greater. The cottages must be setback from the wetlands and the ponds. The setback distance would be based on site conditions; however, the minimum distance would be 30 feet from the top of the embankment, or the boundary of the wetland.

**Mitigation Measure 8.c(2):**

An erosion control plan is required, and shall include all pertinent details, notes, and specifications to minimize the project's impact to the environment to less than significant.

**Mitigation Monitoring 8.c (1):**

The issuance of grading or building permit for the project will not be approved by the Project Review Division until the required drainage improvement, grading, and erosion control plans have been reviewed and approved by the Drainage Review Division of the Permit and Resource Management Department.

**Mitigation Measure 8.d(1):**

Drainage improvements shall be designed by a civil engineer in accordance with the Water Agency Flood Control Design Criteria, for approval by the Drainage Review Section of the Permit and Resource Management Department, and shall be shown on the improvement drawings. The engineer shall include a site grading plan as part of the required improvement drawings. Existing as well as projected wetlands must be outlined on the grading plan. Also measures to protect existing wetlands during construction must be shown on the plans.

**Mitigation Monitoring 8.d:**

The issuance of grading or building permit for the project will not be approved by the Project Review Division until the required drainage improvement, grading, and erosion control plans have been reviewed and approved by the Drainage Review Division of the Permit and Resource Management Department.

**F. Transportation and Traffic**

**Mitigation Measure 15.e:** Two turn outs along Hauser Bridge Road shall be constructed per the Sonoma County Department of Transportation and Public Works specifications to ensure adequate emergency access.

**Mitigation Monitoring 15.e:**

The issuance of grading or building permit for the project will not be approved by the Project Review Division until the required road improvement plans, have been reviewed and approved by the Surveyor Division of the Permit and Resource Management Department.

**G. Utilities and Service Systems**

**Mitigation Measure 16.a:** See response to 8.a listed above.

**Mitigation Monitoring 16.a:** See response to 8.a listed above.

Signed: \_\_\_\_\_

Property Owner

\_\_\_\_\_

Date

Date: 29-April-2004  
Attention: Cynthia Demidovich  
Submitted by: John Kottage



FILE #: UPE 04-0032  
NAME: Odiyan Buddhist Monastery/ Timberhill Ranch  
ADDRESS: 35755 Hauser Bridge Road, Cazadero  
APN: 109-230-024

**TRANSPORTATION AND PUBLIC WORKS:**

"The conditions below have been satisfied" BY \_\_\_\_\_ DATE \_\_\_\_\_

23. **2 Paved turnouts** shall be constructed within the public right of way at the locations indicated below. The geometry of the turnout widening shall conform to AASHTO standards for recreational roads. More specifically, the existing pavement shall be supplemented to create a total turnout pavement width of **twenty (20)** feet for a distance of at least 100 feet. The turnout shall have a minimum of 50 feet of paved tapers at each end of the turn out. (All as shown on Exhibit 5-17. Turnout Design in the AASHTO manual) Location: Applicants frontage along Hauser Bridge Road. **The turnout shall be surfaced with a minimum of 2 ½ inches of AC over 8 inches of Class II AB. The length of each turnout may be longer or short to limit or eliminate the removal of trees and/or to preclude excessive construction such as retaining walls so long as the improved length of road amounts to 400 feet.**
12. The Developer shall mill, repair and overlay the existing pavement as necessary to make a smooth transition between the existing pavement and the new pavement.
46. All improvements shall be constructed in accordance with the Department of Transportation and Public Works Road policy.
49. Plan checking fees and Inspection fees, including those involving off-site frontage improvements, shall be paid to the Permit and Resource Management Department, prior to signature of the Improvement Plans by the Director of the Department of Transportation and Public Works.
51. Prior to issuance of a building permit for any new building or prior to any new use of an **existing Facility** Developer shall pay Traffic Mitigation fees to the County of Sonoma, as required by Section 26, Article 98 of the Sonoma County Code. Evidence of payment shall be submitted to the Land Development Section of the Permit and Resource Management Department prior to clearance of these conditions.
53. The Developer shall submit improvement plans for all required improvements to the Permit and Resource Management Department for review and approval. Prior to the issuance of any Grading, Building or Encroachment permits, the Improvement Plans shall be signed by the Director of the Department of Transportation and Public Works.
54. Prior to construction of any improvements that are to be made within County Road Right-of-way, the Developer must obtain an Encroachment Permit from the Permit and Resource Management Department.
58. **Advisory Note:** The Sonoma County Department of Transportation and Public Works may modify these conditions if the Applicant can demonstrate that the conditions are infeasible due to unforeseen field constraints or lack of property rights, and that the goals of these conditions can be safely achieved in some other manner. However, the threshold for any modification is high, and therefore modification of conditions is not common. Please note that the full costs for any such modification shall be borne by the Applicant. These costs may include but not be limited to payment to PRMD to offset the cost of a new public hearing and additional design expense.

**Table 1**

**Violations of Use Permit Conditions (UPE04-0032)**

County of Sonoma Permit and Resource Management Department

April 15, 2004

Two months after receiving its 2004 Use Permit, Dharma Press and newly created Ratna Ling Retreat began to violate many conditions of that permit. Some numbers in the “Violations Cited” column represent expansion requests in the new application (PLP08-0021) that merely document existing violations. The Board of Zoning Adjustment recommended approval in 2012 (UPE08-0021). Coastal Hills Rural Preservation has appealed that recommendation to the Board of Supervisors.

	<b>2004 Use Permit Conditions</b>	<b>Violations Cited in Code Enforcement Complaint</b>
Print Factory Buildings	restricted to 18,000 square feet	Now over 60,000 square feet
Ancillary Status	printing to be ancillary	printing now primary
Book Storage	No storage outside press building	39,000 square feet of tents not up to fire code
Press equipment	1 press, 1 collator, 1 binder, 1 cutter	6 working presses by 2007; much additional equipment not listed (see photo gallery)
Workers allowed	27	Unknown (current request for 93)
Hours of Press Operation	1 press, 15 hour/day, 6 days/week	6 presses, 24 hour day, 6 day/week until code enforcement complaint filed
Books Production Limit	100,000 books annually	Over 400,000 (2011) (current request for <b>unlimited production</b> )
Trailer Trucks to and from East Bay	One 40-foot truck every other day	One 28-foot tractor trailer every day proposed ( <b>Note: daily 40-foot tractor trailer trucks continue.</b> )

## Appendix C

**Excerpts PRMD November 27, 2006 from Jennifer Barrett to Jack Petranka of Ratna Ling. (proposal signatory) obtained from Sonoma County Permit and Resource Management Department files.**

[Ratna Ling Retreat Center presented a proposal to PRMD for a General Plan Amendment for a 95,000 square-foot expansion of its printing and book storage operations. The public was not allowed to view that proposal, but following are excerpts of the responses made by Jennifer Barrett, Deputy Director of Planning at PRMD. Some of the statements made by Deputy Director Barrett strongly support the case we making about the printing expansion.]

*As we discussed in our meeting, we believe that your proposal is not consistent with the land use policies in our adopted General Plan or zoning for this site. The proposal is much too large to permit as accessory to the retreat use that was recently permitted, nor would it be consistent with the use permit which allowed the printing press only as an accessory to the retreat.*

*Your use permit allows the printing press and 18,000 sf of storage space which we consider to be about the limit of what is reasonable for an accessory use. An accessory use must be incidental to the primary use and must not 'significantly change the character, appearance, or operation of the principle use of the property.*

*So we have a dilemma with your new proposal. The 95,000 square ft building is about the size of a "big box" or large department store and would appear to make the printing and warehouse the predominant use.*

*Alternatives would include printing only the number of books that can be distributed in the near term, or seeking another warehouse site with appropriate zoning to store the books for an indefinite period. There are many sites with appropriate zoning that are well suited to this type of facility.*

*I would ask that you please consider the County's land use policies and evaluate these alternatives before you pursue a General Plan Amendment.*

*signed: Jennifer Barrett 11/27/2006 Deputy Director of Planning*

NOTE: In 2008 the applicant ignored Deputy Director Barrett's advice and submitted plans to PRMD for a General Plan Amendment for expansion to include the following:

A Special Area Policy and Use Permit to allow:

two underground caves for a total of 87,000 square feet of book storage including 12,000 square feet of tunnels

an Exhibition /Assembly Hall comprising 12,000 square feet with an occupancy of 800 people with two floors below grade and two stories above grade.

This project was to extend over nine acres, called for the removal of 250,000 cubic yards of earth, and take approximately eight years to build. The total square footage of the project was 99,000 square feet.

When our local community heard about this proposal, a petition was submitted with 175 signatures opposing it. With PRMD's unfavorable position towards this General Plan Amendment proposal and strong community opposition, Ratna Ling withdrew that proposal and agreed to meet with the community to discuss options.

Yet in 2012, Jennifer Barrett ignored her earlier opinion by recommending to the Board of Zoning Adjustment that Dharma Press be allowed to expand to 60,000 square feet with unlimited book production.

The pdf of the original document can be accessed in the next link.



APPENDIX C1

Here is the message I sent you November 2 and again November 13. Have you had a chance to review?

Thank you,

Jack

Dear Jennifer,

I appreciated your call yesterday. I am glad to know your husband is on the way back to health.

I had sent you an email before, but since I was just following the standard Sonoma County email format, it probably never got to you.

We discussed the text treasury (book depository) at Mike Reilly's office on Wednesday, August 23; Cynthia D. was there as well. As planned, the total size of the building, on 4 floors, is about 95,000 sq. ft. The total size of the parcel is 107 acres. The building site has been situated so that it would not be visible from the road, and would be built into the side of a hill.

PROPOSAL #1  
BOOK TREASURY  
4 STORIES  
95,000 SF

During the meeting, you expressed concern about the precedent this might set for possible commercial or other non-profit uses in the region (though our understanding is that under federal law religious projects are evaluated by a different set of standards). In light of this concern, at least three options were discussed:

1. A change in the general plan to allow this use on the Ratna Ling property;
2. A change to K zoning for the Ratna Ling property (looking at article 42, it seems this would work)
3. Creation of a special area policy.

ATTEMPTS TO CIRCUMVENT THE GENERAL PLAN AND RRD ZONING

In our conversation you asked whether we would be willing to underground part of the building. We agree this may be workable.

UNDERGROUND STRATEGY

266

From: Jennifer Barrett  
To: Petrunker, Jack  
Date: 11/27/2006 6:38:34 PM  
Subject: Re: following up on the text treasury at Ratna Ling about the text treasury at Ratna Ling Retreat Cen

Hello Jack

Thank you for forwarding the project description. We met with County Counsel and discussed RLU/PA in general and determined that it requires that all projects be equally evaluated under the criteria of the zoning code. As we discussed at our meeting, we believe that your proposal is not consistent with the land use policies in our adopted General Plan or zoning for this site. The proposal is much too large to permit as accessory to the retreat use that was recently permitted, nor would it be consistent with the use permit which allowed the printing press only as an accessory use to the retreat. Your use permit allows the printing press and 18,000 sf of storage space, which we consider about the limit of what is reasonable for an accessory use. An accessory use must be incidental to the primary use and must not "significantly change the character, appearance or operation of the principal use of the building or property." So we have a dilemma with your new proposal. The 95,000 sf building is about the size of a "big box" or large department store and would appear to make the printing and warehouse the predominant use.

①

You could apply for a Special Area Policy amendment to the General Plan and request an exception for the book storage, but it is a very expensive process and staff would not recommend approval of your request because it does not fit any of the General Plan goals or objectives for the rural resource land use as expressed in the County's adopted General Plan. The ultimate decision would, of course, be up to the Board of Supervisors, following a review and recommendation by the Planning Commission. A tentative would include printing only the number of books that can be distributed in the near term or seeking another warehouse site with appropriate zoning to store the books for an indefinite period. There are many sites with appropriate zoning that are well suited to this type of facility.

②

I would ask that you please consider the County's land use policies and evaluate these alternatives before you pursue a General Plan Amendment.

\*

If you have any further questions, please feel free to contact me at 565-2336.

Jennifer Barrett  
Deputy Director Planning

Sonoma County Permit and Resource Management Dept.  
2550 Ventura Avenue, Santa Rosa, CA 95403  
707 565-2336

TREASURY

>>> "Jack Petrunker" <petrunker@att.net> 11/16/2006 11:01 AM >>>  
Hi Jennifer

Here is the message I sent you November 2 and again November 13. Have you had a chance to review?



**COUNTY OF SONOMA**  
**PERMIT AND RESOURCE MANAGEMENT DEPARTMENT**

2550 Ventura Avenue, Santa Rosa, CA 95403  
(707) 565-1900 FAX (707) 565-1103

**MEMO**

**Date:** July 17, 2013  
**To:** Cynthia Demidovich  
**From:** Ben Neuman, Manager, Building and Safety Division  
**Subject:** Ratna Ling property, 35755 Hauser Bridge Rd

Cynthia,

In February 2010, PRMD received a complaint alleging Ratna Ling was in violation of multiple conditions of use permit UPE04-0032, construction of multiple canvas structures called "Yomes" without permit, use of incinerator toilets without permit, construction of several wood framed structures without permit and the conversion of a loading dock to a production facility without permit.

In response to the complaint, a site inspection was conducted by PRMD staff who verified construction of the canvas structures, use of incinerator toilets and construction of two wood framed structures. Additional research was required to determine if there were use permit violations and if permits were issued for the loading dock conversion. PRMD verbally informed Ratna Ling that the Yomes, incinerator toilets and wood framed structures were in violation of county code and requested book production information to determine if a violation of the use permit exists. However, since this investigation was not complete, neither a violation file, nor a violation notice was sent.

Ratna Ling provided book production information as requested. Review of those records indicated the allowed book production levels were exceeded for a time, but production levels had returned to allowable levels. Ratna Ling notified enforcement staff that they voluntarily removed the Yomes, incinerator toilets and wood framed structures. Subsequent review of building permit records noted that building permit approvals were given for the conversion of the loading dock and Ratna Ling staff provided verification the unpermitted structures were removed.

In June 2012, PRMD received new inquiries regarding the status of four temporary tents. A site inspection conducted on June 15, 2012 found that three of the four tents were built, inspected and approved by PRMD. The fourth tent did not obtain all required inspections and had a attached wood framed employee's office that was not included with the permit. Ratna Ling was verbally informed of the deviation from approved plans during the site inspection. In response to the verbal notification, Ratna Ling obtained demolition permit DEM12-0174, completed demolition of the office and obtained final inspection prior to issuance of either a correction or violation notice.

At this point in time, there are no pending investigations or active violations for this property.

## Appendix E Master Issue Statement

Recently the following was submitted to the Sonoma County Permit and Resource Development Department:

LAW OFFICES OF  
CLEMENT, FITZPATRICK & KENWORTHY  
INCORPORATED  
3333 MENDOCINO AVENUE, SUITE 200  
SANTA ROSA, CALIFORNIA 95403  
FAX: 707 546-1360  
TELEPHONE: (707) 523-1181

TINA WALLIS  
EMAIL: [twallis@cfk.com](mailto:twallis@cfk.com)

July 11, 2013

**HAND DELIVERED**

Cynthia Demidovich  
Sonoma County PRMD  
2550 Ventura Avenue  
Santa Rosa, CA 95403

Re: *Ratna Ling Master Use Permit Application*  
*PLP 08-0021*

Dear Ms. Demidovich:

The purpose of this letter is to confirm that Ratna Ling had 1,381 retreat participants for a total of 5,301 retreat days in 2012. There are more than 365 retreat days because there can be multiple retreat participants on any one day (e.g., 10 retreat participants on one day equals 10 retreat days). Please note that these numbers are based on actual 2012 participants, which Gene Gretchen, Ratna Ling's Operations Manager, carefully calculated by reviewing Ratna Ling's retreat records for 2012.

Please feel free to call me at (707) 523-1181 if you have any questions about this letter.

Very truly yours,

  
TINA WALLIS

TW/pd  
c: client

## **The Tail Is Wagging the Dog at Ratna Ling Retreat**

As per the above information supplied by Ratna Ling, there were 5,301 Retreat Days in 2012. That is the number of individuals attending the retreat multiplied by the number of days they attended.

However using same criteria, Dharma Press's printing operations represent:

Operation 10 Months/year = 44 weeks x 6 days/week = 264 days

The 2012 Use Permit Application (PLP08-0021) calls for 93 workers.

264 days x 93 workers = 24,552 Printing Plant Days

**24,552 Print Days > 5,301 Retreat Days**

By Ratna Ling Retreat's own figures and formula, printing plant days are five times that of the retreat.

## APPENDIX F

### Commercial Operations in Storage Tents

The following text accompanied the image below, posted by Dharma Publishing worker, "Andy", on 9/18/09, on his internet blog:

Here's the other half of my office, the warehouse. Well, it's half the warehouse. The rest belongs to the Yeshe De Text Preservation Project. There's probably upwards of a million inventory items in here plus supplies for shipping and producing more. Also, there's a super-sweet staircase on wheels! P.S. The blue blob behind the stairs is a ginormous packing peanut dispenser. SO MUCH FUN. (Lumix DMC-FZ28)

Andy states in a 10/28/09 blog: "I am making web pages that represent a big-time company which has existed for over 30 years. I talk to their clients. I ship their orders, hundreds and thousands of dollars of stuff."

The "warehouse" Worker Andy is referring to is one of the large Storage Tents that Ratna Ling claims are used as a "Sacred Text Treasury." Clearly, since at least 2009, a large volume of manufacturing, warehousing, internet sales, and shipping and handling of commercial products are all occurring at Ratna Ling. A limit of 10% for commercial production and sales is unenforceable. Commercial operations take up 50% of this structure, according to Worker Andy, even though it is officially called a Sacred Text Treasury. These building interiors have no recorded inspection by the Sonoma County Permit and Resource Management Department.



### Inside Odiyan and Ratna Ling in 2013: a First-hand Account by Patrick

I am not trying to bad-mouth Odiyan or Ratna Ling, just giving my honest opinions about my experience there in 2013.

I had some experience with religious practice while I was growing up in San Diego, so I was receptive to those influences.

The first thing I noticed were the impressive structures, the golden stupas. They made me curious and I was at a point in my life that I needed a change, perhaps an exciting, spiritual one. I originally saw the structures from a neighbor's property while I was visiting his nephew. When I returned to San Diego, I did a Google search and applied to Odiyan.

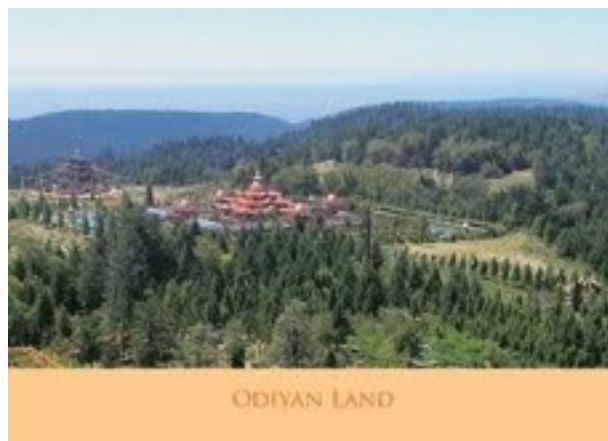
I was under the impression that it was a more spiritual community than a work-only community. I thought there would be some more logic and sense of camaraderie among the workers. I was hoping that people would be willing to talk about Buddhism and how they applied it in their daily lives.

But I did not find that to be the case. They told me that they really don't talk about Buddhism. They just work a lot. At least the young people did. The rest of them, the older people who had been there awhile, just made busy-work for themselves to avoid hard labor.

I lived in the main temple (Odiyan) which is inside the moat. I worked at Ratna Ling and Odiyan for one month. During that month I worked long hours, 6 days a week, 8 to 11 hours per day; sometimes more.



*The printing operation was definitely a factory...*  
**The 21,234 square-foot printing factory at Ratna Ling Retreat in 2009.**



**Odiyan, multi-million dollar temple and residential complex for Tarthang Tulku, top church officials, and workers in the Cazadero Hills. Nearby Ratna Ling Retreat was originally listed by the owners as an “Annex to Odiyan,” meant to house the printing facilities.**

I only worked for two days with the printing presses because I didn't like it and wanted to work outdoors in the garden. About 20 workers a day go from Odiyan to work at Ratna Ling.

You just worked on whatever people showed you how to do. Often I worked on my own or with other people depending on the project. For example,

edge dying the books requires about four people constantly working to get through the pallets as fast as possible with little regard for quality. More people just makes it faster and often more sloppy.

The printing operation was definitely a factory, full of loud noisy machines and chemicals. The workers were given no orientation except they were told to avoid the door where the forklift enters. There were no safety meetings. After only two days in there I asked not to work there because I preferred outdoor work to the factory.



*...the print factory is certainly the primary activity...Edge dyeing machines, Ratna Ling Retreat, 2009.*



*It was clear that multiple books were coming out of there... Collating machines, Ratna Ling Retreat, 2009*

But the print factory is certainly the primary activity there. I did see the printing press room, and there appeared to be multiple presses. I know that there were at least two printer technicians always there, but I don't know much beyond what I happened to see. It was clear that multiple books were coming out of there, that's for sure. Of course, one "book" is 200+ volumes, so they may have figured a way work around the book limits.

For three days straight I sat on a lawn mower eight hours a day and mowed grass. This was a solo activity. There was quite a mix. The lawn mower was my favorite because I could go at my own pace. Manual labor included trench digging, cleaning, fence installation, lawn mowing, collecting fruit, lots of walking around the property to and from jobs, branch pruning and wood chipping. These are some of the activities I did, but mostly trench digging 8 to 10 hours a day.

The workers and work areas, indoors or outdoors, seemed to have a lack of maintenance and planning. The place was falling apart in many respects. The football field-sized garden was poorly designed and didn't function well. The moat/pond was full of algae and mosquitos.

The food was terrible. The kitchen was extremely dirty, falling apart, mice everywhere. That was the worst part. I was actually terrified of a Hantavirus outbreak. Certainly a CDC (Center for Disease Control) nightmare.

Their system for cooking was to have 1 person cook for 30-40 people. So the food was always bad because 1 person would make whatever they could as fast as possible. I was fed enough and there was usually a large amount of fruit available so that was a plus.



It was obvious that there was lots of money being spent, even though the Odiyan equipment was not in good order. The foundry was in continual use. The foundry makes statues and other ornaments for the Odiyan property.

Often I also had to do chores on the seventh day. Sunday chores were meant to prevent you from leaving the property. This keeps most people there completely isolated in the world they live in.

My roommate was similar to me, also from San Diego. Most of the people I met working there were hardworking and devoted to the Rinpoche, Tarthang Tulku, but not particularly friendly. And nobody ever had time to talk about Buddhism or really get to know each other. Instead, people just worked and didn't talk about much.

I did not participate in morning meditations because I was usually exhausted and could not get up at 6:15 after having such a long day. It was not a healthy environment for a lot of the workers because they would often explode the moment they became agitated or frustrated.

Most of them were worked too hard. They were exhausted and we felt isolated. People were not always kind to one another. I believe that many people became dependent on meals and lodging and felt unable to reenter the regular world after some time had passed. They could be isolated from society at large but still have some social interaction. This allowed many people to develop power complexes and stake out their territory within Odiyan.

Surprisingly there was no Buddhist spiritual training, just work. Long days for a \$5 a day stipend. I did not chant. Everything I learned about Tarthang Tulku I read in his books. I read two of his books, *Skillfull Means* and *Gestures of Balance*. I found that these teachings were not being practiced at all by the people there, because everything they did was out of balance and most things were done in a hurry and without regard for quality. Everyone was always in a rush to do something or go somewhere, even though there was no reason for this. It was sort of insane.

The workers were kept fairly isolated and there was a strange hierarchy. The hierarchy was not really defined, but basically I worked in the manual labor/maintenance crew. So I was under the charge of people that were my age or younger than me. About five or six people worked on the book projects, doing the layouts on computers and translations that would go to Ratna Ling eventually.

Others focused on the gardens at Odiyan to make them beautiful. Some coordinated the ceremonies and took care of the animals around the property. Three or four worked in the foundry/workshop making molds or making prayer windmills.

Tarthang Tulku the Rinpoche, seemed to be the only Tibetan at Odiyan. I was curious about him. Some of the longtime workers had seen him. He would now be about 80 years old, but has a wife half his age and two older daughters from a previous mother.

Apparently some of the long-time workers were taught directly by the Rinpoche, perhaps spiritual lessons that taught them to keep working hard for him and one day they would have enlightenment or something. I don't know, I never got to meet him. I think it is just his style of communication that keeps people in awe. I waved to him one time and he waved back, but he never smiled or said hello to me.



*...make them beautiful...* **Grounds kept workers busy at Odiyan.**

I began to question the cult-like atmosphere and decided to leave. I also helped my roommate leave by finding him a job nearby at Plantation.

# Retreat center's expansion plans provoke concern

by Frances Dinkelspiel

June 7, 2012 10:00 am

High up in the hills of a remote stretch of the Sonoma County coast sits the world's largest printing press for sacred Tibetan texts.

In a 21,234 square foot factory on the grounds of Ratna Ling, a Tibetan Buddhist retreat center near Cazadero, volunteers work six days a week to print and collate more than 100,000 books a year. The texts are then shipped off to India and Nepal for distribution to monasteries and refugees from China's brutal crackdown on Tibet.



An aerial view of the Ratna Ling Retreat Center. Photo: Coastal Hills Rural Preservation

The operators of [Dharma Publishing](#) – which was located in Berkeley for 36 years until it moved north in 2007 – say producing sacred texts is a mandate of their religion. They are followers of Tarthang Tulku, a Tibetan Buddhist lama who came to Berkeley in 1969 and over 40 years created a religious organization made up of 12 different foundations (known collectively as The Tibetan Nyingma Meditation Center), large real estate holdings in Berkeley and Sonoma County, and assets of more than \$25 million \$60 million, according to SEC and property tax files

But all is not serene at the Ratna Ling retreat center, despite its yoga and meditation classes. Neighbors in the

rural area say the press operation is too big and too industrial for the site and claim the followers of Tarthang Tulku are using the cover of their religion to operate a business that would not normally be allowed in the area.

Moreover, the operators of the printing press have violated their 2004 use permit numerous times and Sonoma County planning officials have been slow to make them comply with the permit's restrictions, according to a neighborhood watchdog group.

Today at 1 pm, Sonoma County's zoning board is scheduled to consider a new Master Plan permit for Ratna Ling, which includes an expansion of both the retreat center and printing operation. Despite the neighbors' concerns, the board is expected to approve the application, which has gone through more than a year of review. The neighbors have vowed to appeal to the Sonoma County Board of Supervisors.

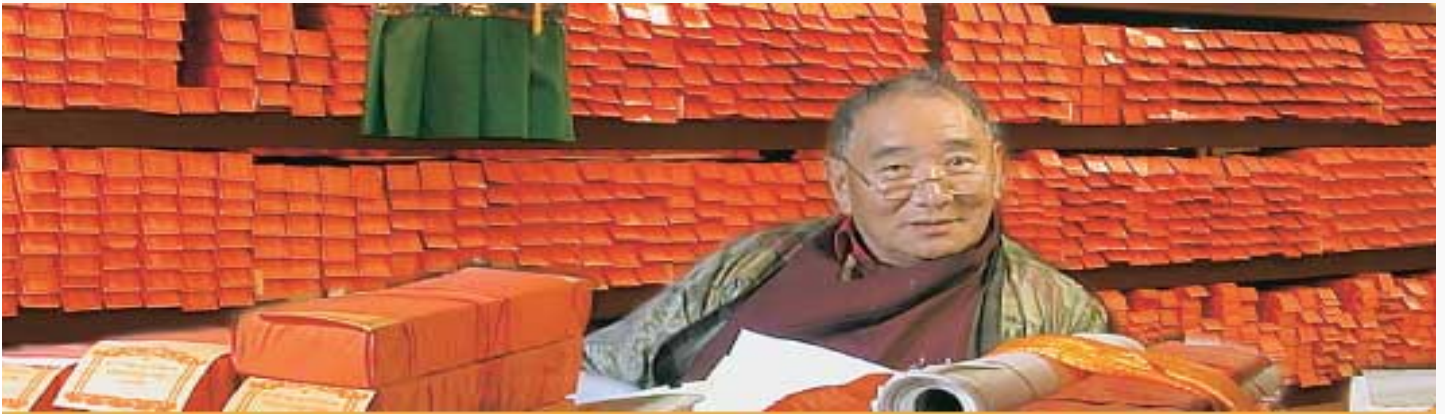
"This is truly a David and Goliath fight as Ratna Ling and The Nyingma Meditation Center have very deep pockets and have hired lawyers and consultants and even persuaded an ex-supervisor to advocate for them," said Carolyne Singer, who lives about a mile south of the retreat center and is one of the neighbors who has formed the [Coastal Hills Rural Preservation](#) group to fight the printing operation. (The group is not opposed to the church's meditation and retreat center.) "They keep making a spiritual argument. We are trying to get the county's focus back on what they should be focusing on, which is land use, which they can regulate."

Ratna Ling officials disagree with that assessment. While Ratna Ling volunteers do print thousands of Tibetan books on modern presses a year, as well as art objects and prayer flags, the printing is not obtrusive or noisy, according to Curtis Caton, a Berkeley attorney who is helping Ratna Ling with its permit application. Moreover, making the books is an essential part of the Nyingma Buddhist religion and therefore legal on the property.

"The printing operation cannot be seen or heard from the road, much less than from any neighboring properties," said Caton. "It is quiet. It is a very small part of a 120-acre operation, which is overwhelmingly dedicated to a retreat center. The neighbors have characterized it as an industrial operation because there is a machine in the building that they can't see or hear and causes no disturbance to anybody. But you can't run a retreat center with a noisy, disruptive industrial operation."

## **Buddhist principles applied to western ideas**

Tarthang Tulku, one of the last remaining lamas to have received a complete Buddhist education before China's 1959 invasion of Tibet, came to Berkeley in 1969. He started a church, the Tibetan Nyingma Meditation Center, which quickly attracted followers intrigued by his application of Buddhist principles to western ideas. Over the next 40 years, he and his growing group of supporters created a cluster of non-profit organizations that both explore Tibetan Buddhism and work to preserve Tibetan culture. The organizations publish books, make films, rebuild monasteries, produce sacred texts and art objects, promote Tarthang Tulku's teachings to the world, and hold numerous classes and spiritual retreats.



Tarthang Tulku, the lama who founded the Nyingma community

One of the community's most high profile endeavors takes place each year in Bodhgaya, India, where Buddha gained enlightenment 2,500 years ago. Known as the World Peace Ceremony, it was started by Tarthang Tulku in 1989 and now attracts 25,000 people from Tibet, exiles, monks, nuns, and lay people annually. [The Tibetan Aid Project](#), which was established to support education and literacy in Tibetan communities in Asia, has distributed 3.5 million sacred texts and art objects produced by Dharma Press in the last two decades.

Tarthang Tulku now lives in permanent retreat at the 1,000-acre [Odiyan Retreat Center](#) near Gualala, about 12 miles from the [Ratna Ling Retreat Center](#). He no longer communicates directly with the public.

The Nyingma community in Berkeley is thriving. It owns three buildings – almost a whole city block – on Harold Way in downtown, including the old Elks Club, which is now the Mangalam Research Center for Buddhist Languages, the Dharma Press bookstore, and the old Armstrong College building, which will officially open as Dharma College in the fall. The community also owns a spiritual center on Highland Place known as the Nyingma Institute.



The Tibetan Buddhist Nyingma community owns three building in Harold Way in downtown Berkeley. Photo: Frances Dinkelspiel

Although Tarthang Tulku's church only counts a few hundred full-time members, the lama has attracted a number of successful businessmen and women who have been very generous to the organization and made its growth possible. Many have given up their high-paying jobs to volunteer full-time for the Nyingma community.

One of the most high profile is Barr Rosenberg, an economist who taught at the UC Berkeley Haas School of Business. Rosenberg made his fortune by applying quantitative analysis, a theory that applies mathematical formulas to price stocks and bonds, to money management. BARRA, the consulting firm he ran until 1985, was immensely successful. Rosenberg left to co-found the institutional money management firm AXA Rosenberg and ran it until September 2011 when the Securities and Exchange Commission accused him of securities fraud for hiding a coding error in the program used by his investment firm. Rosenberg paid a \$2.5 million fine and agreed never to work in the securities industry again. AXA Rosenberg and its affiliated investment advisers paid \$217 million to affected clients and a \$25 million fine.

Rosenberg became involved with Tarthang Tulku in the 1970s and has evolved into one of the organizations top leaders and donors. He is co-dean of the Nyingma Institute and teaches numerous courses there. The Barr and June Rosenberg Foundation routinely donates around \$7 million a year to the Tibetan Nyingma Meditation Center, according to the documents filed with the SEC.

Another generous patron and leader is Jack Petranker, an attorney and the editor of Dharma Publishing and the director of the Mangalam Research Center for Buddhist Languages. He helped the organization purchase 2222 Harold Way for \$6 million in 2009.

Laurent Manrique, who was the executive chef at Fifth Floor and at Aqua, a two-star Michelin restaurant in San Francisco, was studying Tibetan Buddhism at the Nyingma Institute in 2001 when he [came up with the idea](#) of a

gala to raise funds for the Tibetan Aid Project. Thanks to his involvement during the last decade, top chefs from around the country donate their time to two [Taste and Tribute galas](#) each year, one in San Francisco and one in New York. Participating chefs have included Elizabeth Faulkner, Gerald Hirigoyen, Mark Richardson, Gavin Kaysen, and many others. The \$350-person a head gala at the Four Seasons Hotel in San Francisco raised about \$150,000 in 2011.

The 12 nonprofits that make up the Nyingma community have assets of more than \$25 million, according to documents filed with the SEC.

Despite its prosperity, the community is not well-known.

“We keep a low profile,” said Petranker told Berkeleyside in 2010. “It is the Buddhist thing to not toot your own horn.”

## **Printing press as ancillary operation**

When Tarthang Tulku bought the 107-acre Cazadero property in 2004, (the organization increased the acreage later) his representatives [told county planners](#) it would be used mostly as a retreat and meditation center, with the printing press as an ancillary operation.

The 2004 permit application said the printing press would occupy an existing 13,000 square foot building that had been previously built as a lodge. The press facility would include a press, a cutter, a folder, a collator and a binder, and ample space to assemble the books (which are not bound) by hand and wrap them. The operators of Dharma Press said the press would produce about 100,000 books a year and operate six days a week from 7 am to 10 pm. Each month, a 40-foot truck would bring the paper needed to make the books, according to the application.

About three weeks later, Ratna Ling [asked to amend its application](#) and build a new 18,750 square foot structure for the printing press. It also stated its intention to start building some already-permitted cabins for staff and guests.

Ratna Ling sits inside a “Resource and Rural Development Zone” which the Sonoma County General Plan designates as a place for the production, processing, and protection of local resources and uses such as timber production, ranching, agriculture, fishing, and recreation. Normally, the county would not allow a printing press in that zone, but Ratna Ling officials made the case that operating the printing press was an integral part of the Nyingma Buddhist religion.

One of Tarthang Tulku’s central tenets is that full time church members must devote their energies to work that promotes Buddhist teachings. Volunteering at the printing press fulfills this obligation because publishing Tibetan books, art, and prayer wheels and making them more widely available spreads the word about Buddhism. The permit application was approved in 2004, with the caveat that the press remain an ancillary operation of the retreat center.

Over the next seven years, Ratna Ling applied for 145 different permits to expand its operations and became an almost non-stop construction site, according to Singer. In 2007, Dharma Press left its facility on San Pablo Avenue in Berkeley and moved five presses up to Ratna Ling – without amending its use permit, she said. The press went into high gear and started operating 24 hours a day, said Singer. It produced more than the 100,000 volumes than its permit allowed. (She estimates the number may have tripled.)

Ratna Ling got Sonoma County to approve the construction of four temporary tent-like structures of about 39,000 square feet to store books that could not be shipped to Tibet because of political unrest, bringing the total size of the printing operations to 60,500 square feet – about three times larger than was allowed in the original permit, said Singer. The organization also erected yomes – a combination yurt and dome – without

filing for the proper permits, said Singer.

In 2010, neighbors filed a formal complaint against Ratna Ling with Sonoma County code enforcement. They spent six months documenting what they considered zoning violations and presented a two-inch thick binder to the county. At the center of their complaint was the contention that the industrial printing press operation was not an appropriate use under the zoning laws and it had grown so large it could no longer be considered an ancillary operation.

Sonoma County officials sent out an inspector and photographer to investigate the grievances, but the report was lost when the inspector went out on extended medical leave, said Singer. However, county officials met in August 2010 with representatives of Ratna Ling, who acknowledged the printing operation was larger than allowed and out of compliance with its 2004 use permit, [according to an internal staff memo](#) from Pete Parkinson, the director of the permit and resource management department.

Caton also acknowledged to Berkeleyside that for two or three years, Dharma Press was producing more than 100,000 texts a year. Ratna Ling had mentioned that figure in a letter it had written to the county before the permit was granted, but only meant it as an estimate, not a firm figure. The definition of book in Tibetan culture is different than a western definition since Tibetan books are not bound and are more like pamphlets. Until the neighbors brought it up, Dharma Press never realized there was a firm numerical cap, he said.

Ratna Ling representatives agreed to remove three buildings from the property, reduce the number of books in storage to less than 500,000, and to bring the number of books published on site to under 100,000 a year, [according to a memo](#).

But six months after agreeing to cut back on its book production, representatives from Ratna Ling filed an application in March 2011 for a new Master Use permit, one that would allow all the uses that it had been doing previously, as well as additional expansion. Ratna Ling wants to add eight additional guest cabins, more storage areas, and a retreat house on a separate parcel. It also wants the county to make permanent the 39,000 square feet of temporary book storage.

Dharma Press is also applying to eliminate all restrictions on the number of books and art objects produced every year. Instead, the size of the operation would be controlled by the limiting the number of trucks allowed on the property. The press wants the county to approve 730 truck trips a year, up from the 12 allowed in the 2004 use permit and the approximately 300 trips approved later.

“In terms of environmental issues, the more reasonable way to regulate land is by measuring environmental impact,” Caton [told KRCB](#), a north coast radio station. “The press operation is invisible to the community up there. It can’t be seen from the road. It can’t be heard from the road or from any neighboring property. The one environmental impact that does take place is that trucks need to bring in supplies and truck out finished texts for shipment to Asia. What we are proposing now, and what the county has endorsed in its staff report, is truck impact measure of the environment impact on the land as opposed to the ambiguity of the book count.”

The new application also requests that the press be permitted to increase the number of people working there from 27 to 94 and to increase the number of people living on the property from 67 to 122.

Singer’s group contends this application demonstrates that the printing press does not belong in a Resource and Rural Development Zone.

“Dharma Publishing has been expanding exponentially since 2004,” said Singer. “The local community has been working the last three years to persuade Sonoma County Planning that Dharma Publishing must be moved to an appropriate industrial zone.”

Ratna Ling officials said they have produced documents showing that the printing press is only a small part of



the retreat center's operations and thus fits the definition of ancillary use.

Sonoma County planning officials agreed with that assessment [in a staff report](#) on the Master Plan permit application. The report also points out that places of religious worship are allowed in the Resource and Rural Development Zone. Ratna Ling's application goes into detail about how working at the printing press is part of the spiritual practice of the community. Volunteers start their work day by chanting a Tibetan prayer, listening to one of Buddha's teachings, and performing a brief yoga exercise to relax the body and mind and focus on the work day ahead. Prayers and other reflections continue throughout the day.

"It is related to the spiritual and religious purpose of the retreat center," said Caton. "It is. Retreatants go up there to do a spiritual practice of working as a volunteer in the press building. We would say in the Judea-Christian tradition, passing on the wisdom of the Torah or the New Testament or whatever. The transmission of the Dharma, which is the accumulated Buddhist teachings and practices, is considered a spiritual practice."

"The printing facility would not be permitted as a stand-alone use, or with any other non-religious use," [reads the staff report](#) to the zoning board. "However, as described above it is an integral part of the Tibetan Buddhist religious practice which includes the participation of volunteers and retreat guests. As such staff recommends that it be considered an accessory use to the religious retreat facility."

**Update, 06.08.12:** The Ratna Ling Retreat Center won approval from the Sonoma county Board of Zoning Adjustments to expand its printing operations. Read more [at the Santa Rosa Press Democrat](#).

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